
PLANNING RATIONALE

Employment Land Conversion

Applications for Official Plan and Zoning By-law Amendment

Block 28, Plan 65M-4650

85 Monarch Park Gate

Town of Aurora

Prepared for:

Astura Developments Corp.
(Treasure Hill)

July 2026

Table of Contents

1	Introduction	1
1.1	Purpose.....	2
2	Site & Surrounding Area Context	3
2.1	Location & Legal Description.....	3
2.2	Site Context & Surrounding Uses	4
3	Proposed Development Concept.....	11
3.1	The Development.....	11
3.2	Site Statistics	13
4	Planning Policy & Regulatory Framework.....	15
4.1	The Planning Act, R.S.O., 1990, c.P.13	15
4.2	Provincial Planning Statement (2024)	16
4.4	Lake Simcoe Protection Plan.....	19
4.5	2022 York Regional Official Plan	20
4.6	Town of Aurora Official Plan 2024	22
4.7	The Aurora 2C Secondary Plan (OPA No. 73)	27
4.8	Town of Aurora Comprehensive Zoning By-law 6000-17, as amended	29
5	Additional Applications	33
6	Supporting Studies.....	34
6.1	Functional Servicing and Stormwater Management Report	35
6.2	Employment Land Study	36
6.3	Land Use Compatibility Study (Noise)/Environmental Noise Feasibility Study	37
6.4	Urban Design Brief	39
6.5	Transportation Mobility Plan.....	40
6.6	Affordable Housing Market Feasibility Study	42
7	Summary and Conclusions.....	43

1 Introduction

Astura Developments Corp., (“Treasure Hill”) has retained Macaulay Shiomi Howson Ltd., to assist in the obtaining of municipal approvals for the conversion of employment lands to residential use on property municipally known as 85 Monarch Park Gate in the Town of Aurora (“Site” or “Subject Site”).

This Planning Rationale is prepared in support of the conversion request and development applications for Official Plan and Zoning By-law amendment to permit the construction of 198 townhouse units.

The general location of the Subject Site is indicated on **Figure 1 - Location Map**.

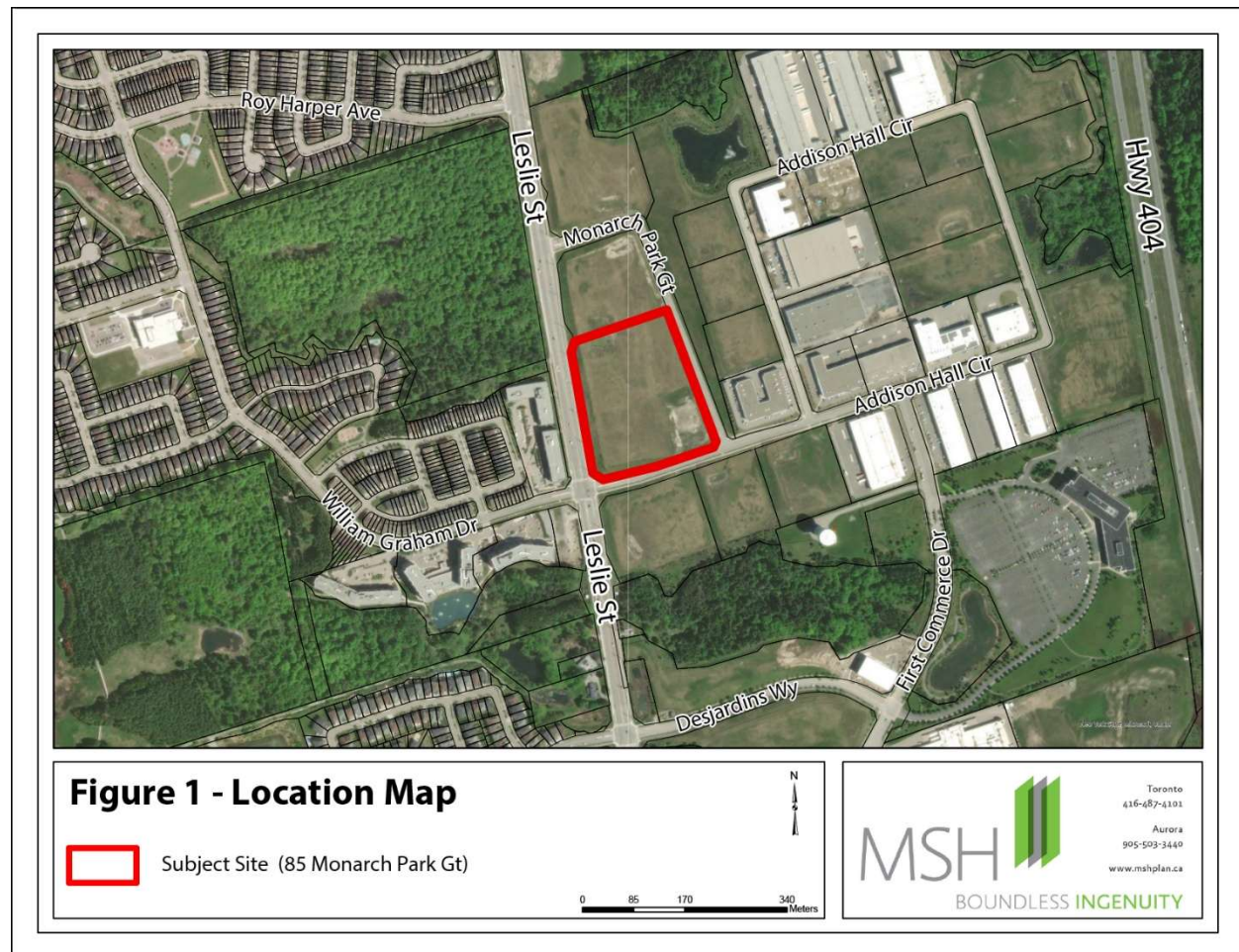


Figure 1 - Location Map

The Subject Site is owned by Aurora-Leslie Developments Limited, developers of the original draft plan of subdivision. The draft plan was registered in October 2019 (65M-4650). The subdivision has been fully serviced and many of the lots have been sold and/or built out. In or around 2025, Vistaview Management (Treasure Hill) had purchased Blocks 29 and 30, south of the Site on Addison Hall Circle, for purposes of developing a similar townhouse development. On December 9, 2025, Council adopted Official Plan Amendment No. 40 and on May 26, 2026, passed Zoning By-law No. 6783-26

to allow for the development of 202 townhouse units on a private condominium road. That application is currently being processed for Site Plan Approval (SP-2025-10).

Astura Developments Corp. has entered into a similar agreement with Aurora-Leslie Developments Limited, to purchase Block 28 for purposes of constructing the proposed residential development.

In 2023 a zoning amendment was approved by Town Council which applied to the larger subdivision, including the Subject Site, to allow for warehousing as of right as a principal use and to allow accessory uses for all principal uses.

The Site is comprised of Block 28, Plan 65M-4650, has a total area of 4.716 ha and is located on the west side of Monarch Park Circle, east side of Leslie Street and the north side of Addison Hall Circle. The Site is vacant of any structures and forms part of a larger employment land plan of subdivision, as previously noted.

1.1 Purpose

This report provides a brief description of the Site, surrounding land uses, the future intended use, and a comprehensive overview of current provincial, regional and local land use policies associated with the Site, and a rationale as to why the conversion and proposed development is appropriate for this location.

Conversion of employment lands to non-employment uses (i.e. residential uses), may be permitted subject to the policies of Section 2.8 of the Provincial Planning Statement and the Conversion Policies Section 11.3.2 of the Town of Aurora Official Plan 2024.

This Planning Rationale, together with a number of support studies and a preliminary site plan, will review the relevant policies and address the various criteria.

The proposed development is detailed further in Section 3 of this Report.

2 Site & Surrounding Area Context

2.1 Location & Legal Description

The Site is generally located at the north east corner of Leslie Street and Addison Hall Circle on the west side of Monarch Park Gate and is legally described as follows:

Block 28
Plan 65M-4650
Town of Aurora
Regional Municipality of York



Figure 2 – Registered Plan 65M-4650

2.2 Site Context & Surrounding Uses

The Subject Site is comprised of 1 block of a 33-block, 76.59 ha registered plan of subdivision (65M-4650). Block 28 is located at the northeast corner of Leslie Street and Addison Hall Circle and is comprised of 4.716 ha (11.65 acres).

Monarch Park Gate is a local road with a planned right of way of 23.0 m.

Surrounding land uses are as follows:

North:

- Vacant employment lands & environmentally protected open space system

South:

- Addison Hall Gate
- Recently approved 202-unit townhouse development on private condominium road network
- Environmentally protected open space system

East:

- Monarch Park Gate
- 2-storey industrial use building & surface parking area
- Vacant employment lands & environmentally protected open space

West:

- Leslie Street
- Residential community with a range of densities and building types, municipal road network, parks and commercial uses
- Retirement residence

The Site is generally flat with a gentle slope down from Monarch Park Gate towards Leslie Street and south towards Addison Hall Circle (see **Figure 3 – Aerial Photograph**).

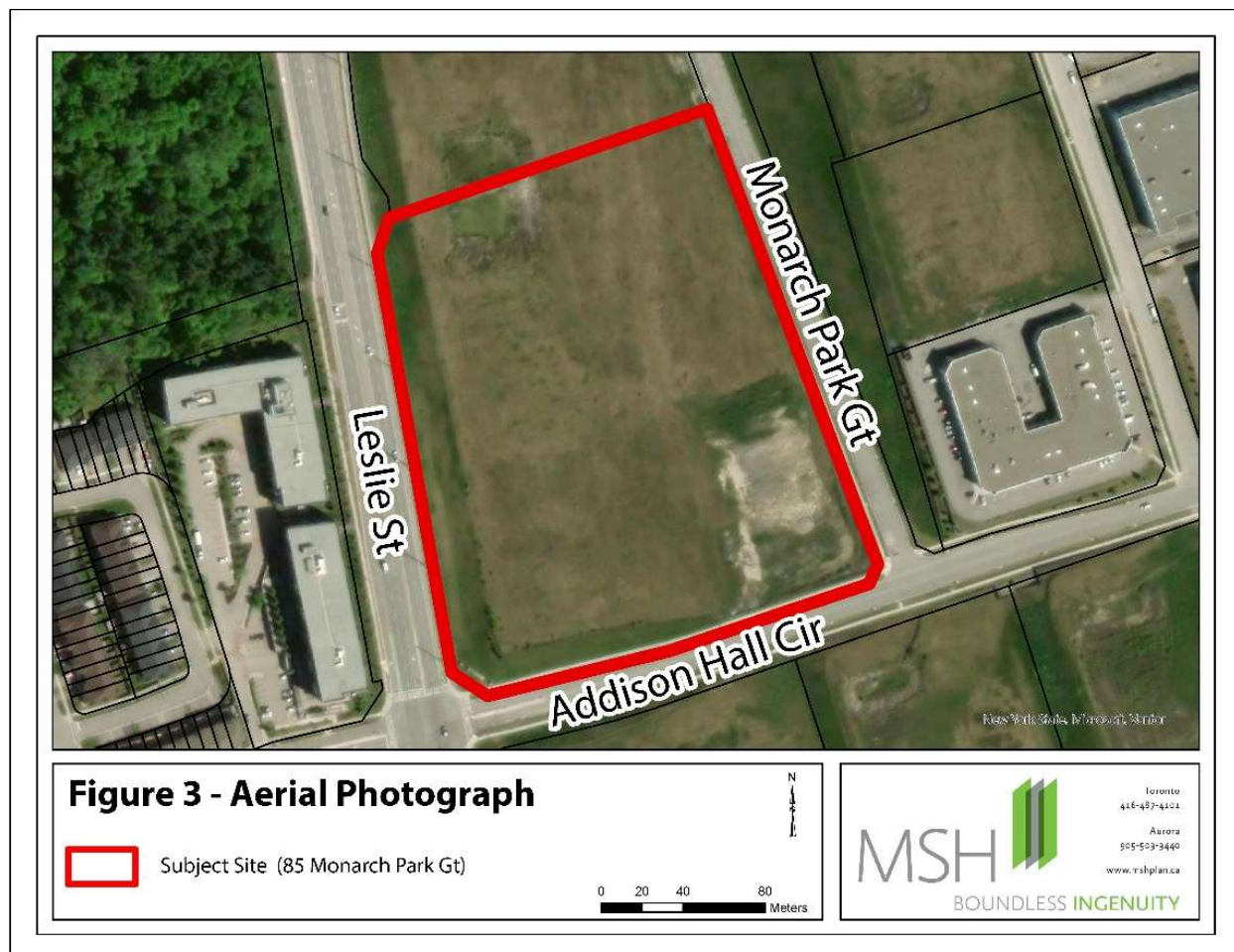


Figure 3 – Aerial Photograph

The larger subdivision contains a municipal road network and has full municipal services and infrastructure.

Access to Highway 404 north and southbound ramps is located off of Wellington Street, east of Leslie, southeast of the Site.

The Site and surrounding area enjoy extensive public transit service. York Regional Transit (YRT) provides bus service along Leslie Street, Wellington Street and internal to the Site along Addison Hall Circle and First Commerce Court (see **Figure 4 – YRT System Map Extract**). A GO Bus Terminal providing connections south to Toronto and north to Barrie is located at the Wellington/Hwy 404 Commuter Parking Lot.

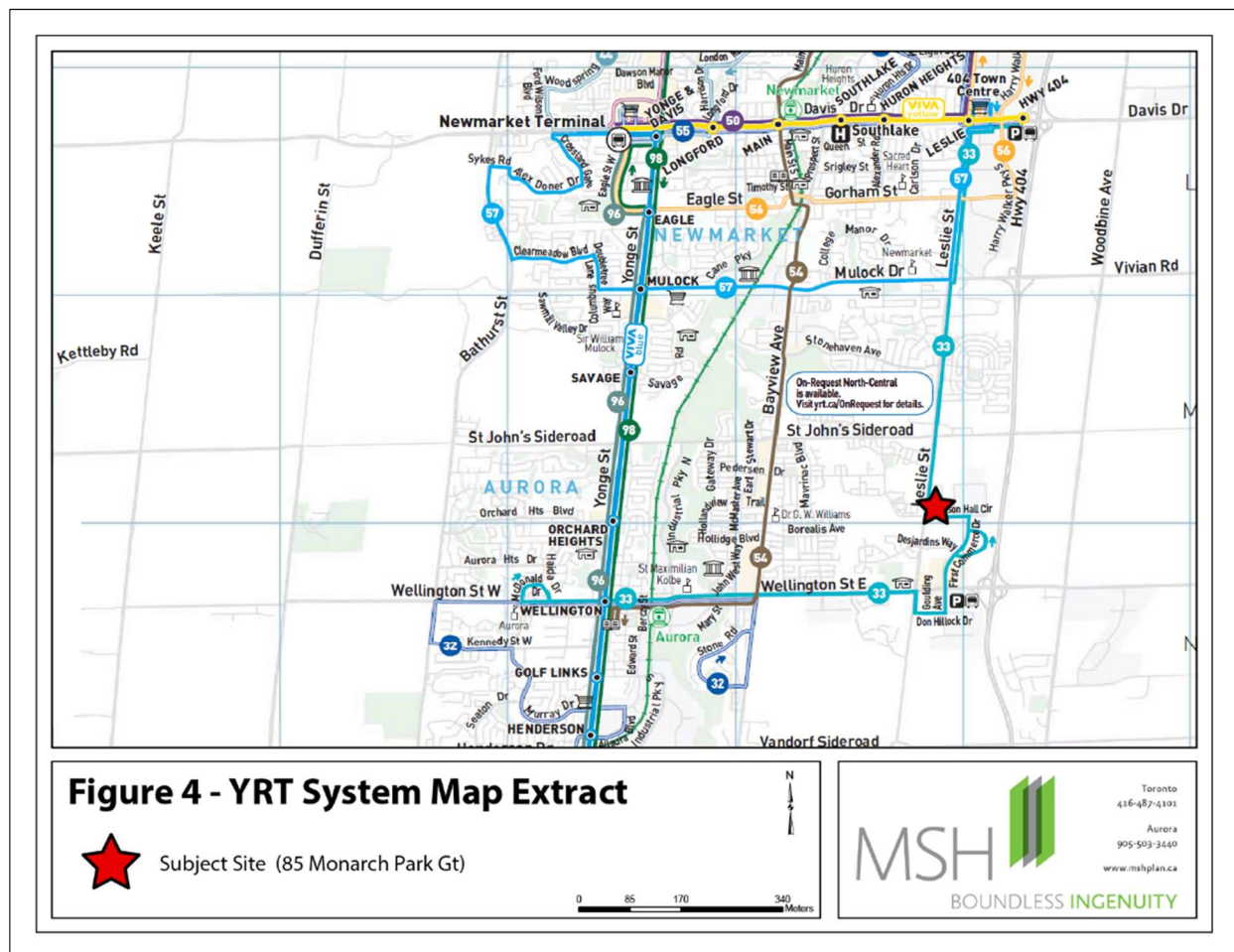


Figure 4 – YRT System Map Extract

Photos of the Subject Site and the surrounding area are provided below in **Figure 5 – Site Photos**.

Figure 5 – Site Photos



Image 1 - View of Site looking Northeast from corner of Leslie St and Addison Hall Cir

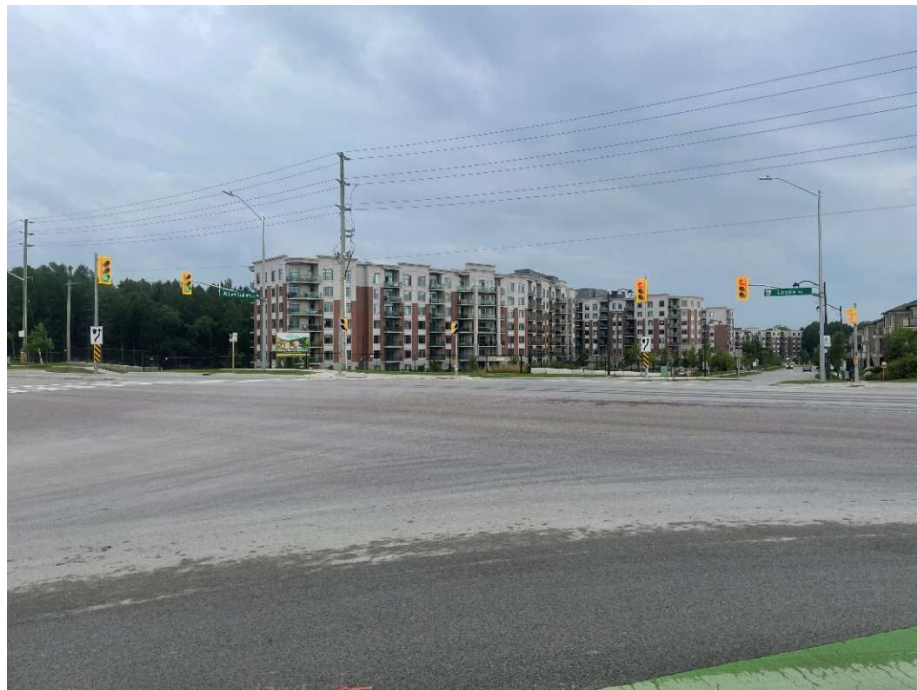


Image 2 – View looking Southwest from Site from corner of Leslie St and Addison Hall Cir



Image 3 – View East of Site looking South along Leslie St



Image 4 – View South of Site looking Southwest towards 25 Addison Hall Cir



Image 5 – View of Site looking West from Monarch Park Gate



Image 6 – View Northeast of Site looking North along Monarch Park Gate



Image 7 – View Northeast of Site looking Southeast along Monarch Park Gate



Image 8 – View from Northeast of Site looking Southwest from Monarch Park Gate

3 Proposed Development Concept

3.1 The Development

The applicant is proposing the development of 198 dwelling units comprised of 3-storey, rear-lane townhouses, with integrated 2-car garages contained within 30 blocks of 4 to 9 units per block. The development has a density of 41.98 units per hectare (uph).

The development gains access via two full-move private laneways off of Monarch Park Circle which connect into an internal roadway system.

The units interior to the site have been designed to provide garage access via the interior laneways, with each of the block groups being built facing each other creating an interior courtyard and amenity space area. The units will be connected by a 1.5 m pedestrian sidewalk. This design not only creates building separation but provides a safe and private, communal amenity area free of any vehicular traffic.

Around the perimeter of the site, a row of 5 townhouse blocks containing 29 units will front Leslie Street. A 23.0 m landscape buffer setback is proposed off of Leslie Street, with the front of the townhouses facing Leslie and garage access gained from the internal laneway at the rear of the dwellings. Three blocks containing a total of 24 units, will front onto Monarch Park Gate and 4 blocks containing a total of 24 units will front onto Addison Hall Circle. Along the north boundary of the Site, 4 blocks of 6 units each will back onto the adjacent property (Block 27, Plan 65M-4650).

Garages for all units are located at the rear of the unit, with access off the internal laneway system.

All units have access to 1.5 m pedestrian sidewalks providing connections within the development and to the public sidewalks on Monarch Park Gate, Addison Hall and Leslie Street. Due to the significant grade change between the Site and Leslie Street, direct connections to the public sidewalks on Leslie Street and Addison Hall are not feasible.

All units have been designed with an integrated 2-car garage as well as room for an additional 2 parking spaces on the driveway.

As per the Town of Aurora's Zoning By-law a minimum of 297 resident parking spaces are required at a ratio of 1.5 spaces per unit, of which a minimum 20% of the total spaces are required for visitor parking, or 60 spaces. In addition, a total of 8 barrier free parking spaces are required in accordance with the Town's Zoning standards, at 2 spaces plus 2% of the total parking required. A minimum of 305 total parking spaces, including barrier free, are required.

The development proposes a total of 792 resident parking spaces at 4 spaces per unit, 2 spaces within an integrated garage and 2 spaces on the driveway. Separate additional visitor parking is provided at slightly less than the ratio required by the Zoning By-law at just over 15% or 46 spaces, plus an additional 10 barrier free spaces, 2 more spaces than required.

Although visitor parking is provided at a slightly lower rate than the required 20% (60 spaces), the resident parking rate provided is double what is required and the visitor parking is being provided in addition to the total required rather than a percentage of the required total. This results in an overall total of 848 proposed parking spaces, a surplus of 543 parking spaces.

The Town's Zoning By-law establishes minimum distance separation requirements between Employment and Residential uses. Both the Subject Site (Block 28) and the parcel directly to the north (Block 27) are subject to site-specific Zoning provisions that permit a broad range of commercial uses including but not limited to Financial Institutions, Office/Clinic Medical, Personal Service Shop, Restaurant and Retail Store, which may also include the sale of food. These commercial uses are appropriately located along the Leslie Street frontage, across from residential uses to the west and on the outer perimeter of the employment area. Heavier and more traditional industrial uses are contained further east, internal to the business park and closer to Highway 404. The intent of the minimum distance separation requirements established by the Town's Zoning By-law are to provide appropriate buffers to help mitigate noise issues generated from employment uses such as manufacturing, transport truck movement, shipping and receiving, which may cause from adjacent residential areas.

Given the nature of the permitted commercial (retail/office) uses on Block 27 and the recommendations of the Noise Study discussed later in this report in Section 6.3, it is our opinion the required minimum distance setbacks are not considered necessary in this instance.

The ultimate design and site details will be further refined through the Town's Site Plan Approval and Draft Plan of Condominium processes.

A pre-consultation meeting was held with Town of Aurora Staff on April 30, 2026 (PRE-2026-10). Staff provided preliminary comments on the proposed development and confirmed the required reports and support documentation for a complete application submission.

Should the OPA & ZBA applications be approved, applications for Site Plan Approval and Draft Plan of Condominium would be submitted.

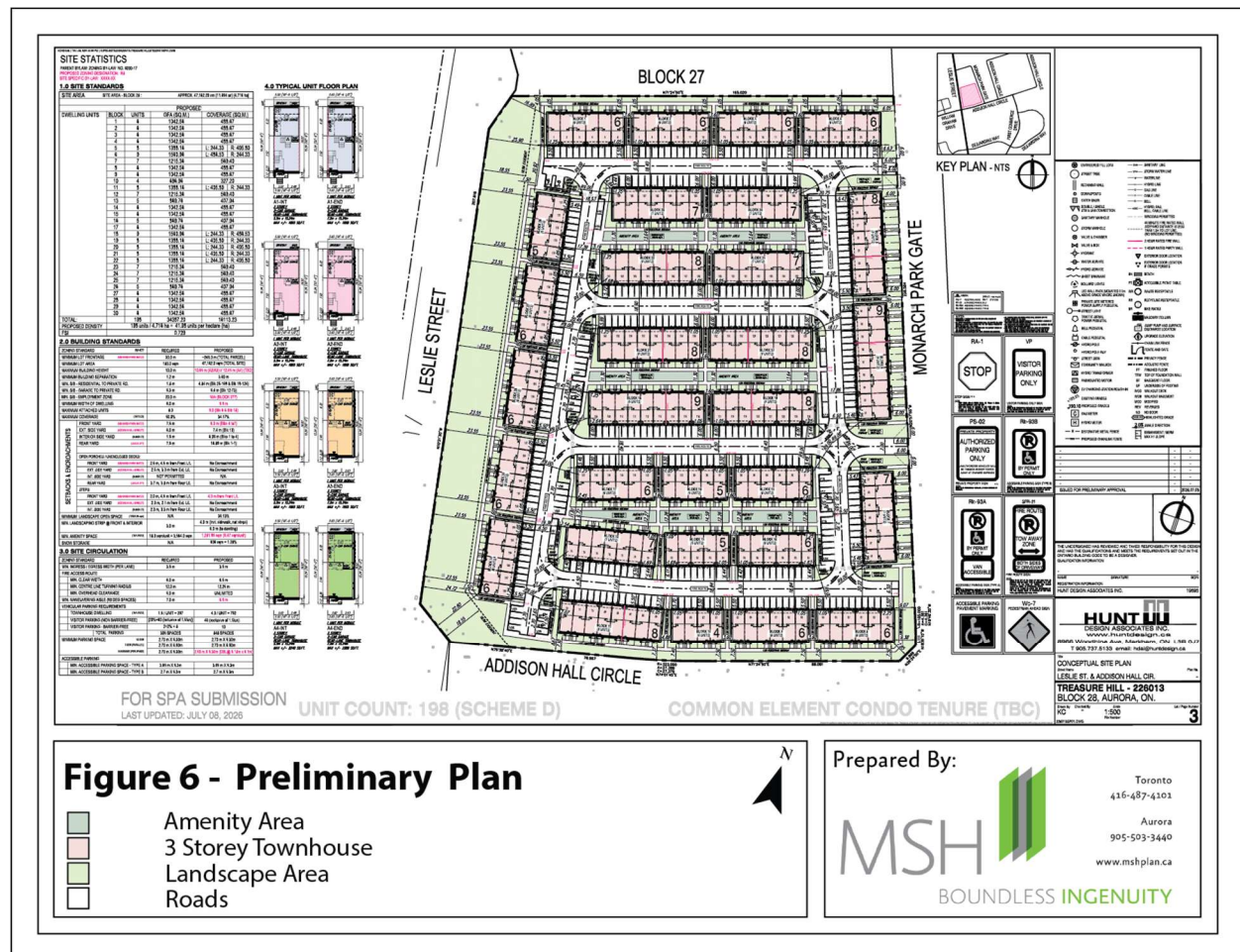


Figure 6 – Site Plan

3.2 Site Statistics

A summary of the Site Statistics is provided below; however, this information may change subject to municipal review.

Table 1 – Proposed Site Statistics

Site Statistics	Proposed
Lot Area (Total)	47,162.20 m ² (11.654 ac) [4.716 ha]
Dwelling Units Total	198 units
Proposed Density	41.98 units per hectare
Proposed FSI	0.729
Building Coverage (Max)	Approx. 34.17% (total site area)

Amenity Area (Min) (min required: 18 m ² /unit = 3,564 m ²)	6.47 m ² /unit (~1,281.95 m ²)
Landscaped Area (Min)	36.13% (~17,043.05 m ²)
Parking Spaces Required (Min): ➤ Resident (1.5/unit) = 297 spaces ➤ Visitor(20% of total to be set aside) = (60) PLUS: ➤ Barrier-Free (2 sp + 2% of total in addition to total required) = 8 spaces Total Required = 305 spaces	4 sp/unit = 792 spaces PLUS: 15.5% of total = 46 spaces PLUS: Barrier Free = 10 spaces Total Provided: 848 spaces

4 Planning Policy & Regulatory Framework

The Subject Site is governed by a number of policies and legislation from various levels of government, a number of which were recently updated over the last several years. The documents applicable to the Site are identified below and have been reviewed with respect to the application:

- The Planning Act, R.S.O. 1990, c.P.13
- Provincial Planning Statement, 2024
- Lake Simcoe Protection Plan
- 2022 York Regional Official Plan
- Town of Aurora Official Plan, 2024
- Town of Aurora Zoning By-law No. 6000-17, as amended

When considering development applications, planning decisions by the Town must be consistent with and/or conform to the various provincial, regional and local policies.

4.1 The Planning Act, R.S.O., 1990, c.P.13

Section 2 of the *Planning Act* states that “The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest” which are outlined in the Section. The following matters are applicable to the subject site:

- (a) *the protection of ecological systems, including natural areas, features and function;*
- (e) *the supply, efficient use and conservation of energy and water;*
- (f) *the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems*
- (g) *the minimization of waste;*
- (h) *the orderly development of safe and healthy communities;*
- (j) *the adequate provision of a full range of housing, including affordable housing;*
- (k) *the adequate provision of employment opportunities;*
- (p) *the appropriate location of growth and development;*
- (q) *the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;*
- (r) *the promotion of built form that,*
 - (i) *is well-designed,*
 - (ii) *encourages a sense of place, and*
 - (iii) *provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;*

Further, Section 3(5) of the *Planning Act* requires decisions of the council of a municipality that affects a planning matter to be consistent with policy statements and conform to provincial plans, that in effect on that date.

Regarding requests for official plan amendments, specifically as they related to the removal of lands from employment areas, Section 22(7.3) states:

- (7.3) *If the official plan contains policies dealing with the removal of land from areas of employment, subsection (7.1) also applies in respect of amendments requested under subsection (1) or (2) that propose to remove any land from an area of employment, even if other land is proposed to be added. 2006, c. 23, s. 11 (6).*

Subsection 7.1 restricts the ability to appeal a decision of Council as follows:

- (7.1) *Despite subsection (7) and subsections 17 (36) and (40), there is no appeal in respect of,*
- (a) *a refusal or failure to adopt an amendment described in subsection (7.2);*
or
 - (b) *a refusal or failure to approve an amendment described in subsection (7.2). 2006, c. 23, s. 11 (6).*

4.2 Provincial Planning Statement (2024)

The Provincial Planning Statement, 2024 (PPS) came into effect October 20, 2024, and replaces the Provincial Policy Statement and A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019. It is a consolidated statement of land use planning policies which is intended to streamline existing policies and expedite the development approvals process with the ultimate goal of delivering more housing. The PPS states that the policies contained within the document represent minimum standards allowing municipalities to go beyond those standards to address matters of importance.

All land use planning decisions shall be consistent with the PPS, as dictated by the provisions in Section 3 of the *Planning Act*.

The PPS focusses on key land use planning issues which are intended to provide municipalities with the tools and flexibility to enable the increase in housing supply, develop complete communities including infrastructure, protect long-term viability of rural areas and protect agricultural lands, the environment and public health and safety.

Policies include but are not limited to accommodating affordable and market-based range and mix of residential types; promoting the integration of land use planning, growth management, transit-supportive development, intensification, optimization of transit investments, and standards to minimize land consumption and servicing costs.

Policies particularly relevant to the Subject Site and the Proposed Development are contained in Chapter 2: Building Homes, Sustaining Strong and Competitive Communities. Chapter 2 provides policies on building homes, directing growth to settlement areas, providing an appropriate range and mix of housing options and densities; transportation options, employment and the provision of community uses to achieve the development of complete communities for current and future residents.

The Site is located within a settlement area. The Proposed Development forms part of a larger planned community (Aurora 2C Secondary Plan Area) which has been constructed in phases over

the last number of years and includes a wide range of residential uses and built form, community uses, commercial and employment uses.

The Secondary Plan Area and the Subject Site, support the policies of Section 2.1.6 as follows:

Planning authorities should support the achievement of complete communities by:

- a) accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;*
- b) improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and*
- c) improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.*

Section 2.2 Housing, provides further direction:

- 1. Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:*
 - b) permitting and facilitating:*
 - 1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
 - 2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*
 - c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation;*

Section 2.8 Employment, provides policies for the promotion and protection of employment areas, including land use compatibility, intensification and range of mix of uses to meet long term needs. Section 2.8.2.3 b) prohibits residential uses within employment areas; however, Section 2.8.2.5 provides policies which allow for the removal of lands from employment areas subject to criteria as outlined below:

- 5. Planning authorities may remove lands from employment areas only where it has been demonstrated that:*
 - a) there is an identified need for the removal and the land is not required for employment area uses over the long term;*
 - b) the proposed uses would not negatively impact the overall viability of the employment area by:*

1. *avoiding, or where avoidance is not possible, minimizing and mitigating potential impacts to existing or planned employment area uses in accordance with policy 3.5;*
2. *maintaining access to major goods movement facilities and corridors;*
- c) *existing or planned infrastructure and public service facilities are available to accommodate the proposed uses; and*
- d) *the municipality has sufficient employment lands to accommodate projected employment growth to the horizon of the approved official plan.*

The PPS 2024 allows for the conversion of employment lands within employment areas through a privately initiated amendment, at any time, without the need for a municipal comprehensive review.

An Employment Land Analysis has been prepared by KR Planning Group Inc., which has concluded that the Town has numerous opportunities to exceed its minimum employment targets on lands designated for employment uses within this area; and, that the Site is not required to meet long term needs. A more detailed review of the Analysis is provided in Section 6.2 of this Report.

The Town of Aurora and the Region of York Official Plans have established minimum housing targets to meet its needs for future growth to 2051. The Subject Site is not required to meet employment targets; however, the addition of the Site will assist the Town in meeting its housing targets. In addition, the proposed development will contribute to diversifying Aurora's housing stock through the provision of additional townhouse type dwelling units which in turn will assist in providing competitive housing prices.

The proposed residential development abuts only one other lot (Block 27) to the north which is currently vacant of any development. Both Blocks 27 and 28 are bounded by municipal roads (Leslie Street, Monarch Park Gate and Addison Hall Circle) providing a natural divide from the balance of the employment area to the north and east. In addition, a 23.0 m landscaped buffer is provided along the Leslie Street frontage to accommodate an existing 18.5 metre easement.

The proposed residential units gain access from internal laneway system and do not have direct access to any local or regional roads. A Traffic Impact Brief, prepared by TYLin confirms that the proposed accesses would not negatively impact the function of the employment area. In addition, the intersection of Leslie Street and Addison Hall Circle is signalized providing controlled vehicular movement.

As previously noted, the Site is within a registered plan of subdivision which has been fully serviced. Connection to existing services is available off of Addison Hall Circle. A Servicing Analysis has determined that there is adequate sewage capacity available which could be allocated to the development.

Conclusions

As stated above, the PPS provides a planning framework to promote intensification, through efficient development and land use patterns, by directing growth and development within Settlement Areas serviced by municipal infrastructure.

The proposed Official Plan and Zoning By-law amendments (OPA/ZBA) are in support of the request to remove lands from a designated Employment Area. This request is permitted within the policies of the PPS subject to the demonstration and satisfaction of various criteria. The

proposed residential development supports the policy directives outlined by directing growth to settlement areas, providing a more intensified use and development, introducing additional housing types and increasing housing stock, locating within an area of existing full municipal services; and, by providing a more compact built form and providing a modest increase in population and within an area with existing public transit. Further, the Site is located within a planned community with access to park and open space systems, schools, commercial and employment uses.

The proposed development is consistent with the PPS 2024 policies.

4.4 Lake Simcoe Protection Plan

The Lake Simcoe Protection Plan (LSPP) was established as a result of the Lake Simcoe Protection Act (2008) for purposes of protecting, restoring and improving the ecological health of Lake Simcoe. The LSPP generally applies to the Lake Simcoe watershed, which includes Lake Simcoe and those parts of Ontario, where the water drains into Lake Simcoe.

The subject site is located within the East Holland Subwatershed of the LSPP, as shown on **Figure 7**.

The policies of the LSPP are grouped into four categories, namely; “designated policies (DP)”, “have regard to (HR)”, “monitoring by public bodies (M)”; and, “strategic actions (SA)”. Policies as they relate to the proposed development are within the DP and HR groups.

The Act requires *“that decisions under the Planning Act or the Condominium Act, 1998 or decisions related to a “prescribed instrument” conform with the applicable designated policies in the Plan and have regard to the other applicable policies.”*

Schedule of Applicable Policies, contained within the Appendix of the LSPP, provides a summary of DP and HR policies that development applications must conform to or have regard for.

The relevant policies that pertain to the Subject Site have been identified in **Appendix A** to this report along with a summary of how the policies have been addressed.

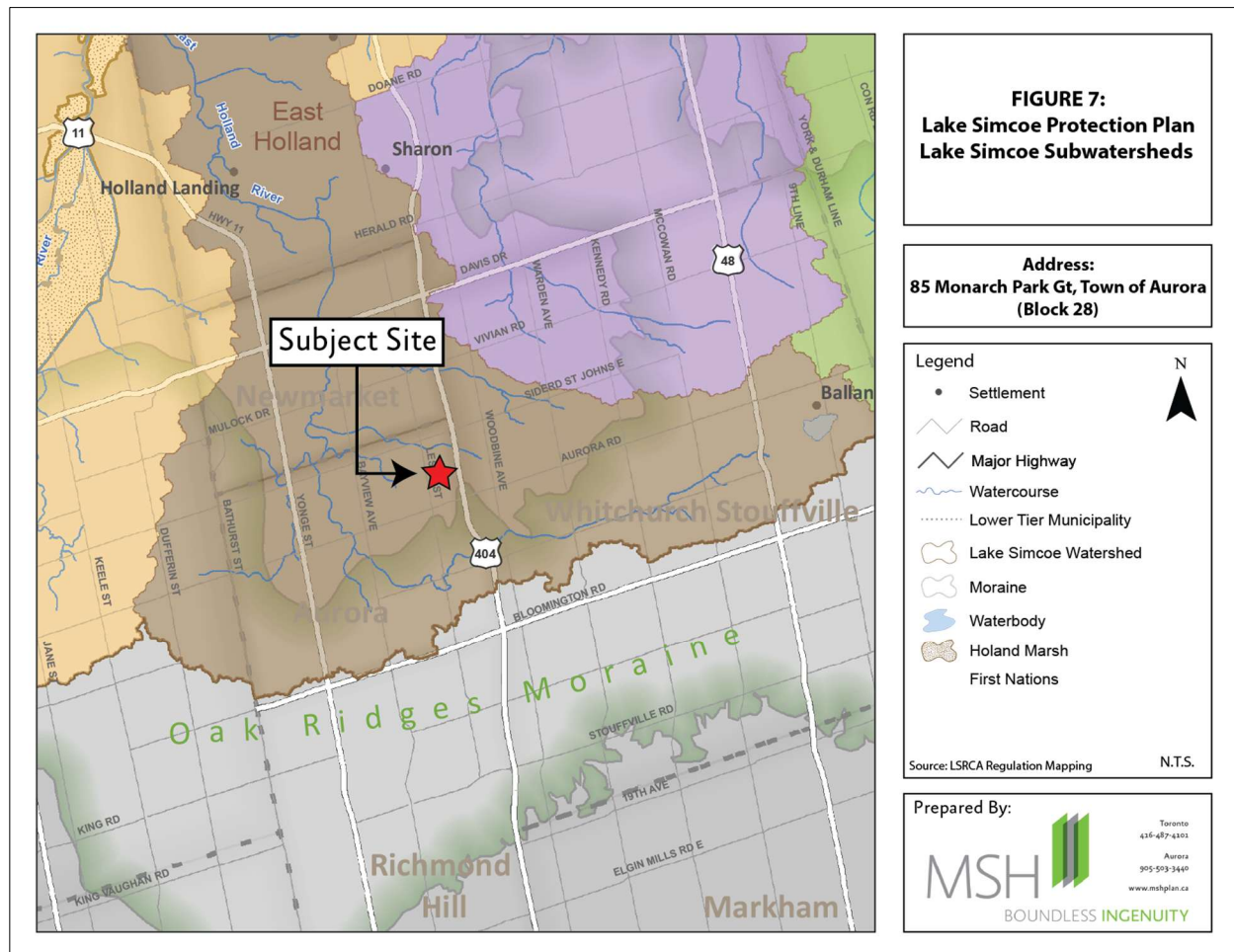


Figure 7 – Lake Simcoe Protection Plan, Lake Simcoe Subwatersheds

4.5 2022 York Regional Official Plan

In June 2022, York Regional Council adopted the 2022 Regional Official Plan (YROP) and received approval from the Minister of Municipal Affairs and Housing in November 2022, subject to modifications and updates as a result of, among other things, Provincial Bill 150 and Bill 162.

The YROP provides policies and direction for economic, environmental and community planning decisions, to assist local municipalities in accommodating future growth and development to 2051.

Effective January 1, 2025, the Region of York and several other upper tier municipalities were deemed by the Province as an “upper-tier municipality without planning responsibilities”. As a result, the local municipalities, including the Town of Aurora, have assumed responsibility as the approval authority with the YROP document now forming part of their respective Official Plans.

The Site is within the Urban Area and is designated as “Employment Area” on Map 1A – Land Use Designations (**Figure 8**).

The Site is also located within the “Highway 404 North” Employment Area Zone”, in Appendix 1 of the YROP.

The YROP policies are intended to protect employment uses while also creating complete communities and “enhancing connections between Community Areas and Employment Areas.”(S.2.3.15.h)

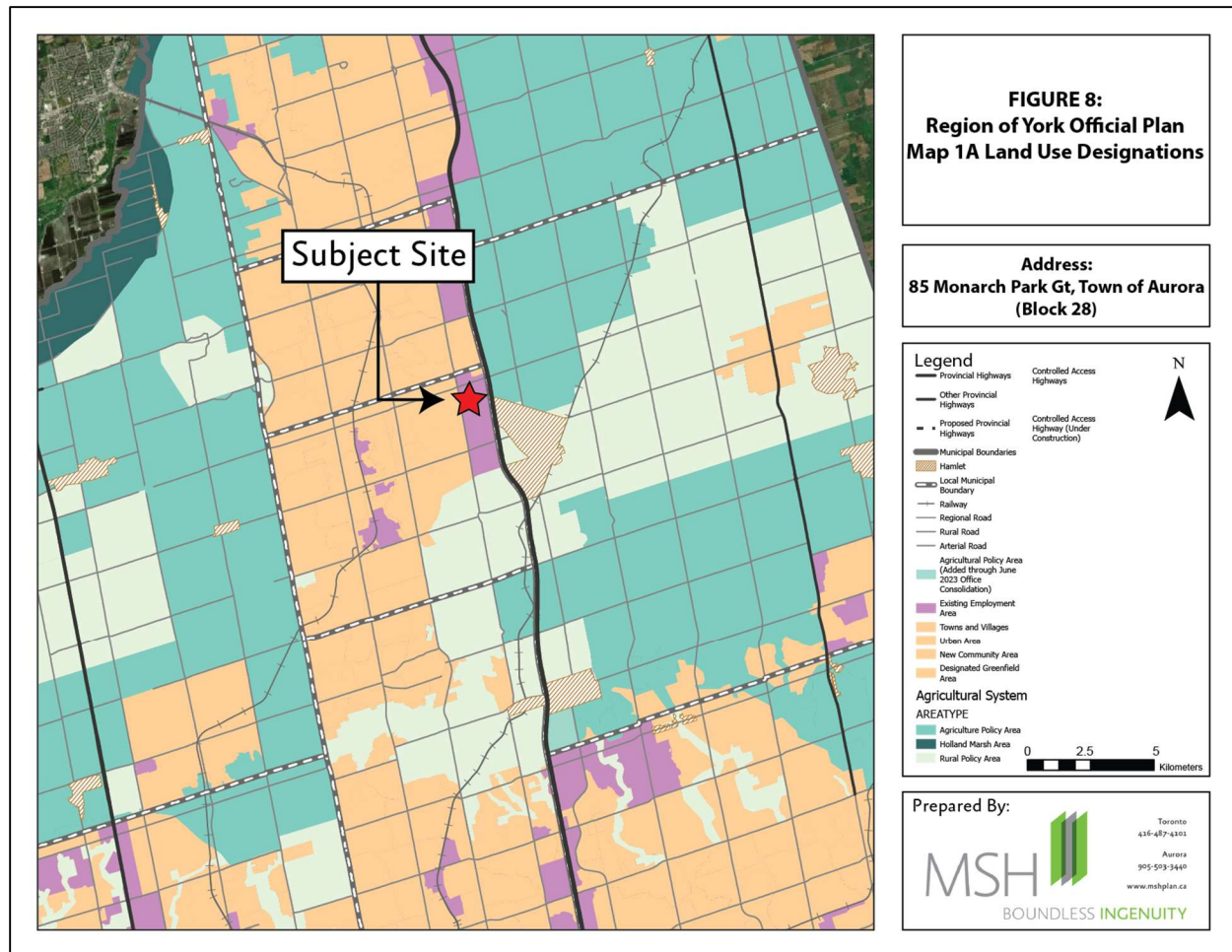


Figure 8: Map 1A – Land Use Designations

The Subject Site is within the Urban Area, has full municipal services, has direct access to public transit, including local and regional services; and, is in proximity to Highway 404.

The Site is on the periphery of a large employment area block with Community Areas located on the west side of Leslie Street.

A wide range of commercial and retail uses are located within a large-format plaza to the southeast of the Site.

Given the Site’s location on a regional arterial road, proximity to an existing Community Area, availability of transit, an environmental feature as a buffer from employment lands to the south, the proposed development would provide an appropriate transition between the two Areas.

Removal of the Site from the Employment Area will be subject to review by the Town of Aurora.

4.6 Town of Aurora Official Plan 2024

The Town of Aurora recently approved its Official Plan in January 2024 and received final approval from The Region of York, subject to modifications, in May 2024. The Official Plan (OP 2024) had been updated to conform to provincial policies at that time. Some policies of the OP 2024 were subsequently appealed on a site-specific basis and are currently before the Ontario Land Tribunal (OLT). None of the affected policies are related to nor impact the Subject Site.

The Town's OP 2024 supports a vision of complete communities, which includes a wide range and mix of housing types, densities and tenure, a range of community services and amenities, employment opportunities and a well-connected public open space and natural heritage system.

Policies promote intensification within appropriate locations within the Settlement Area, on full municipal services and within transit-supportive and active transportation areas.

The Official Plan designates the Subject Site as Employment Area, within the Settlement Area, as shown on Schedule 'A' - Structure Plan, of the Town's Official Plan (**Figure 9**). The Site is further identified as being within the Aurora 2C Secondary Plan Area (OPA 73) as shown on Schedule 'C' - Secondary Plan Areas (**Figure 10**).

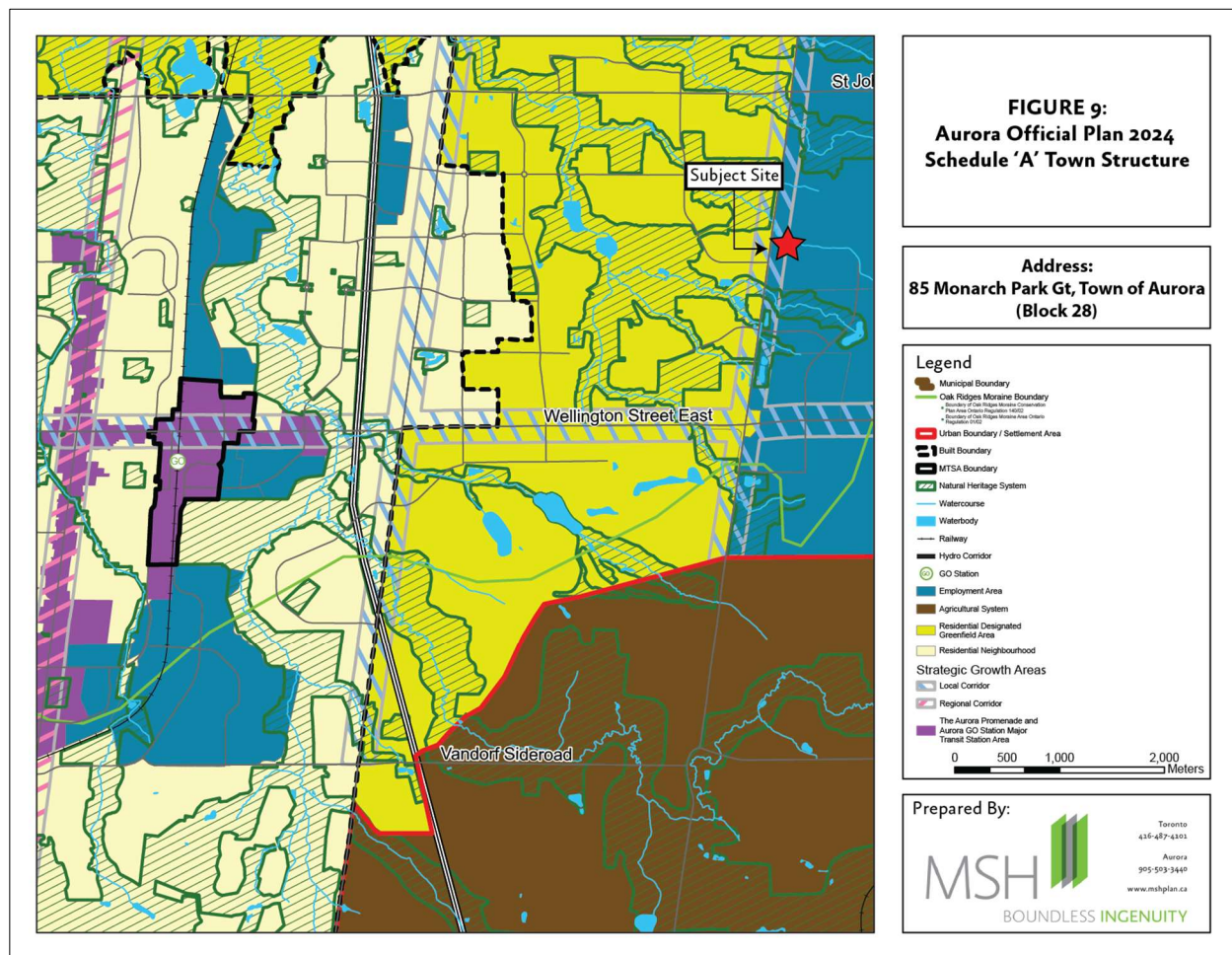


Figure 9 – Town of Aurora Official Plan (2024), Schedule 'A' - Structure Plan

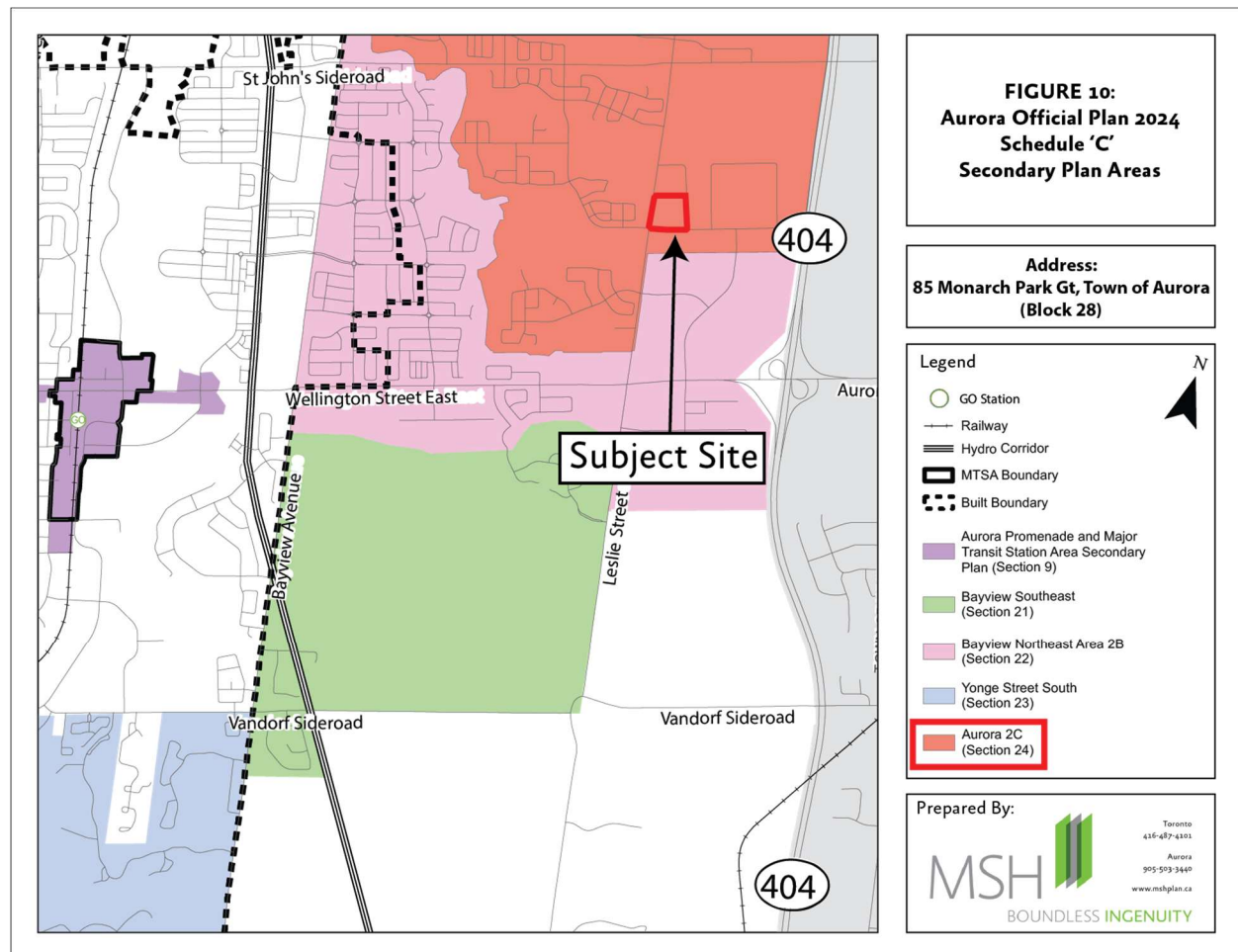


Figure 10 - Town of Aurora Official Plan (2024), Schedule 'C' - Secondary Plan Areas

Section 3.4 Employment Areas states that employment lands within the Designated Greenfield Area are “designated Business Park and will be planned to accommodate new employment growth to the 2051 planning horizon”.

Section 11.3 Employment Areas provides policies for the enhancement, protection and preservation of employment lands. In addition, Section 11.3.1.f) states it is a Town objective to achieve a minimum density of 55 jobs per hectare within developable areas.

Notwithstanding the above, Section 11.3.2 Conversion Policies, provides policies and criteria for the removal of lands from employment areas.

11.3.2 Conversion Policies

- a) Applications to convert lands designated Employment Area to a residential use, retail use or any other non-employment use that is not permitted by this Plan within any Employment Area designation or that is not ancillary or accessory to a permitted Employment Area use shall be assessed on the basis of a Regional Municipal Comprehensive Review.

- b) *Notwithstanding 11.4 a) i) (above), until the next Municipal Comprehensive Review, lands within existing employment areas may be converted to a designation that permits non-employment uses, provided:*
- *There is a need for the conversion;*
 - *The proposed uses would not adversely affect the overall viability of the employment area or the achievement of the minimum intensification and density targets set out in A Place to Grow: Growth plan for the Greater Golden Horseshoe, nor its policies;*
 - *There are existing or planned infrastructure and public service facilities to accommodate the proposed uses;*
 - *The conversion maintains a significant number of jobs on those lands through the establishment of development criteria; and,*
 - *The conversion does not include any part of an employment area identified as a provincially significant employment zone unless the part of the employment area is located within a major transit station area as delineated in accordance with A Place to Grow: Growth plan for the Greater Golden Horseshoe.*
- b) *The conversion of lands within Regionally identified employment lands to non-employment uses shall only be considered through a municipal comprehensive review. The change of General Industrial designation to Business Park designation through an Official Plan amendment shall require Regional approval*

As stated earlier in this Report, the Region of York is now an upper-tier municipality without planning responsibilities. The YROP is now under the umbrella of the Town's OP, this together with Policy 2.8 of the PPS allows municipalities to remove lands from employment areas without the need for a Municipal Comprehensive Review (MCR), therefore, 11.3.2 a & b) in this regard no longer apply.

The Town must be satisfied however that the criteria set out are met.

Section 7 sets out policies related to the provision of housing, including type, built form, mix and density. These policies support on of the Town's "fundamental principles" which is:

*To ensure that Aurora's **development** includes a broad range of housing types, sizes, densities, designs, tenures and prices to meet the needs of the Town's current and future residents. Providing a range and mix of housing options, including attainable and **affordable housing**, is one of the essential elements required to support a diverse population and a **complete community**.*

Section 7.3 provides policies specific to affordable housing. The OP defines *Affordable Housing* as follows:

- a) *In the case of ownership housing,*

- i. *Housing for which the purchase price results in annual accommodation costs not exceeding 30% of gross annual household income for low and moderate-income households.*

For the purposes of this definition, “low- and moderate-income households” means the lesser of households with incomes in the lowest 60% of the income distribution for the regional market area or households with incomes in the lowest 60% of the income distribution for the local market area.

Section 7.3 b) states:

The Town, in partnership with the Region and development community shall promote the following to achieve housing that is affordable for low and moderate income households:

- i. *Higher density and compact housing forms, where housing is more affordable due to reduced per unit land costs;*
- ii. *Ground-related multi-unit housing of various forms to provide affordable family sized units where housing is more affordable due to both land costs and construction costs;*
- iii. *A range of unit sizes in higher density housing forms and building smaller units where housing is more affordable due to lower development and/or redevelopment costs;*
- iv. *Affordable housing units within subdivisions and large scale **developments**; and,*
- v. *The development of additional dwelling units, subject to Section 7.4.3 of this Plan.*

Per provincial regulations, the Site is not subject to inclusionary zoning policies under the Planning Act as it is not located within a Protected Major Transit Station Area (PMTSA) or within a Community Planning Permit System area.

There continues to be a need for residential development that provides a housing type that is smaller and provides greater densities within a compact and intensified built form. The proposed development helps to satisfy the Town’s goals outlined above.

The townhouses proposed are of a higher density and compact housing form, maximizing the use of developable land, thereby reducing per unit land costs.

The 3-storey, ground-related townhouses are of a size and typology suitable for families and the Site provides for linkages to the Town’s open space system, existing shopping, community and institutional facilities. As previously noted, the Site is also within an area where all municipal services are existing and available to the site; and, analysis has been completed to demonstrate that the Site is not required to meet the Town’s employment targets.

To assist in achieving affordable housing within the Town and, fulfill the Town’s goal to work together with the Region and the development community, Council recently endorsed the Affordable Housing Action Plan (AHAP). Based on CMHC data, the Affordability Price Threshold (the maximum price a household can afford to pay for private market dwellings, pg 8, AHAP) for the Town of Aurora is \$509,000.00. With current land values, construction costs, etc., it is not feasible to provide housing

at this rate without some sort of subsidy, grant program or similar initiatives. In addition, there are no regulations in place to ensure dwellings retain a level of affordability beyond the initial purchaser.

The proposed development maximizes the use of land which has been identified as not being required to meet employment targets, contributes additional housing units into the market; and, provides a housing type and tenure that is more affordable and closer to the affordability price threshold than other single detached housing options. In addition, it is a built form that is more conducive to a family lifestyle than other housing types such as higher density apartments.

Analysis has been completed which has included the review of the 2C Secondary Plan (OPA 73) employment area and the Bayview Northeast 2B Secondary Plan (OPA 30) employment area, which abuts the Site to the south. The Analysis has confirmed that based on these two primary employment areas, the Town has achieved greater than the 55 jobs/hectare; and, that there remains a significant amount of land available to address employment needs into the future and the 2051 forecast.

As previously noted, the removal of the Subject Site would not adversely affect the overall viability of the area. A significant amount of the subdivision has already been built out and is operational; and, as stated, would not negate the ability to meet the minimum employment density targets which have already been achieved.

The Site is currently vacant and does not remove any existing jobs.

The Site is not designated as a provincially significant employment zone; and, is not within a major transit station area.

The proposed removal of the Site from the employment lands meets the criteria set out in the PPS, the YROP and the Town's Official Plan.

Policies for Land Use Compatibility are set out in Section 11.3.4 as follows:

- a) *Permitted uses shall be designed to be compatible with their surrounding land uses. Permitted uses shall not emit noticeable or noxious noise, dust or air emissions which negatively impact adjacent sensitive land uses. The uses shall be entirely contained within a building, except for accessory vehicle parking and limited accessory outdoor storage. These uses may be situated in proximity to commercial and residential uses or other designations provided that suitable buffering, setbacks and receptor-based mitigation measures are undertaken to minimize any negative impacts. Development proposals impacting adjacent and sensitive land uses may be required to carry out relevant technical studies related to air, noise and/or vibration, to the satisfaction of the Town.*

As set out in Policy 11.5, Business Park, the designation is intended to provide for a range of "high quality" employment opportunities and prestige industrial uses. Permitted uses include but are not limited to business office & research, industrial and manufacturing, warehousing, industrial supply, micro-industries, automotive, service commercial, commercial recreational, hotels, and a variety of ancillary uses. Permitted uses are intended to be of a higher quality which are unlikely to cause air pollution, odour or excessive noise. More noxious industrial uses are intended to be located outside of the Business Park and within the general industrial designated areas.

Conclusions

The proposed change of use of the Site from employment to residential meets the criteria set out in the Town's OP 2024. The preparation of support studies confirms that existing employment uses and remaining employment lands exceed the minimum targets initially established in the OP. Removal of the Site from the employment land supply will not have a negative impact on the Town's ability to achieve and surpass those targets.

As per Provincial regulations, this location does not meet the criteria for the mandating of affordable housing, however, the proposed development adds to the Town's overall housing stock and the proposed units are anticipated to be marketed lower than Aurora's average home price.

A draft OPA has been prepared and submitted with the applications as **Appendix B**.

4.7 The Aurora 2C Secondary Plan (OPA No. 73)

The Subject Site is located within the Aurora 2C Secondary Plan Area, Official Plan Amendment No. 73 (OPA 73).

OPA 73 was adopted by Town Council in 2010 and subsequently approved by the Ontario Municipal Board (OMB) in 2011. The purpose of OPA 73 was to create a complete community including the designation of a well-planned and designed Business Park, which was generally located on the east side of Leslie Street.

The Secondary Plan established development policies to guide development, establish land use patterns, residential densities, transportation systems and servicing schemes for a community initially intended to accommodate 8,000 to 9,000 residents and 4,400 to 5,500 jobs into 2031.

The Subject Site is designated "Business Park 1" as shown on **Figure 11 – Schedule 'A' – Land Use Aurora 2C Secondary Plan**.

Modifications have been made to OPA 73 through the Town's earlier Official Plan Review process to bring policies into conformity with provincial policies and current initiatives however the designation and general intent remain the same.

Section 24.5.2.11 c) requires that a minimum density of 40 jobs per developable hectare be achieved.

Permitted uses are to provide for "a range of employment opportunities including prestigious office uses to warehousing and light manufacturing", as well as a variety of ancillary uses including retail and personal service uses.

The registered plan of subdivision in which the Site is located, has been designed and approved based on the Secondary Plan policies, including servicing, road layout and design guidelines.

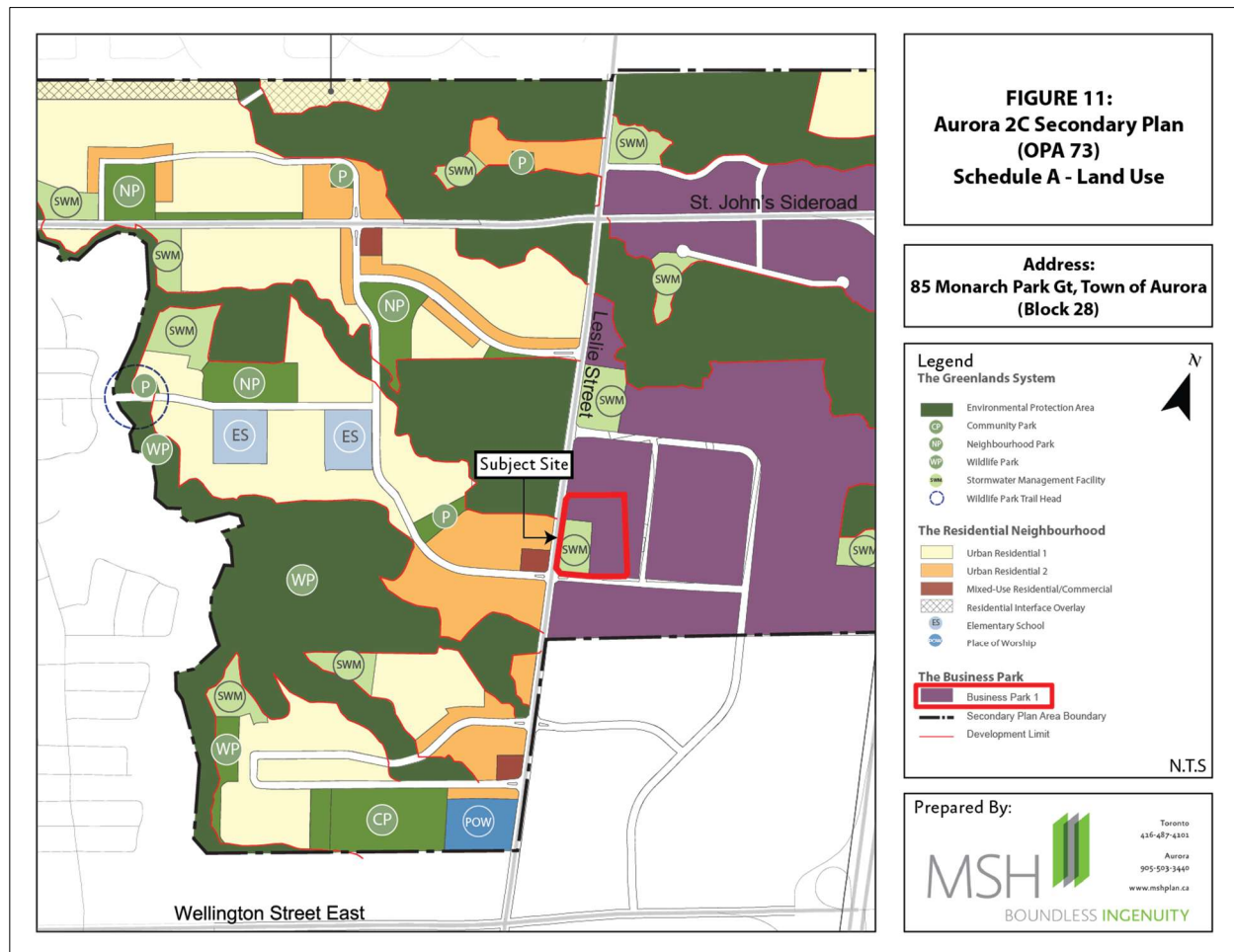


Figure 11 – Town of Aurora OPA 73, Schedule 'A' – Land Use Plan

4.8 Town of Aurora Comprehensive Zoning By-law 6000-17, as amended

The Town of Aurora Comprehensive Zoning By-law 6000-17, as amended, was approved by Town Council June 27, 2017 and received final approval by the Ontario Municipal Board January 29, 2018. The By-law has been consolidated to January 15, 2024.

The Subject Site is zoned “Business Park Exception E-BP(447)”, as shown on Schedule ‘A’, Aurora Zoning Map No. 8 of the Town’s Zoning By-law (**Figure 12**).

The site-specific exception, among other things, allows for a range of additional permitted uses, predominantly commercial in nature, including but not limited to supermarket, financial institutions, offices, medical clinics, restaurants, etc.; and, site specific regulations.

A zoning amendment will be required to rezone the subject site from E-BP(447) to “Townhouse Dwelling Residential Exception (R8-XX) Zone” with appropriate site-specific provisions, similar to what was approved for Blocks 29 and 30 to the south.

Adjacent lands to the north (Block 27) are zoned E-BP(446) and also allows for similar additional permitted uses and, site specific regulations. Lands to the east, on the east side of Monarch Park Gate (Block 33), are part of a larger environmental block extending north to the limit of the subdivision. A small landscape buffer runs along the east side of Monarch Park Gate. Lands further east are zoned E-BP(443), which permits medical office/clinic and warehousing in addition to the E-BP uses, as well as site specific regulations.

Section 10.4 *Minimum Distance Separation Residential and Industrial* states:

Where an Employment (E) Zone abuts a Residential Zone or a Holding Provision designated for residential purposes or is separated from such Zone or Provision by a street, highway, right-of-way or vacant land only, any new building used for manufacturing or industrial purposes shall be located a minimum of 50 metres away from any existing residential lot line.

The zoning provision of Section 10.4 applies to the Employment zone in general and does not take into account specific uses. As noted, the area is designated and zoned for Business Park with a variety and range of permitted uses and restrictions across the subdivision. The E-BP zone does not permit outside storage or noxious uses. In this instance, the additional permitted uses allowed under site specific provision number 446 for Block 27 to the north allows for a variety of non-manufacturing or industrial uses, specifically commercial retail and office uses. On this basis, a minimum distance separation is not required and appropriate setbacks are implemented through the various zoning provisions.

With respect to lands to the east, the Site is separated by Monarch Park Gate which has a right of way width of 20.0 metres as well as the EP lands that run the length of the east side of Monarch Park Gate. In addition, there is a significant grade differential providing a steep landscaped slope along this buffer to the east providing a visual separation to the existing employment uses to the east.

This is further detailed in the Land Use Compatibility Study (Noise)/Environmental Noise Feasibility Study submitted with this application and briefly outlined in Section 6.3 below.

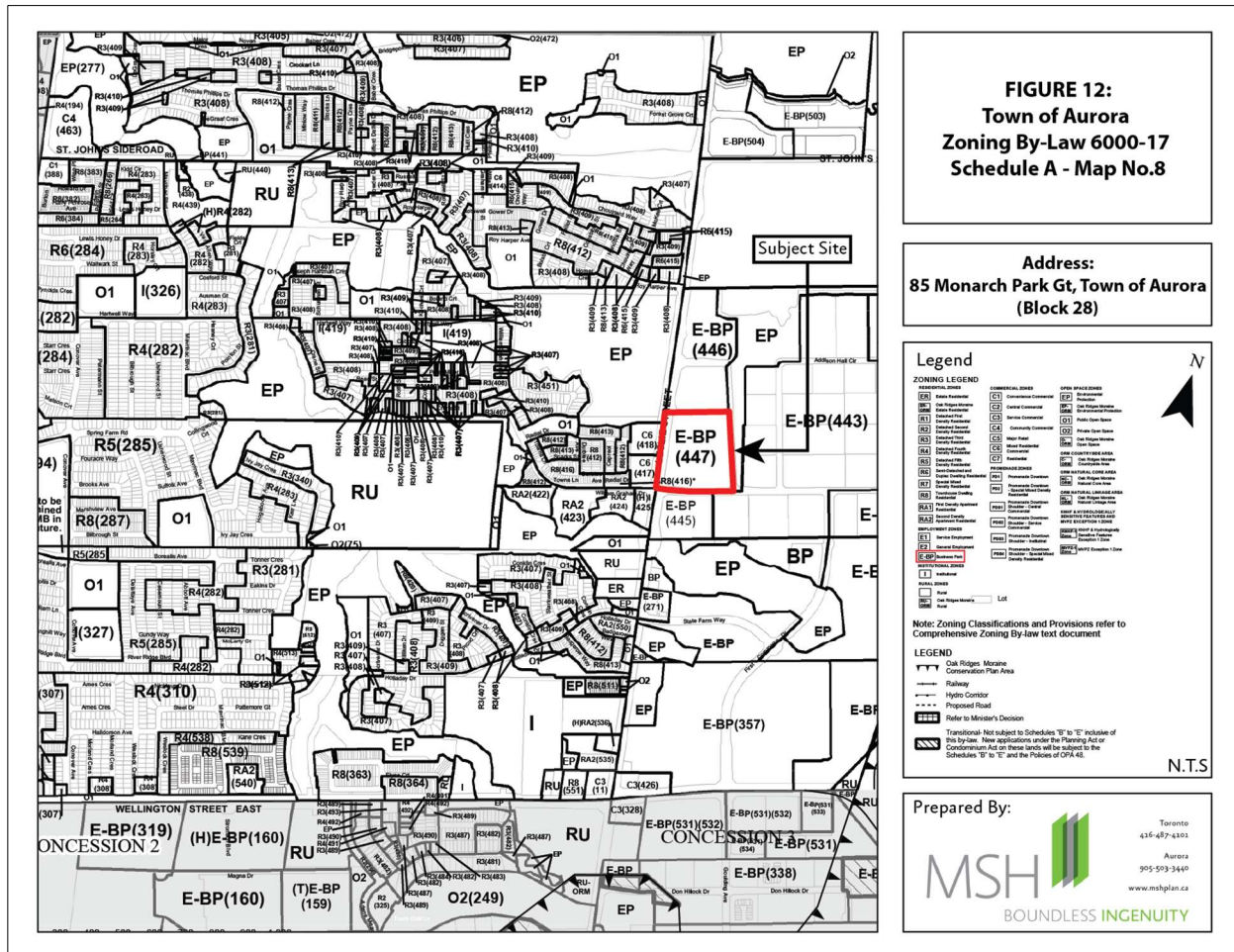


Figure 12 – Town of Aurora Zoning By-law 6000-17, Schedule ‘A’, Map No. 8

The proposed development will contribute to the supply for additional housing stock and assist in meeting the demand within the Town; and, provides for alternate built form and design options.

Any environmentally significant features have been identified through the previously approved plan of subdivision and the appropriate lands have been conveyed to the Town. No additional environmental features have been identified or are located on the Subject Site.

The Site will be rezoned to “Townhouse Dwelling Residential Exception (R8-XXX) Zone” in accordance with Zoning By-law 6000-17, as amended.

Modifications to the Town’s R8 provisions are proposed in order to accommodate unique, site specific features; and, reflect current building design practices. Examples of site specific modifications include, height and setback provisions and are generally outlined as follows:

Table 2 – Proposed Zoning Standards – R8-XXX Zone

Zoning Standard	Proposed R8-XXX Zone
Zoning Requirements	
The lot line adjacent to Monarch Park Gate shall be deemed the Front Lot Line.	
Section 7.5.3 <i>Dwelling Adjacent to an Employment Zone</i> shall not apply.	
Section 10.4 <i>Minimum Distance Separation Residential and Industrial</i> shall not apply.	
Lot Specifications	
Min. Lot Area – Total Parcel	4.0 hectares
Min. Lot Frontage -Total Parcel Monarch Park Gate (min)	70.0 m
Building Setbacks (min)	
Front Yard (Monarch Park Gate)	6.0 m
Exterior Side Yard (Addison Hall Circle)	6.5 m
Rear Yard (Leslie Street)	23.0 m
Interior Side Yard (North Property Line)	6.0 m
Site Specifications	
Required side yard setback from a building to the Rear Yard (minimum)	16.0 metres
Required setback of a rear yard garage from the rear lot line of an exterior or end unit to a private road or laneway (minimum)	4.0 metres
Required distance separation between the side of a building to the side of another building (minimum)	3.5 metres
Required distance separation between the front main wall of the 1 st floor of a building to the front main wall of the 1 st floor of another building not separated by a private road (minimum)	11.5 metres
Required distance separation between the front main wall of the 2 nd floor of a building to the front main wall of the 2 nd floor of another building not separated by a private road (minimum)	9.5 metres
Building Specifications	
Width of a Dwelling Unit (minimum)	5.5 m
Height (maximum)	13.0 m

Total Site Building Coverage (maximum)	50%
Minimum Total Amenity Space	14 m ² per dwelling unit collectively provided across total parcel

additional site-specific provisions are included in the draft ZBLA as needed. Please refer to **Appendix C.*

These modifications will be considered as part of the Town's review process which may result in further refinement to the draft by-law.

A copy of the draft zoning by-law is included with this submission as **Appendix C**.

5 Additional Applications

Should the applications for Official Plan and Zoning Amendment be approved, an application for Site Plan Approval (SPA) will be submitted to the Town. Through the Site Plan Approvals process, further detailed studies will be provided to ensure the Town's policies and zoning provisions are implemented accordingly.

Upon completion of the SPA, an application for Plan of Condominium will be submitted.

6 Supporting Studies

As stated earlier in this Report, the Subject Site is comprised of one Block on a registered Plan of Subdivision. As part of the Subdivision Approvals process, full and thorough review was completed and all required support documentation was reviewed and approved in order to satisfy the Conditions of Draft Approval, ultimately leading to the registration of the Plan.

Site Plan Approvals and Building Permits have been, and continue to be, issued based on these materials.

However, as the proposed development is a change of use, conversion from employment to residential, which affects traffic patterns, site servicing, site development design and layout, etc., addendums to the relevant studies have been prepared to ensure the proposed residential development can be accommodated and is appropriate for the Subject Site.

It is acknowledged that any recommendations or requirements set out in studies not requiring revision or update continue to apply to the Subject Site and must be adhered to, as would have been the case regardless.

The following is a list of some of the Studies reviewed and approved as part of the registration of the Subdivision. An excerpt of the registered Subdivision Agreement, dated June 25, 2019, providing a complete list of detailed plans & specifications, drawings and reports can be found in **Appendix D**.

Report	Prepared By/Date
Stormwater Management Report (Addison Hall Business Park)	Cole Engineering, March 2014
Functional Servicing Report (Addison Hall Business Park)	Cole Engineering, March 2014
Marsh Creek Erosion Control Analysis (Addison Hall Business Park)	Cole Engineering, March 2014
Hydrogeological Study, Water Balance Assessment, Geotechnical Investigation & Slope Stability Analysis (Addison Hall Business Park)	WSP Canada, March 2014
Natural Heritage Evaluation & Environmental Impact Study	Dougan & Associates, March 2014
Phase One Environmental Site Assessment (15625 & 15775 Leslie Street)	WSP Canada, March 2014
Landform Assessment & Conservation Study (Addison Hall Business Park)	Schollen & Co. & WSP Canada, March 2014
Landscape Concept Plan (Addison Hall Business Park)	Schollen & Co., March 2014
Vegetation Inventory & Assessment Report	Schollen & Co., March 2014
Floodplain Analysis Report (Addison Hall Farms)	Cole Engineering, May 2009
Planning Justification Report (Addison Hall Business Park)	KLM Planning Partners (March 2014)

Archaeological Stage 4 & Conservation Plan

Archaeological Assessments Ltd.,
November 2010

Notwithstanding the above, certain reports including but not limited to the Hydrogeological Study and Geotechnical Investigation, will be updated at the Site Plan Approval stage as part of the detailed design work in order to address any on-site specific matters.

An Employment Lands Analysis was not required as part of the original Plan of Subdivision approval and has been prepared to support the proposed conversion.

A brief summary of additional studies or those requiring updates or addendums is outlined below.

6.1 Functional Servicing and Stormwater Management Report

SCS Consulting Group Ltd. (SCS) was retained by the applicant to prepare a Functional Servicing and Stormwater Management Report (FSSR) for the proposed development and related development applications. The purpose of the FSSR, dated July 2026, *“is to demonstrate that the proposed development can be accommodated by the external storm, sanitary, and water infrastructure and to establish servicing, grading and stormwater management expectations for the future site plan application in accordance with the Town of Aurora, Lake Simcoe Region Conservation Authority (LSRCA), and the Ministry of Environment, Conservation and Parks (MECP) design criteria.”*

The strategies contained within this report are based on the approved reports and drawings prepared for the Plan of Subdivision. In addition, the report reviewed current servicing and SWM policies, strategies, design guidelines and standards.

The FSSR reviewed:

- Storm servicing (existing & proposed)
- Stormwater management (quality, quantity, erosion control, water balance & phosphorus budget)
- Sanitary servicing (existing & proposed)
- Water Supply & distribution (existing & proposed)
- Servicing Allocation
- Grading (existing & proposed)
- Erosion & Sediment Control During Construction

The recommendations and requirements of the approved Subdivision reports referenced earlier in this report will be adhered to as they relate to the Subject Site. As is typical, detailed analysis and design will be carried out for Block 28 as part of the Site Plan Approvals process related to grading, drainage, stormwater management, etc.

The proposed sanitary sewer system will connect to an existing 200 mm sewer located within the easement along Leslie Street. The proposed sanitary flows will exceed the original design however it has been demonstrated that the downstream system is able to accommodate the additional flows.

The on-site sanitary sewer system will be designed in accordance with the Town's requirements and MECP criteria, with the precise location of the system being determined at the Site Plan Approval stage.

The residential population for the proposed residential development has been estimated at 533 persons. Servicing allocation is required for residential development only and will be assigned by York Region to the Town for site specific allocation.

No issues were identified with respect to the proposed water system and analysis indicated sufficient water to service the Site.

An in-depth analysis will be carried out at the Site Plan Approvals stage with respect to grading, including cut and fill balance analysis to minimize slopes and retaining walls.

In summary the report states:

- The proposed development can be serviced with a combination of the existing municipal services and proposed private services within the site;
- The stormwater management criteria can be achieved; and
- The proposed development can be graded in a manner which satisfies the Town of Aurora grading criteria and the stormwater management requirements for this development.

6.2 Employment Land Study

KR Planning Group Inc., was retained by the applicant to undertake an analysis of employment land needs in the Town of Aurora as it relates to development applications for the change of use from employment to residential on the Subject Site.

The Employment Land Study, dated July 14, 2026 included a review of:

- active development applications
- development potential on vacant employment lands within the Town
- opportunities for employment growth within the Town, and
- other opportunities encouraged through Provincial policy direction.

The Study considers applicable policies within the Provincial Planning Statement, the York Region Official Plan and the Town of Aurora Official Plan 2024.

Analysis of the PPS policies confirms that the Site is not considered to be an employment area and is therefore not subject to the protection policies of section 2.8.2 allowing the lands to be removed from the employment area.

The Region identifies the Site as being within the Highway 404 North Employment Area Zone, which has a minimum density target of 55 jobs per hectare and has an estimated employment forecast of 41,600 jobs by 2051 within the Town of Aurora.

In addition, employment forecasts determined through the Town's Growth Management Discussion Paper (April 2021) and the Town's recent 2024 Development Charges Background Study anticipate an additional 12,000 jobs between 2021 and 2051; and, will reach approximately 40,150 jobs by 2034, nearly achieving the 2051 target.

To further confirm the estimated jobs, the Study considers the Aurora Employment Survey (2022) which identified the employment base at 28,970 jobs, excluding work from home. Adding in the Town's work from home jobs, brought the total number of jobs as of 2022 to 32,996, in keeping with the DC Background Study information.

The Study includes a detailed review of inventory of Vacant Employment Lands within the Aurora 2C employment lands, where the Subject Site is located, Industrial Parkway North and South employment lands and Wellington 404 employment lands.

After taking into account employment growth through anticipated intensification of employment lands over time, increase in work from home over time, existing employment developed employment lands and potential employment added to Strategic Growth Areas (SGAs) and Major Transit Station Areas (MTSAs), the anticipated number of jobs is estimated to be approximately 23% more than the 2051 forecast.

The Study concludes as follows:

- The Site is not considered an “employment area” as defined in the PPS.
- The Town has sufficient opportunities to achieve the 2051 employment forecasts without including the Subject Site.
- The Town has the ability to accommodate at least 43,676 jobs, or growth of nearly 11,070 jobs, roughly 23% more than the 8,998 jobs to reach 2051 employment forecasts; and, the density target of 55 jobs per hectare is achievable on the Town's employment lands excluding the Subject Site.
- The Town has a wide range of potential options to achieve its 2051 employment forecasts, including current applications, potential applications on vacant employment lands, intensification of existing developed lands, and the redesignation of the Subject Site has little effect on the probability that the Town will achieve its employment forecasts.

6.3 Land Use Compatibility Study (Noise)/Environmental Noise Feasibility Study

A Land Use Compatibility Study (Noise)/Environmental Noise Feasibility Study (Noise Study) was prepared by Trinity Consultants/Valcoustics Canada Ltd. (VCL), dated July 17, 2026, in support of applications for Official Plan and Zoning amendment for the proposed residential development.

The Noise Study was prepared to assess the impact from transportation and stationary noise sources in the vicinity of the Subject Site and determine mitigation measures needed to ensure the development complies with the Ministry of the Environment, Conservation and Parks (MECP) noise guidelines.

Road traffic on Leslie Street (Regional arterial road) and Addison Hall Circle (collector road) are identified as primary transportation noise sources with potential to impact the proposed development.

One existing stationary noise source is identified at 455 Addison Hall Circle, located east of the Site. Based on existing uses, the most significant source of noise is considered to be rooftop air handling units which due to the distance from the Site are not expected to have significant impact.

Other properties to the east (Blocks 24 through 26 inclusive) and Block 26 to the north have yet to be developed and no uses have been identified. These properties have not been included in the assessment.

As a result of the assessment the following mitigation measures are recommended:

Transportation Noise Assessment

- Architectural elements, for sound insulation including but not limited to building envelope design (walls, windows, etc.)
- Ventilation requirements including windows, requirement for air conditioning, provision for future installation of air conditioning; and, warning clauses, as deemed necessary
- Outdoor Living Area (OLA) requirements include warning clauses as deemed necessary

Stationary Noise Assessment

- Sound levels predicted to meet minimum exclusion limits for all dwellings
- No mitigation measures required to address stationary source impacts

Notwithstanding MECP guidelines, the Region of York requires noise attenuation barriers adjacent to Regional roads with a minimum height of 2.2 metres to a maximum of 3.0 metres, if required.

The Town of Aurora does not accept a +5 dBA leeway for OLAs, therefore an OLA must be designed in a manner that complies with outdoor requirements.

The Noise Study also reviewed Land Use Compatibility as it relates to the MECP D-Series Guidelines. The Study states that:

MECP Guidelines D-1 “Land Use Compatibility” and D-6 “Compatibility Between Industrial Facilities and Sensitive Land Uses” are intended to assist in the planning process when new sensitive land uses are proposed within the potential influence area of existing facilities (stationary sources) or when new facilities are proposed where existing sensitive land uses would be within the new influence area.

The Study notes that the “influence areas” can be used as screening tools when determining sources of potential concern. The MECP Guidelines identify three influence areas:

- Class I industries (light industrial) – area of influence is 70 m;
- Class II industries (medium industrial) – area of influence is 300 m; and
- Class III industries (heavy industrial) – area of influence is 1000 m;

The Site is within a Business Park designation which is generally considered Class I with some Class II facility uses present or permitted. There are no Class II facilities within proximity of the Site.

The report states that the 20 metre setback requirement for a residential dwelling to an employment zone is a precautionary approach and as an alternative, recommend the Municipality deem the Site as a Class 4 area under MECP Publication NPC-300. This would permit the use of higher sound level limits at the Block 28 site and the same sound level limits could then be used by the future industrial uses to the north in the design of their facilities. The deeming of the Site as a Class 4 area would need to be discussed with Staff and agreed upon by the Town of Aurora.

The report recommends that if Class 4 is pursued, a warning clause would need to be registered on title as follows:

Purchasers/tenants are advised that sound levels due to the adjacent industry (facility) (utility) are required to comply with sound level limits that are protective of indoor areas and are based on the assumption that windows and exterior doors are closed. This dwelling unit has been supplied with a ventilation/air condition system which will allow windows and exterior doors to remain closed.

As Blocks 24 through 27 inclusive are yet to be constructed, it is recommended that noise mitigation measures be implemented at source once the uses are confirmed.

The Study concludes:

With the recommended noise mitigation measures, the applicable MECP noise guidelines can be met at the site, and a suitable acoustical environment provided for the occupants.

Therefore, the site is considered feasible in the context of achieving the acoustical requirements for the development.

6.4 Urban Design Brief

In fulfillment of the policies of Section 4.0 of the Town's Official Plan, an Urban Design Brief, dated July 2026 was prepared by MBTW/WAI. The purpose of the Brief is to:

- Demonstrate the details of urban design techniques and elements used within the proposed development.
- Demonstrate how the proposed design plan and urban design principles satisfy the objectives and guidelines outlined in the:
 - Region of York Official Plan;
 - Town of Aurora Official Plan; and
 - 2C Secondary Plan Area
- Ensure a consistent and coordinated approach to the design of buildings, streets and public spaces.

The Design Brief assesses surrounding features and development characteristics, the pedestrian system, streetscapes and street buffers, as well as, built form, focal lots and sustainability to “create a new, successful residential development which contributes to the surrounding developed area.”

The Design Brief is based on the following four design principles:

- An inclusive, mixed tenure community
- Safe & attractive neighbourhood
- Environmental protection & sustainability
- Attractive pedestrian-friendly public realm

The Brief reviews the proposed concept plan as it relates to site layout, architectural style, housing typology, access and circulation, priority lots and fencing, providing appropriate recommendations. In addition, the proposed development is reviewed in the context of the public realm with respect to open space, amenity areas and sustainability and green initiatives.

The Brief concludes that:

- The proposed development provides a distinct and well-defined neighbourhood, comprised of built form and public realm elements establishing a sense of identity.
- The built form and open space design provides functional and visual focal points
- The proposed development provides for sustainable landscape buffers and enhances the existing landscape
- The proposed development including open spaces and amenity areas will further enhance the surrounding community and supports the Town's goal of developing complete communities.

The Brief further concludes that the proposed development is compatible with the Town-wide Urban Design Guidelines as follows:

1. *Achieves a high quality, residential development that supports the existing and planned infrastructure in the Town of Aurora.*
2. *Introduces interesting architectural form featuring high-quality building materials to properly address visually prominent location (located adjacent to an Arterial Road).*
3. *Creates a safe, comfortable and vibrant public realm by introducing ample fenestration and unit frontages with enhanced landscaping towards key streetscape.*
4. *Provides outdoor landscaped areas and outdoor amenity areas that provide residents with high quality passive and functional spaces.*
5. *Implements sustainable site and building design as well as landscaping measures that will contribute to maintaining Auroras sustainability goals.*

The Urban Design Brief will be utilized as part of the Site Plan Approval application review process.

6.5 Transportation Mobility Plan

Echelon Engineering Solutions (EES) was retained by the applicant to complete a Transportation Mobility Plan (TMP) for the proposed development on the Subject Site.

As previously stated, a comprehensive Traffic Study was completed as part of the larger subdivision approvals process. However, that analysis was based on the lands being used for employment purposes; and, was based on historic information.

The TMP, dated July 2026, provide a summary of area traffic operations under existing and future conditions, taking into account the proposed development and background growth. The assessment considers traffic impacts on the adjacent road network during the weekday AM and PM peak hours.

The purpose of the TMP is *“to assess the impact of the proposed development’s generated traffic on the surrounding road network during the weekday a.m. and p.m. peak periods and identify any road improvements required to accommodate the projected traffic.*

As requested by the Region of York, the TMP specifically reviews the “interaction between heavy truck traffic and passenger vehicles at the intersection of Leslie Street and Addison Hall Circle/William Graham Drive.” The assessment was undertaken to ensure there is no existing or anticipated conflict between the mix of vehicle types.

The TMP was prepared in accordance with the Terms of Reference issued by the Region of York.

In addition to the above, the TMP assesses among other things:

- Site characteristics
- Existing Conditions and Future Background Conditions
- Site-Generated Traffic (generation and distribution)
- Future Total Conditions
- Traffic Capacity Analysis (existing and future background conditions)
- Queueing
- Site Plan Review
- Parking Supply
- Multi-Modal Service Assessment (transit, pedestrian & bicycle)

Traffic impact analysis are based on traffic volumes and road network conditions derived for 2022 baseline conditions and the 2035 planning horizon, and future background traffic volumes derived from growth rates to the existing traffic volumes and the traffic generated by the adjacent background development(s) planned by the 2035 horizon year. The TMP provided the following conclusions and recommendations:

- Based on future background 2035 capacity analysis results, the study road network is expected to operate with reserve capacity and reasonable delays, with the exception of select movements at the intersection of Leslie Street & St. John's Sideroad. The overall intersection v/c ratio is expected to exceed 1.00 while select movements at the intersection are expected to approach capacity, but with v/c ratios less than 1.00.
- Based on future total 2035 capacity analysis results, the study road network is expected to operate similarly to the future background 2035 operations, where critical movements were identified at the intersection of Leslie Street & St. John's Sideroad. The operational constraints identified under future total 2035 conditions are primarily attributable to background traffic and background growth, rather than the site traffic generated by the proposed development.
- It is recommended that the Region monitor the intersection of Leslie Street & St. John's Sideroad as surrounding developments are constructed to determine whether projected traffic volumes are realized and if further signal optimizations or geometric improvements are warranted. Overall, the study intersections are projected to accommodate the site generated trips under future conditions with reserve capacity and acceptable delays. The impacts of the site trips on the study road network are minimal and deemed acceptable.
- A site plan review was undertaken and confirmed that sightlines, driveway spacing, and angles of the proposed road network have been met and satisfy the applicable Town standards and TAC guidelines. A vehicle maneuvering assessment was also completed and confirmed that emergency fire and waste vehicles are able to circulate throughout the proposed development blocks with no issues.

- A list of Transportation Demand Management (TDM) measures has been compiled in this report, which are expected to encourage sustainable transportation modes and reduce reliance on single-occupant vehicle travel.
- Based on the findings of this study, the proposed residential development can be supported from a transportation perspective, with the surrounding road network expected to operate acceptably under future conditions with no additional improvements.

6.6 Affordable Housing Market Feasibility Study

KR Planning Group Inc., was retained by Astura Developments Corp., to complete the required Affordable Housing Market Feasibility Study (AHMFS), dated July 14, 2026.

The Study was prepared in accordance with the Town of Aurora's Affordable Housing Market Feasibility Study Terms of Reference.

The AHMFS is summarized as follows:

- The proposed residential units will be approximately 1,860 – 2,280 sq. ft. in size and will have an approximate sale price of \$838,900 each.
- The affordable price threshold in Aurora as stated in the Provincial Bulletin, is \$547,100, significantly lower than the average sale price for both new and resale housing units in the Town.
- The proposed sale price would be approximately 9% lower than the average townhouse resale sold in Aurora over the past 3 years.
- The compact nature of the development proposed is consistent with the 2024 PPS which promotes densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation.
- The proposed development is consistent with applicable provincial, regional and municipal housing policies and would meet the need for more modest housing product in the Town.
- The redesignation of non-residential sites, including the Subject Site, was contemplated in Aurora's Affordable Housing Action Plan as a way to increase housing supply in the Town.
- The Site is not located within a Protected Major Transit Station Area, nor is it located within an area subject to a Community Planning Permit System, and therefore is not subject to inclusionary zoning policies under the Planning Act.
- The proposed townhouse units are an appropriate use of the Site.

7 Summary and Conclusions

Development applications for Official Plan and Zoning By-law amendment are being submitted by Astura Developments Corp., for the development of a 4.716 ha parcel of land located on the west side of Monarch Park Circle, east side of Leslie Street and the north side of Addison Hall Circle for a 198-unit, condominium townhouse development.

The Site is vacant of any structures and forms part of a larger employment land plan of subdivision, as previously noted.

The development applications support the conversion of employment designated lands to allow for the proposed residential uses. The proposed conversion is consistent with and conforms to current provincial policies reflected in the Provincial Planning Statement, Region of York Official Plan and Town of Aurora Official Plan.

The Subject Site is located within the Aurora 2C Secondary Plan Area (OPA No. 73) and is designated “Employment Area” in the Primary Official Plan and “Business Park 1” in OPA 73.

An Official Plan amendment is required to redesignate the Subject Site from “Employment Area” and “Business Park 1” to “Residential Greenfield” and “Medium-High Urban Residential”.

The Subject Site is comprised of Block 28 on registered plan of subdivision 65M-4650.

The Site is on the periphery of the 2C employment area lands, adjacent to a residential community with a mix of housing types and uses, on the west side of Leslie Street, contained within the same Secondary Plan area.

The Provincial Planning Statement (PPS) provides policies which support the development of complete communities which include a range and mix of housing types, employment opportunities, transportation options for current and future residents.

The PPS also establishes policies which allow for the removal of lands from employment areas subject to criteria. Through detailed analysis it has been determined that the Subject Site is not required to meet the Town of Aurora’s current or future 2051 minimum employment targets. In fact, based on existing employment facilities, vacant employment lands; and, anticipated employment intensification, the Town will likely exceed its minimum targets before 2051.

The Site is designated within the “Urban Area” of the Region of York’s Official Plan (YROP). The Region of York is deemed an upper-tier municipality without planning responsibilities. The YROP is now under the umbrella of the Town of Aurora and forms part of its OP.

The proposed development also complies with the policies for the removal of employment lands for non-employment uses. As a residential development, the proposed 198-unit townhouse development will contribute towards an improved sense of community. It will utilize existing public transit, municipal services and infrastructure. The scale and proposed design of the development is in keeping with residential development in proximity to the Site.

A full comprehensive set of background studies were prepared, reviewed and approved as part of the registration of the existing plan of subdivision which confirm that the Site can be developed in a reasonable manner. Additional studies or addendums have been prepared to further confirm that the Site is suitable and appropriate for residential uses.

Although the Town initially recommended a conservative minimum setback of 20 metres at the north end of the Site, given that there are no active development applications for the lands directly adjacent to the north and through the recommendations of the Noise Study, the setback can be reduced to accommodate the development as proposed provided the Town deems the Site as a Class 4 area under MECP Publication NPC-300 and the recommended warning clauses are registered on title.

On the basis of the discussion and analysis in this planning report, and in summary, it is our professional opinion that the subject development proposal reflects the following key planning merits:

- the Subject Site is both suitable and opportune for the nature and scale of this proposed residential intensification project;
- the proposed development implements the policies of the Town's Official Plan 2024 and will compliment the larger residential community without negatively impacting the function of the employment area;
- the development is consistent with the thrust of Provincial policy objectives, particularly with regard to removal of lands from employment areas, provision of a mix and range of housing, and the efficient use of urban land and infrastructure;
- the proposed townhouse development will add housing units to the Town's housing inventory and a housing typology that will provide options for current and future residents; and
- the project has regard for the principles and policies of the Town's Official Plan, with particular regard to housing opportunities, land use compatibility and fit within its context, and related built-form considerations.

Accordingly, the proposed townhouse development is appropriate and desirable on this site, and the requested Official Plan and Zoning By-law amendment applied for by Astura Developments Corp., warrants approval on relevant land use planning grounds.

MACAULAY SHIOMI HOWSON LTD.



Angela Sciberras, MCIP, RPP
Principal

List of Figures

Figure 1 –	Location Map
Figure 2 –	Registered Plan 65M-4650
Figure 3 –	Aerial Photograph
Figure 4 –	YRT System Map Extract
Figure 5 –	Site Photos
Figure 6 –	Proposed Site Plan
Figure 7 –	Lake Simcoe Protection Plan, Lake Simcoe Subwatersheds
Figure 8 –	Region of York Official Plan, Map 1 Regional Structure
Figure 9 –	Town of Aurora Official Plan (2024), Schedule ‘A’ Town Structure
Figure 10 –	Town of Aurora Official Plan (2024), Schedule ‘C’ Secondary Plan Areas
Figure 11 –	Aurora 2C Secondary Plan (2010), Schedule ‘A’ Land Use
Figure 12 –	Town of Aurora Zoning By-law 6000-17 – Schedule ‘A’, Map No. 8
Table 1 –	Proposed Site Statistics
Table 2 –	Proposed Zoning Standards – R8-XXX Zone

Appendix A

LSPP Applicable Policies

LSSP Applicable Policies

Policy		Response
General		
1.1 DP	In relation to any matter affected by a policy in this Plan, the boundary of the Lake Simcoe watershed that applies to the matter is the boundary that was in effect at the time the matter is commenced. Whether a matter is considered commenced shall be determined in accordance with the rules specified in the General Regulation under the Lake Simcoe Protection Act, 2008.	The subject site is located within the Lake Simcoe watershed boundary; therefore, all applicable provisions will be considered.
Stormwater Management		
4.7 DP	Municipalities shall incorporate into their official plans policies related to reducing stormwater runoff volume and pollutant loadings from major development and existing settlement areas including policies that: - encourage implementation of a hierarchy of source, lot-level, conveyance and end-of-pipe controls; - encourage the implementation of innovative stormwater management measures; - allow for flexibility in development standards to incorporate alternative community design and stormwater techniques, such as those related to site plan design, lot grading, ditches and curbing, road widths, road and driveway surfaces, and the use of open space as temporary detention ponds; - support implementation of programs to identify areas where source control or elimination of cross connections may be necessary to reduce pathogens or contaminants; and - support implementation of source control programs, which are targeted to existing areas that lack adequate stormwater controls.	Noted. The proposed development complies with the Town of Aurora's Stormwater Management policies. See Functional Servicing and Stormwater Management Report by SCS Consulting Group Ltd.
4.8 DP	An application for <i>major development</i> shall be accompanied by a stormwater management plan that demonstrates: consistency with stormwater management master plans prepared under policy 4.5, when completed;	Please see Functional Servicing and Stormwater Management Report by SCS Consulting Group Ltd.

	b. consistency with subwatershed evaluations prepared under policy 8.3 and water budgets prepared under policy 5.2, when completed; c. an integrated treatment train approach will be used to minimize stormwater management flows and reliance on end-of-pipe controls through measures including source controls, lot-level controls and conveyance techniques, such as grass swales; d. through an evaluation of anticipated changes in the water balance between pre-development and post-development, how such changes shall be minimized; and e. through an evaluation of anticipated changes in phosphorus loadings between pre-development and post-development, how the loadings shall be minimized	
Construction and Mineral Aggregate Resource Activities		
4.20 DP	Municipalities shall ensure that the following measures are incorporated into subdivision agreements and site plan agreements: a. keep the removal of vegetation, grading and soil compaction to the minimum necessary to carry out development activity; b. removal of vegetation shall not occur more than 30 days prior to grading or construction; c. put in place structures to control and convey runoff; d. minimize sediment that is eroded offsite during construction; e. seed exposed soils once construction is complete and seasonal conditions permit; and ensure erosion and sediment controls are implemented effectively.	Noted. These measures shall be incorporated into the site plan agreement.
Policies Applying to Both Lake Simcoe and Streams		
6.10 DP	Where, in accordance with the policies of the Plan, <i>development or site alteration</i> is permitted within 120 metres of the <i>Lake Simcoe shoreline</i> , other <i>lakes</i> in the <i>Lake Simcoe watershed</i> , or any <i>permanent or</i>	The proposed development is within 120 m of a wetland located on the subject site. Measures are proposed to ensure the proposed

	<i>intermittent stream</i> or a <i>wetland</i> , the <i>development</i> or <i>site alteration</i> should be integrated with and should not constrain ongoing or planned stewardship and remediation efforts.	development has no impact on the wetland. Please see the Natural Heritage & Environmental Impact Study and Addendum prepared by Dougan & Associates and the Environmental Monitoring Plan prepared by McGill Development Services in support of the original Subdivision Agreement (SUB 2014-01).
Settlement Areas		
6.32 DP	Policies 6.32 - 6.34 apply to existing settlement areas and areas of Lake Simcoe adjacent to these lands, including the littoral zone, and these areas are not subject to policies 6.1 - 6.3, 6.5, 6.11 and policies 6.20 - 6.29.	The proposed redevelopment will conform with policies 6.32-6.34 as the subject site is within an existing settlement area.
6.33 DP	An application for development or site alteration shall, where applicable: a. increase or improve fish habitat in streams, lakes and wetlands, and any adjacent riparian areas; b. include landscaping and habitat restoration that increase the ability of native plants and animals to use valleylands or riparian areas as wildlife habitat and movement corridors; c. seek to avoid, minimize and/or mitigate impacts associated with the quality and quantity of urban run-off into receiving streams, lakes and wetlands; and d. establish or increase the extent and width of a vegetation protection zone adjacent to Lake Simcoe to a minimum of 30 metres where feasible.	Please see the Functional Servicing and Stormwater Management Report prepared by SCS Consulting Group Ltd., the Natural Heritage & Environmental Impact Study and Addendum prepared by Dougan & Associates and the Environmental Monitoring Plan prepared by McGill Development Services in support of the original Subdivision Agreement (SUB 2014-01).
6.34 DP	Where, through an application for <i>development</i> or <i>site alteration</i> , a buffer is required to be established as a result of the application of the PPS, the buffer shall be composed of and maintained as <i>natural self-sustaining vegetation</i> .	The proposed development is setback from the natural heritage area to the south.
Recharge Areas		
6.36 DP	A significant groundwater recharge area is an area identified,	Noted.

	a. as a significant groundwater recharge area by any public body for the purposes of implementing the PPS; b. as a significant groundwater recharge area in the assessment report required under the Clean Water Act, 2006 for the Lake Simcoe and Couchiching/Black River Source Protection Area; or c. by the LSRCA in partnership with MOE and MNR as an ecologically significant groundwater recharge area in accordance with the guidelines developed under policy 6.37.	
6.38 DP	Once identified, municipalities shall incorporate significant groundwater recharge areas into their official plans together with policies to protect, improve or restore the quality and quantity of groundwater in these areas and the function of the recharge areas.	Noted. The proposed development complies with the policies of the PPS, York Region and Aurora Official Plans. A low impact development will be prepared for the site. Please refer to the Functional Servicing and Stormwater Management Report prepared by SCS Consulting Group Ltd.
Recreational Activities		
7.14 HR	Where, in accordance with the policies of the Plan, <i>development and site alteration</i> is permitted within 120 metres of the <i>Lake Simcoe shoreline</i> or a <i>permanent or intermittent stream</i> or a <i>wetland</i> , the <i>development or site alteration</i> will be integrated with existing or proposed parks and trails to the extent feasible.	Please refer to Urban Design Brief prepared by MBTW/WAI.
Subwatershed Evaluations		
8.4 DP	Municipal official plans shall be amended to ensure that they are consistent with the recommendations of the subwatershed evaluations.	Noted. The proposed redevelopment complies with the York Region and Aurora OPs.

Appendix B

Draft Official Plan Amendment

THE CORPORATION OF THE TOWN OF AURORA

By-law Number XXXX-26

Being a By-law to amend By-law Number 6579-24, as amended, to adopt Official Plan Amendment No. XXX (File No. OPA-xxx-xx).

Whereas on January 30, 2024, the Council of The Corporation of the Town of Aurora (the "Town") enacted By-law Number 6579-24, as amended, to adopt the Official Plan dated January 2024 as the Official Plan for the Town of Aurora (the "Official Plan");

And whereas authority is given to Council pursuant to the *Planning Act*, R.S.O. 1900, c. P.13, as amended, (the "*Planning Act*") to pass a by-law amending the Official Plan;

And whereas the Council of the Town deems it necessary and expedient to further amend the Official Plan;

Now therefore the Council of The Corporation of the Town of Aurora hereby enacts as follows:

1. Official Plan Amendment No. XXX to the Official Plan, attached and forming part of this By-law, be and is hereby adopted.
2. This By-law shall come into full force subject to compliance with the provisions of the *Planning Act* and subject to compliance with such provisions, this By-law will take effect from the date of final passage hereof.

Enacted by Town of Aurora Council this ____ day of _____, 2026.

Tom Mrakas, Mayor

Anne Kantharajah, Town Clerk

AMENDMENT NO. XXX

To the Official Plan for the Town of Aurora

STATEMENT OF COMPONENTS

PART I – The Preamble

1. Introduction
2. Purpose of the Amendment
3. Location
4. Basis of the Amendment

PART II – The Amendment

1. Introduction
2. Details of the Amendment
3. Implementation and Interpretation

PART III – The Appendices

Part I – The Preamble

1. Introduction

This part of Official Plan Amendment No. X to By-law Number 6579-24 as amended (the “Amendment”), entitled Part 1 – The Preamble, explains the purpose and location of this Amendment, and provides an overview of the reasons for it. It is for explanatory purposes only and does not form part of the Amendment.

2. Purpose of the Amendment

The purpose of this Amendment is to change the land use designation from “Business Park” to “Medium-High Urban Residential”. The provision of this Amendment will allow the development of 198 townhouse dwelling units on a private road network.

3. Location

The lands affected by this Amendment are located at the northeast corner of Leslie Street and Addison Hall Circle, on the west side of Monarch Park Gate, municipally known as 85 Monarch Park Gate; having a lot area of approximately 4.716 hectares (11.654 acres); and are legally described as Block 28, Plan 65M-4650, Town of Aurora, Regional Municipality of York (the “Subject Lands”).

4. Basis of the Amendment

The basis of the Amendment is as follows:

- 4.1. Official Plan and Zoning By-law Amendment applications were submitted to the Town of Aurora for consideration in 2026, to facilitate the removal of employment lands to permit residential uses and to allow for the development of 198 townhouse dwelling units, a private roadway network, amenity space and visitor parking.
- 4.2. A statutory public meeting was held on April 30, 2026, to present the proposal to the public and Town of Aurora Council.
- 4.3. The proposed development is consistent with the Provincial Planning Statement.
- 4.4. The application conforms to the Region of York Official Plan and is within the Urban Area.
- 4.5. The application generally maintains the intent and purpose of the Town of Aurora Official Plan which allows for the removal of employment lands for purposes of non-employment uses, where there is a need for the conversion of employment lands, there is no adverse impact to the employment area, there is planned infrastructure available to accommodate the proposed use and there are sufficient employment lands to meet Town’s job density target without the Subject Lands.
- 4.6. The proposed development will be subject to a future plan of condominium and site plan applications.
- 4.7. Appropriate development of the Subject Lands will be achieved through the implementation of policies of By-law Number 6579-24, as amended, and this Amendment and the urban design guidelines as part of the Town’s site plan control process.

Part II – The Amendment

1. Introduction

This part of the Amendment, entitled Part II – The Amendment, consisting of the following text and attached maps, designated as Schedules “A”, “B” and “C”, constitutes Amendment No. XXX to the Official Plan.

2. Details of the Amendment

The Official Plan is hereby amended as follows:

- Item (1): Schedule 'A' – Town Structure, being part of the Town of Aurora Official Plan, be and is hereby amended by changing the designation from “Employment Area” to “Residential Designated Greenfield Area”, as shown on Schedule A attached hereto and forming part of this Amendment.
- Item (2): Schedule 'B' – Land Use Plan, being part of the Town of Aurora Official Plan, be and is hereby amended by changing the designation from “Business Park” to “Medium-High Urban Residential”, as shown on Schedule B attached hereto and forming part of this Amendment.
- Item (3): Schedule “H” – Site Specific Policy Areas, being part of the Town of Aurora Official Plan, be and is hereby amended by adding the subject lands as Site Specific Policy X , to permit a medium density residential block containing a maximum of 198 townhouse dwelling units, as shown on Schedule C attached hereto, and forming part of this Amendment.
- Item (4): Section 20 of the Town of Aurora Official Plan be and is hereby amended by adding the following:
 - “Section 20.XX
 - a. The lands municipally known as 85 Monarch Park Gate may hereby be developed for residential uses to permit a maximum of 198 townhouse dwelling units on a private road network.
 - b. The Town of Aurora’s requirement for high urban design standards, which will be implemented through the Site Plan application process.

3. Implementation

This Amendment has been considered in accordance with the provisions of the Official Plan. The implementation and interpretation of this Amendment shall be in accordance with the respective policies of the Official Plan.

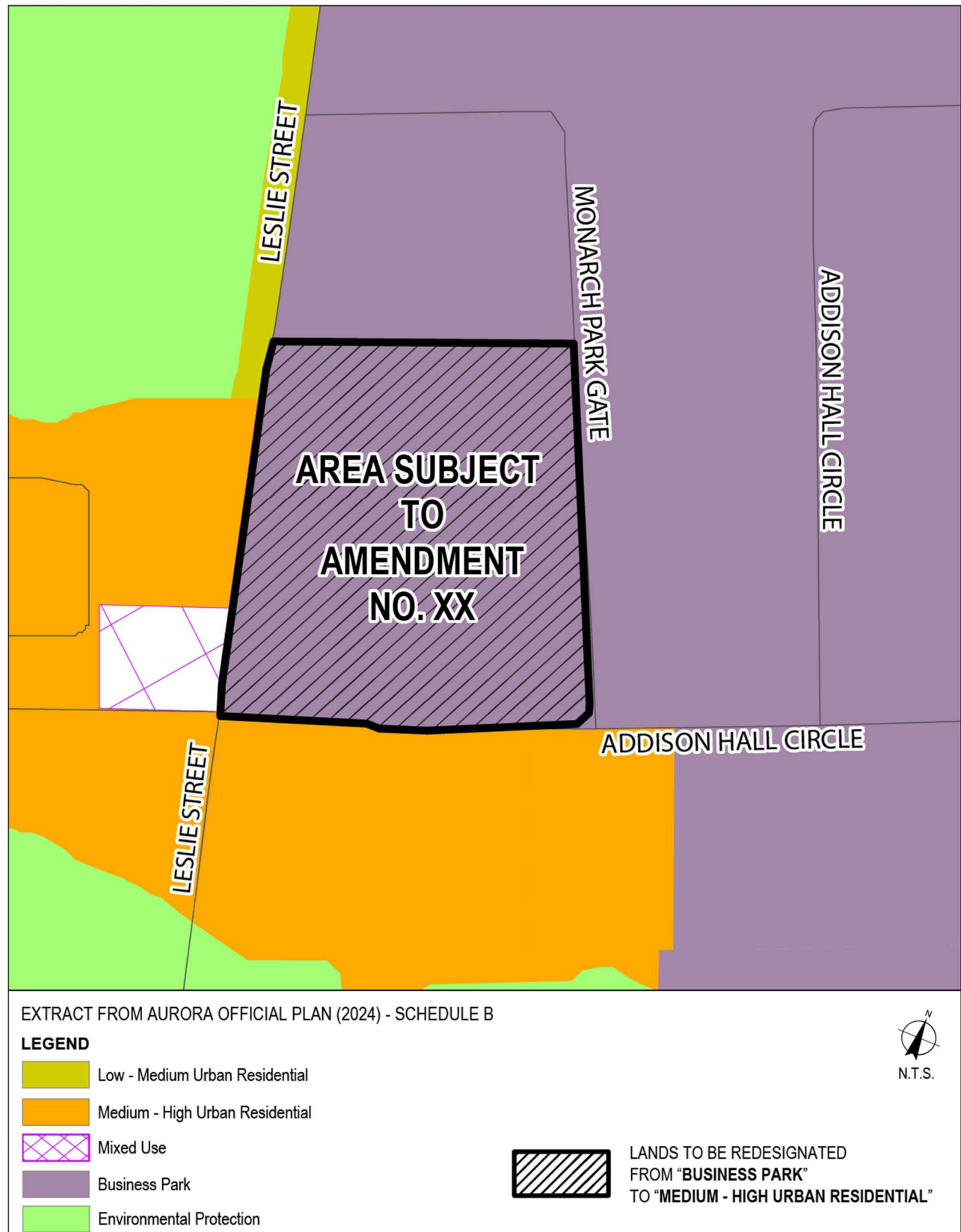
Part III – The Appendices

- Schedule “A” - Town Structure
- Schedule “B” - Land Use Plan
- Schedule “C” - Site Specific Policy Areas

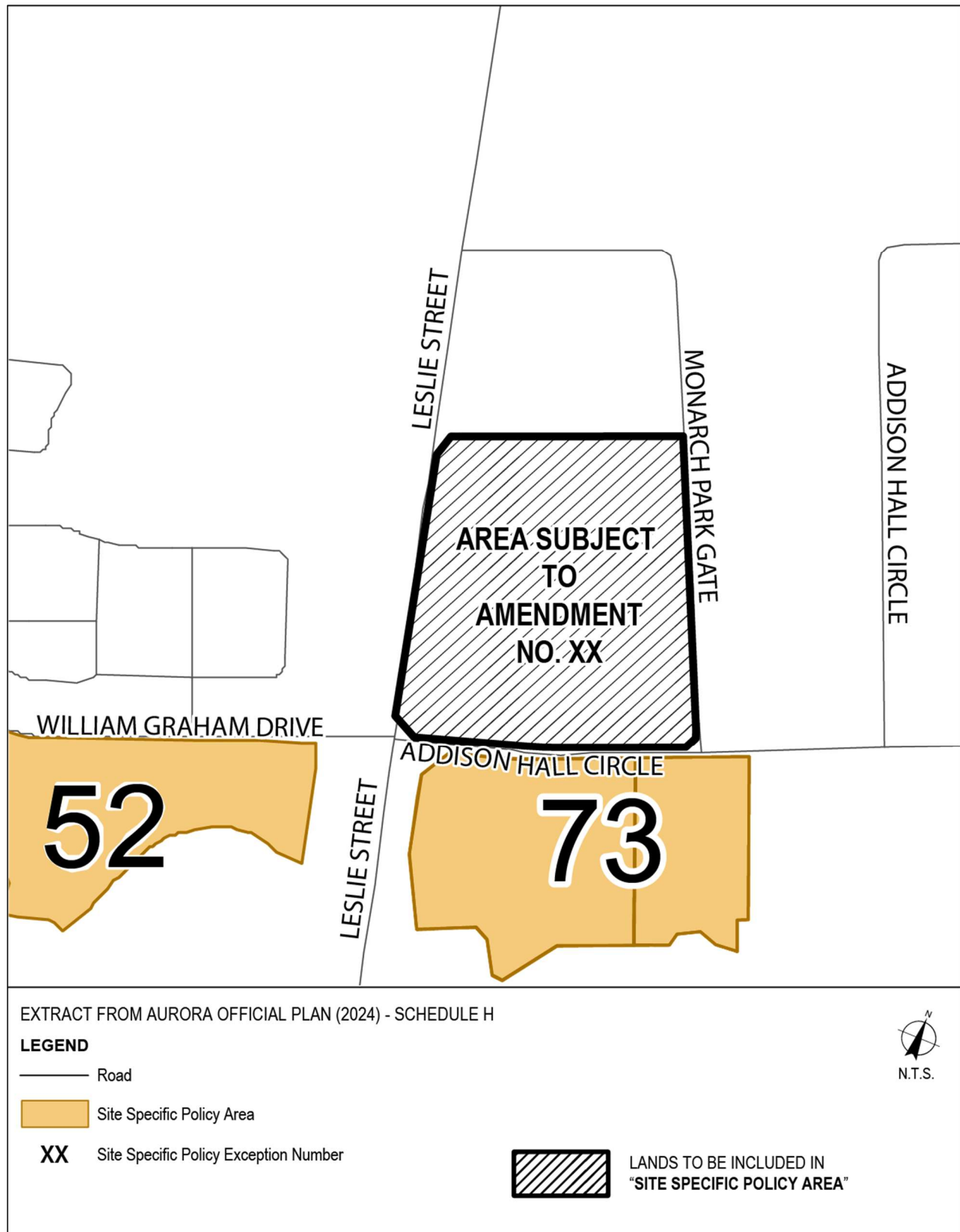
Schedule "A" – Town Structure



Schedule "B" – Land Use Plan



Schedule "C" – Site Specific Policy Areas



Appendix C

Draft Zoning By-law Amendment

The Corporation of the Town of Aurora

By-law Number XXXX-26

Being a By-law to amend By-law Number 6000-17, as amended,
respecting the lands municipally known as 85 Monarch Park Gate (File
No.)

Whereas under section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended (the “Planning Act”), zoning by-laws may be passed by the councils of local municipalities to prohibit and regulate the use of land, buildings and structures;

And whereas on June 27, 2017, the Council of The Corporation of the Town of Aurora (the “Town”) enacted By-law Number 6000-17 (the “Zoning By-law”), which Zoning By-law was appealed to the Ontario Municipal Board (the “OMB”);

And whereas on January 29, 2018, the OMB made an order, in accordance with subsection 34(31) of the Planning Act, providing that any part of the Zoning By-law not in issue in the appeal shall be deemed to have come into force on the day the Zoning By-law was passed;

And whereas the OMB and the Local Planning Appeal Tribunal (the “LPAT”) is continued under the name Ontario Land Tribunal (the “Tribunal”), and any reference to the Ontario Municipal Board or OMB or Local Planning Appeal Tribunal or LPAT is deemed to be a reference to the Tribunal;

And whereas the Council of the Town deems it necessary and expedient to further amend the Zoning By-law;

Now therefore the Council of The Corporation of the Town of Aurora hereby enacts as follows:

1. The Zoning By-law be and is hereby amended to replace the “Business Park (E-BP) Exception Zone (447)” zoning category applying to the lands shown in hatching on Schedule “A” attached hereto and forming part of this By-law with “Townhouse Dwelling Residential (R8) Exception Zone (xxx).”
2. The Zoning By-law be and is hereby amended to add the following:

“24.577 Townhouse Dwelling Residential (R8) Exception Zone (xxx)”

Notwithstanding any other provisions to the contrary, the following shall apply:

Parent Zone: R8 Exception No.: (xxx)	Map: Schedule “A”, Map No. 8	Previous Zone: E-BP (447)	Previous By-laws: 6000-17
Municipal Address: 85 Monarch Park Gate			
Legal Description: Block 28, Plan 65M-4650			
24.577.1 Permitted Uses			
The following uses are permitted: Townhouse			
24.577.2 Zoning Requirements			
The lot line adjacent to Monarch Park Gate shall be deemed to be the Front Lot Line.			

Section 7.5.3 <i>Dwelling Adjacent to an Employment Zone</i> shall not apply.	
Section 10.4 <i>Minimum Distance Separation Residential and Industrial</i> shall not apply.	
24.577.2.1 Lot Specifications	
Lot Area – total parcel (minimum)	4.0 hectares
Lot Frontage – total parcel (minimum)	70.0 metres
Required Front Yard setback (minimum)	6.0 metres
Required Exterior Side Yard setback (minimum)	6.5 metres
Required Interior Side Yard setback (minimum)	6.0 metres
Required Rear Yard setback (Leslie Street) (minimum)	23.0 metres
24.577.2.2 Site Specifications	
Required side yard setback from a building to the Rear Yard (minimum)	16.0 metres
Required setback of a rear yard garage from the rear lot line of an exterior or end unit to a private road or laneway (minimum)	4.0 metres
Required distance separation between the side of a building to the side of another building (minimum)	3.5 metres
Required distance separation between the front main wall of the 1 st floor of a building to the front main wall of the 1 st floor of another building not separated by a private road (minimum)	11.5 metres
Required distance separation between the front main wall of the 2 nd floor of a building to the front main wall of the 2 nd floor of another building not separated by a private road (minimum)	9.5 metres
24.577.2.3 Building Specifications	
Townhouse Units (maximum)	198 units
Width of Dwelling Unit (minimum)	5.5 metres
Height (maximum)	13.0 metres
Total Site Building Coverage (maximum)	50%
24.577.3 Parking	
Townhouse Parking (minimum)	2 spaces per unit
Visitor Parking (minimum)	46 spaces
Barrier Free Parking (minimum)	10 spaces

Where a <i>parking space</i> is located within a garage the minimum single <i>parking space</i> dimension shall be 2.5 metres by 5.3 metres.	
24.577.4 Daylighting Triangle	
On a corner lot where a daylighting triangle has been conveyed to a public authority, the minimum required setback from the daylighting triangle shall be: From a local road to an arterial road: 18.5 metres From a local road to a local road: 6.0 metres	
24.577.5 Amenity Area	
Notwithstanding Section 7.5.2.1, the minimum required total amenity area for the entire site is 1,280 square metres.	
24.577.6 Encroachments	
Projection of open-sided roofed porches, decks or balconies, not exceeding one storey in height, with or without foundation, into a required exterior side yard or front yard provided no part of the porch, deck or balcony including eaves and is closer than 0.60 metres to the lot line.	2.0 metres
Projection of steps from the front ground floor wall into a required Front or Exterior Side yard to the lot line (maximum)	0.0 metres
24.577.7 Maneuvering Aisle	
90-degree spaces (minimum)	6.5 metres
24.577.8 Landscaping	
A landscaped buffer with a minimum width of 18.5 metres shall be provided along the rear property boundary abutting Leslie Street and shall only be used for the purpose of landscaping and municipal infrastructure.	

3. This by-law shall come into full force subject to compliance with the provisions of the Planning Act and subject to compliance with such provisions, this by-law will take effect from the date of final passage hereof.
4. If a building permit that is appropriate for the development has not been issued under the Building Code Act, 1992, S.O. 1992, c. 23, as amended, for any building or structure so authorized within three (3) years from enactment of this By-law, then this By-law shall automatically repeal and if so repealed, the zoning of the lands will revert to the original zoning.

Enacted by Town of Aurora Council this XX day of XXXX, 2026.

Tom Mrakas, Mayor

Anne Kantharajah, Town Clerk

Explanatory Note

Re: By-law Number XXXX-26

By-law Number XXXX-26 has the following purpose and effect:

To amend By-law 6000-17, as amended; the Zoning By-law in effect in the Town of Aurora, to rezone the subject lands from “Business Park (E-BP) Exception Zone (447)” to “Townhouse Dwelling Residential (R8) Exception Zone (xxx).”

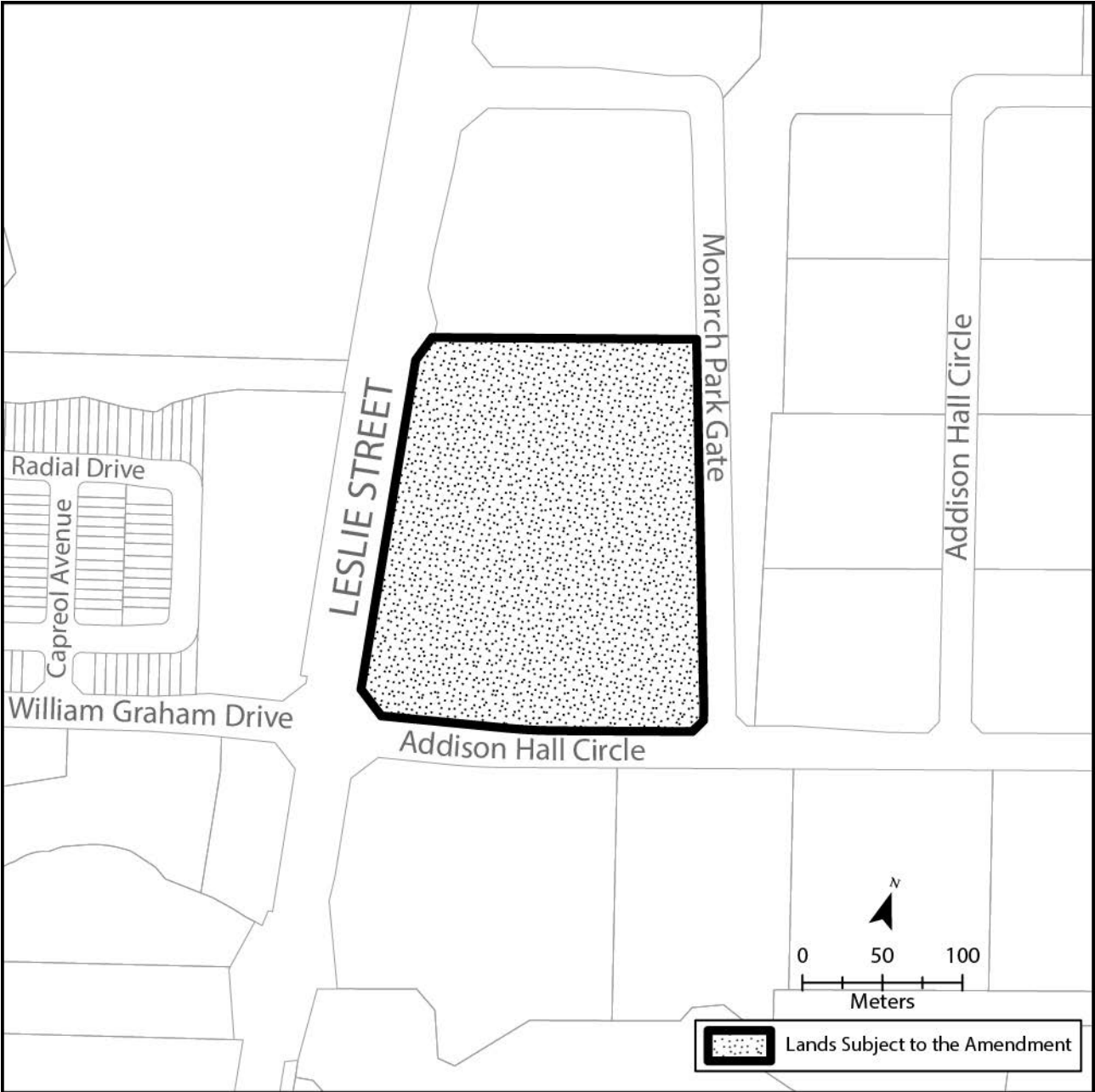
The effect of this zoning amendment will permit a residential development consisting of 198-unit townhouse dwellings, private amenity areas and a private laneway system.

Schedule “A”

Location: Block 29 & 30, Registered Plan 65M-4650, Town of Aurora, Regional Municipality of York



Lands rezoned from “Business Park (E-BP) Exception Zone (447)” to “Townhouse Dwelling Residential (R8) Exception Zone (XXX).”



Appendix D

Excerpt from Registered Subdivision Agreement List of Supporting Studies

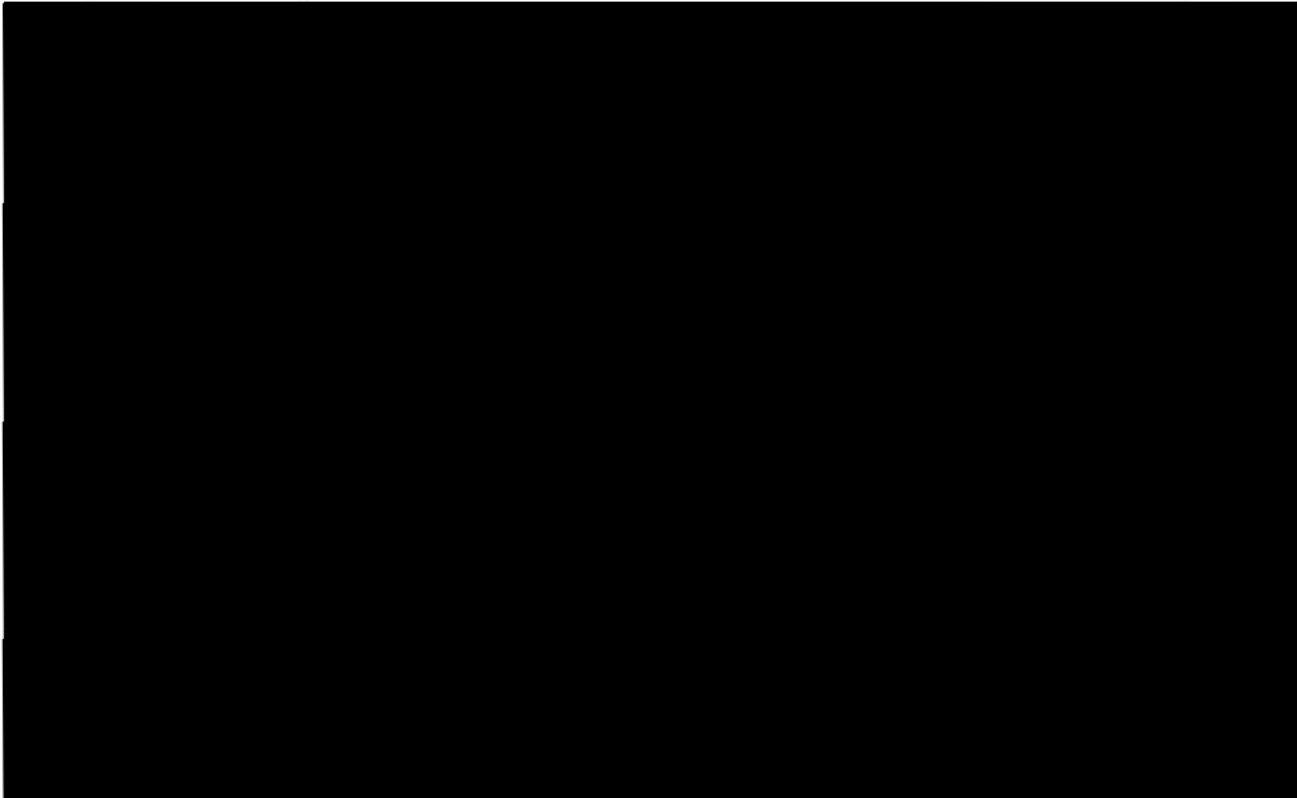
SCHEDULE “I”

**ENGINEERING DIVISION - SCHEDULE OF CONSTRUCTION DATES,
ESTIMATED COSTS OF CONSTRUCTION, LIST OF PLANS AND SPECIFICATIONS**

This Schedule is incorporated by reference and shall form part of this Agreement whether or not attached hereto and can be viewed at the offices of the Town of Aurora, 100 John West Way, Aurora, Ontario.

1) Schedule of Construction Dates:

The Owner shall complete all Works set out in the following Plans within thirty-six (36) months of the date of registration of each M-Plan on Schedule “A” to this Agreement.



3) Detailed Plans and Specifications for the Installation of Services:

RJ Burnside & Associates Ltd.	Date
Cover Page	1/11/18
C001 - Drawing Index	1/11/18
C002 - General Notes	1/11/18
C003-Y.R. - General Notes	1/11/18
C004-YR - Traffic Management Plan - York Region	1/11/18
C101 - Under Ground General Plan	7/31/18
C102 - Under Ground General Plan	1/11/18
C103 - Under Ground General Plan	7/31/18
C104 - Under Ground General Plan	1/11/18
C105 - Above Ground General Plan	7/31/18
C106 - Above Ground General Plan	1/11/18
C107 - Above Ground General Plan	7/31/18
C108 - Above Ground General Plan	1/11/18
C201 - Grading Plan	7/31/18
C202 - Grading Plan	7/31/18
C203 - Grading Plan	7/31/18
C204 - Grading Plan	7/31/18
C301 - Storm Drainage Area Plan	7/31/18
C302 - Storm Drainage Area Plan	1/11/18
C303 - Storm Drainage Area Plan	7/31/18
C304 - Storm Drainage Area Plan	1/11/18
C305 - Storm Sewer Design Sheet	7/31/18
C305B - Block Drainage Design Criteria	7/31/18
C305C - Block Drainage Design Criteria	1/11/18
C306 - Sanitary Drainage Area Plan	7/31/18
C307 - Sanitary Drainage Area Plan	1/11/18

C308 - Sanitary Drainage Area Plan	7/31/18
C309 - Sanitary Drainage Area Plan	1/11/18
C310 - Sanitary Sewer Design Sheet	7/31/18
C401 - Plan and Profile	7/31/18
C401-YR - Watermain Crossing	1/11/18
C402 - Plan and Profile	7/31/18
C403 - Plan and Profile	1/11/18
C404 - Plan and Profile	1/11/18
C405 - Plan and Profile	1/11/18
C406 - Plan and Profile	1/11/18
C407 - Plan and Profile	7/31/18
C408 - Plan and Profile	1/11/18
C409 - Plan and Profile	1/11/18
C410 - Plan and Profile	7/31/18
C411 - Plan and Profile	7/31/18
C412 - Plan and Profile	1/11/18
C413 - Plan and Profile	7/31/18
C414 - Plan and Profile	7/31/18
C415 - Plan and Profile	1/11/18
C501 - Plan and Profile	1/11/18
C502 - Plan and Profile	7/31/18
C503 - Plan and Profile	1/11/18
C1101 - Details	5/3/18
C1102 - Details	1/11/18
C1103 - Details	5/3/18
C1104 - Details	5/3/18
C1201 - Cross Sections	7/31/18
C1202 - Cross Sections	7/31/18
C1203 - Cross Sections	1/11/18
C1204 - Y.R. - Cross Sections - Leslie Street	1/11/18
C1205 - Y.R. - Cross Sections - Leslie Street	1/11/18
C1206 - Y.R. - Cross Sections - Leslie Street	1/11/18
Cole Engineering Group Ltd.	
C1501 – Traffic Management Plan	07/12/16

5) **Reports:**

Item	Firm	Date
Stage 1 - 2 Archaeological Assessment of: The Addison-Yorkwood Lands Lots 23 and 24, Concession 3, Town of Aurora, Ontario	Archeoworks Inc.	07/10
Stage 3 Archaeological Assessment Graham Site H1 (BaGu-162) Within the Emery Property West Half of Lot 23, Concession 3, Town of Aurora, Ontario	Archeoworks Inc.	07/10
Executive Summary of the Stage 4 Excavation of the Graham H2 Site (BaGu-163), Elhara Investments Limited Lands, West Half of Lot 24, Concession 3, Town of Aurora, Ontario	Archaeological Assessments Ltd.	11/10
Marsh Creek Erosion Analysis Report – Addison-Hall Business Park	Cole Engineering Group Ltd.	03/14
Functional Servicing Report – Addison-Hall Business Park	Cole Engineering Group Ltd.	03/14
Addison-Hall Business Park Stormwater Management Report	Cole Engineering Group Ltd.	02/15
Internal Functional Traffic Design Study – Addison-Hall Business Park	Cole Engineering Group Ltd.	07/16
Traffic Impact Study – Update – Addison-Hall Business Park	Cole Engineering Group Ltd.	12/16

Appendix A – Existing Traffic Data	Cole Engineering Group Ltd.	12/16
Natural Heritage Evaluation & Environmental Impact Study	Dougan & Associates	03/14
Addendum to the Addison-Hall Environmental Impact Study (EIS; March 2014)	Dougan & Associates	03/16/16
Baseline Geomorphological Data Collection in the Weslie Creek Corridor (Weslie Creek, Geomorphological Monitoring)	Geomorphix	02/5/16
Meander Belt Width Assessment – Weslie Creek Addison Hall Business Park, Aurora	Geomorphix	05/10/16
Planning Justification Report – Addison-Hall Business Park	KLM Planning Partners Inc.	03/14
Environmental Monitoring Plan	McGill Development Services Ltd.	07/18
(Heritage) Documentation Report (15775 Leslie Street, Aurora)	MW Hall Corporation	07/15/13
Urban Design Brief – Addison Hall Business Park	The Planning Partnership	03//14/14
Erosion and Sediment Control Report, Addison Hall Business Park	RJ Burnside & Associates Ltd.	02/16 and revised to 04/16
Water Servicing Brief Addison-Hall Business Park	RJ Burnside & Associates Ltd.	05/16
Addison Hall Business Park Stormwater Management Report	RJ Burnside & Associates Ltd.	12/17
Technical Memorandum: Curb Inlets and LID Cells Addendum to Stormwater Management Report	RJ Burnside & Associates Ltd.	03/23/18
Addison Hall Business Park Operations and Maintenance Manual Stormwater Management Facilities	RJ Burnside & Associates Ltd.	10/18
Landform Assessment and Conservation Study	Schollen & Company Inc.	03//21/14
Landscape Concept Plan	Schollen & Company Inc.	03/21/14
Wetland Replication Implementation Strategy	Schollen & Company Inc.	01/3/17
Compensation Planting and Edge Management Plan Memorandum	Schollen & Company Inc.	04//09/18
Marsh Creek Erosion Control Analysis Aurora 2C West Development	SCS Consulting Group Ltd.	11/29/12
Report on Geotechnical Investigation Proposed Addison Hall Business Park 15625 and 15775 Leslie Street	SPL Consultants Ltd.	03/17/15
Topsoil Environmental Analysis 15625 and 15775 Leslie Street, Aurora, Ontario	SPL Consultants Ltd.	05/27/15

Infiltration Potential Investigation 15625 and 15775 Leslie Street, Aurora, Ontario	SPL Consultants Ltd.	07/4/15
Cultural Heritage Evaluation Report Addison-Yorkwood	Unterman McPhail Associates	04/09
Hydrogeological Study, Water Balance Assessment and Geotechnical Investigation and Slope Stability Analysis: Technical Support to Master Environmental Servicing Plan Addison Farms Development, Part Lots 23 and 24, Concession 3, Town of Aurora, Ontario	WSP	03/20/14
Phase 1 Environmental Site Assessment 15625 & 15775 Leslie Street, Aurora, Ontario	WSP	03/20/14
Technical Memorandum: Water Balance Update and Additional Details on Soil Infiltration Capacity	WSP	06/25/14
Limited Environmental Soil Investigation	WSP	04/1/16
Geotechnical Investigation For Proposed Addison Hall, 15625 and 15775 Leslie Street, Aurora Ontario	WSP	04/29/16