

ARCHITECTURAL		
No.	Sheet No.	DRAWING TITLE
1	SP.1	SITE PLAN/ SITE STATISTICS
2	A1.1	NEW ACCESSORY BUILDING PARTIAL SITE PLAN/ GROUND FLOOR PLAN
3	A1.2	NEW ACCESSORY BUILDING ROOF PLAN/ BASEMENT PLAN
4	A1.3	NEW ACCESSORY BUILDING ELEVATIONS/ ASSEMBLY NOTES/ SCHEDULES WINDOW PLAN DETAIL
5	A1.4	NEW ACCESSORY BUILDING SECTIONS
6	A1.5	NEW ACCESSORY BUILDING STAIR SECTION/ TYPICAL DETAILS/ GENERAL NOTES
7	A2.1	NEW LIVING ROOM SITE PLAN/ ROOF PLAN/ SECTION/ ELEVATIONS
8	A2.2	NEW VERANDA SITE PLAN/ ROOF PLAN/ SECTION/ ELEVATIONS

### DATA MATRIX

ALTERATION TO EXISTING RESIDENTIAL BUILDING TO CREATE NEW LIVING ROOM (RESIDENTIAL) and ALTERATION TO EXISTING VERANDA TO CREATE NEW VESTIBULE (TEMPLE/CHURCH) and ADDING NEW PORCH FOR THE TEMPLE and DEMOLISH EXISTING ANCILLARY BUILDING TO CREATE NEW ACCESSORY RESIDENTIAL BUILDING (GUEST HOUSE)

EXISTING LOT AREA: ±232,744 SF  
 EXISTING MAIN BUILDING AREA: ±6,871 SF (INCLUDING PRIVATE GARAGES)  
 EXISTING MAIN BUILDING HEIGHT: 2-STOORIES with BASEMENT  
 EXISTING USE: RESIDENTIAL and TEMPLE/CHURCH

EXISTING ACCESSORY BUILDING AREA TO BE DEMOLISHED: ±1,227 SF (EXIST. GUEST HOUSE)  
 EXISTING ACCESSORY HEIGHT: 1-STOORY  
 EXISTING USE: RESIDENTIAL

### EXISTING SITE AREA SUMMARY (PER ORIGINAL PERMIT)

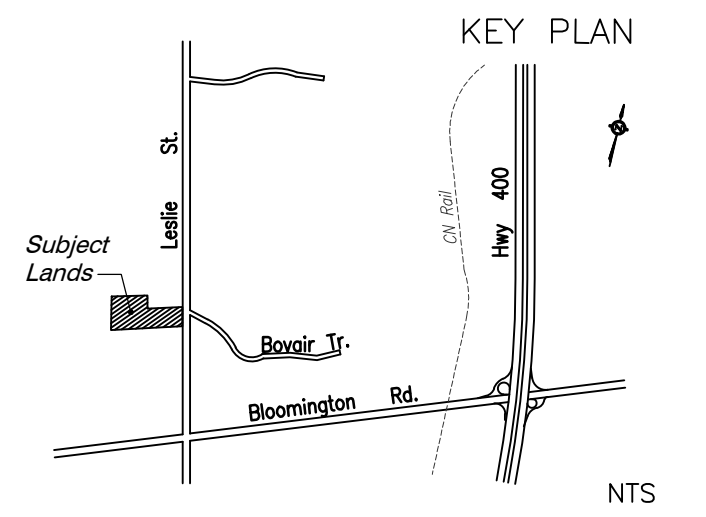
EXISTING USE	EXIST. GROUND FL.	EXIST. 2ND FL.	EXIST. BASEMENT	EXIST. GROSS
TEMPLE	-	-	±4,085 SF	±4,085 SF
RESIDENCE	±3,830 SF	±2,075 SF	±1,106 SF	±7,011 SF
GARAGES	±1,031 SF	-	-	±1,031 SF
ANCILLARY BUILDING	±1,227 SF	-	-	±1,227 SF
<b>GROSS FLOOR AREA:</b>	<b>±6,088 SF</b>	<b>±2,075 SF</b>	<b>±5,191 SF</b>	<b>±13,354 SF</b>

### PROPOSED SITE AREA SUMMARY

EXISTING USE	GROUND FL.	2ND FL.	BASEMENT	GROSS
TEMPLE	-	-	±4,085 SF	±4,085 SF
RESIDENCE (WITH NEW LIVING ROOM OF ±625 SF)	±4,455 SF (+ ±625 SF)	±2,075 SF	±1,106 SF	±7,636 SF
GARAGES	±1,031 SF	-	-	±1,031 SF
NEW ACCESSORY RESIDENTIAL BUILDING (GUEST HOUSE, RECONSTRUCTION OF EXISTING)	±1,644 SF	-	±1,644 SF	±3,288 SF
<b>GROSS FLOOR AREA:</b>	<b>±7,130 SF</b>	<b>±2,075 SF</b>	<b>±6,835 SF</b>	<b>±16,040 SF</b>

### PARKING PROVISION

REQUIRED: 64 CARS (INCLUDING SPACES 3 BARRIER-FREE PARKING STALLS)  
 EXISTING PROVIDED: 70 CARS (INCLUDING SPACES 3 BARRIER-FREE PARKING STALLS)

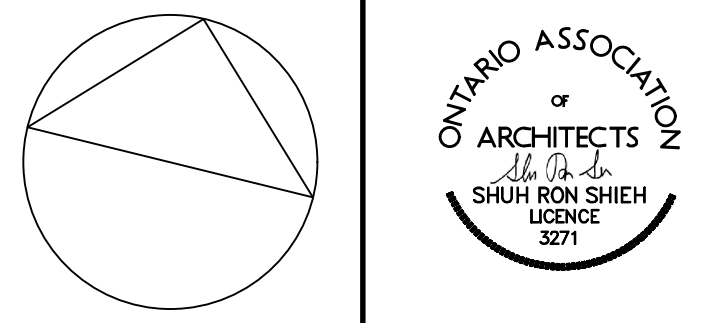


### CONTEXT PLAN

No.	Date	By	Revisions
7			
6			
5			
4			
3			
2			
1	09/08/22	RS	REVISED PER ZONING REVIEW
0	05/27/22	RS	ISSUED FOR BUILDING PERMIT

## Ron Shieh Architect

128 Morse Street, Toronto, Ontario M4M 2P8



All dimensions to be checked and verified on the job. Any discrepancies to be reported to the architect.  
 All drawings remain the property of the architect.  
 Do not scale drawings.  
 This drawing is not to be used for construction purposes unless signed by the architect.

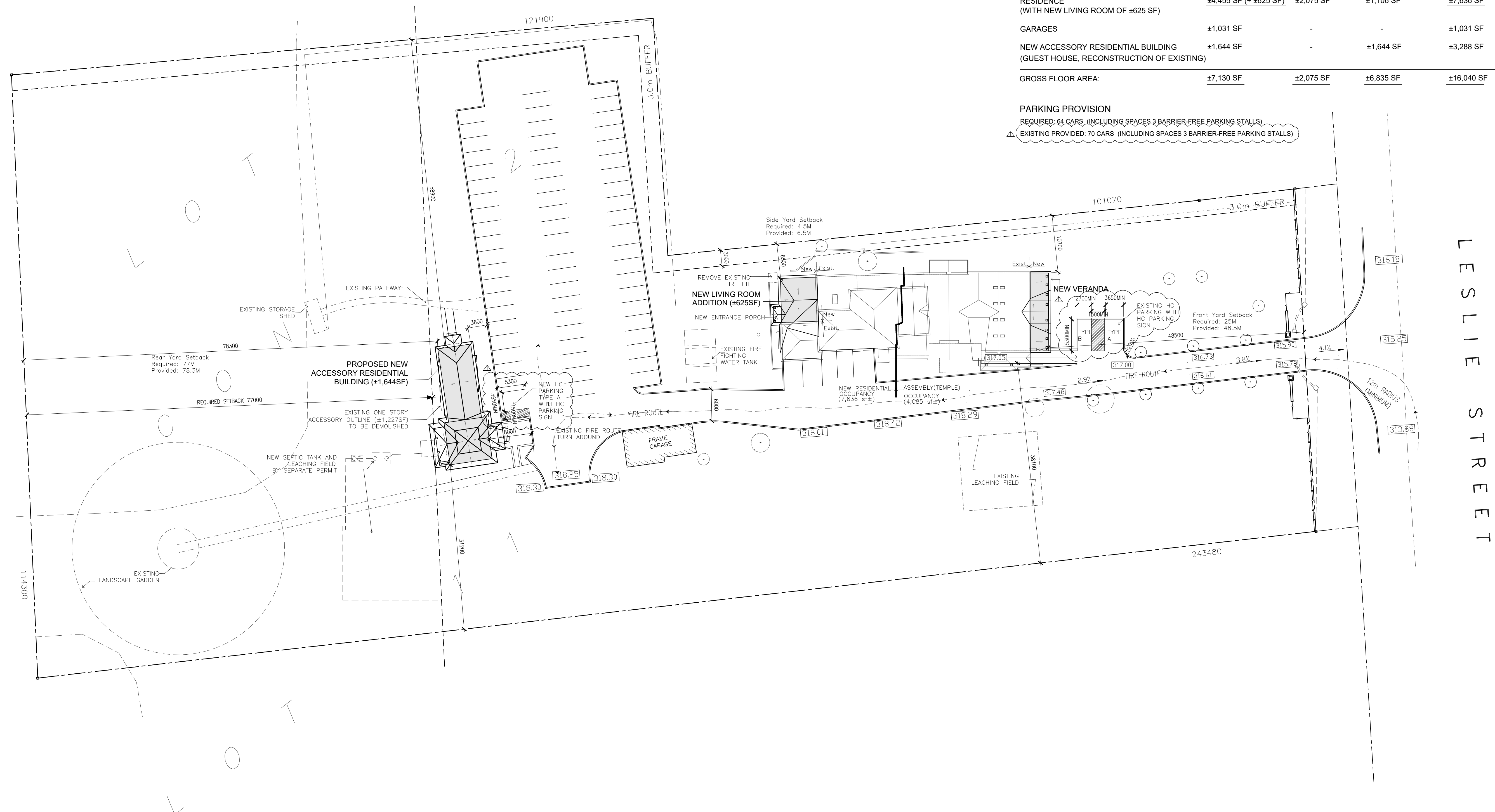
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: **Reconstruction of Accessory Residence and Additions to Existing Main Building**

13900 LESLIE AVENUE, AURORA, ONTARIO

Drawing Title: **Site Plan**

Drawn By <b>PW</b>	Checked By <b>RS</b>	Drawing No. <b>SP1</b>
Date	Scale 1:250	Revision:
Project No.		



LESLIE STREET