

NOTE: THE SITE PLAN IS TO BE READ IN CONJUNCTION WITH THE GRADING PLAN AND SERVING PLAN FROM COUNTERPOINT ENGINEERING (LISTED UNDER 'CIVIL ENGINEERING' DWGS)

NOTE: ON-SITE WASTE COLLECTION WILL BE HANDLED INTERNALLY BY THE OWNER THROUGH A PRIVATE WASTE HAULER.

NOTE: ALL PROPOSED PRINCIPLE ENTRANCES TO HAVE DOOR OPERATORS - DETAILS SUBJECT TO FUTURE TENANT ALTERATION PERMIT.

NOTE: FOR LEGAL SURVEY INFORMATION REFER TO: PART OF LOT 7 & PART OF BLOCK 11, REGISTERED PLAN 65M-4324, TOWN OF AURORA, REGIONAL MUNICIPALITY OF YORK

PREPARED BY WAHBA SURVEYING, ASSOCIATION OF ONTARIO LAND SURVEYORS, #285 VAUGHAN VALLEY BLVD., WOODBRIDGE, ON, L4H 3B5

LEGEND: OPTION A & B
 OPTION A: CONCRETE DOLLYPAD
 OPTION B: CONCRETE APRON

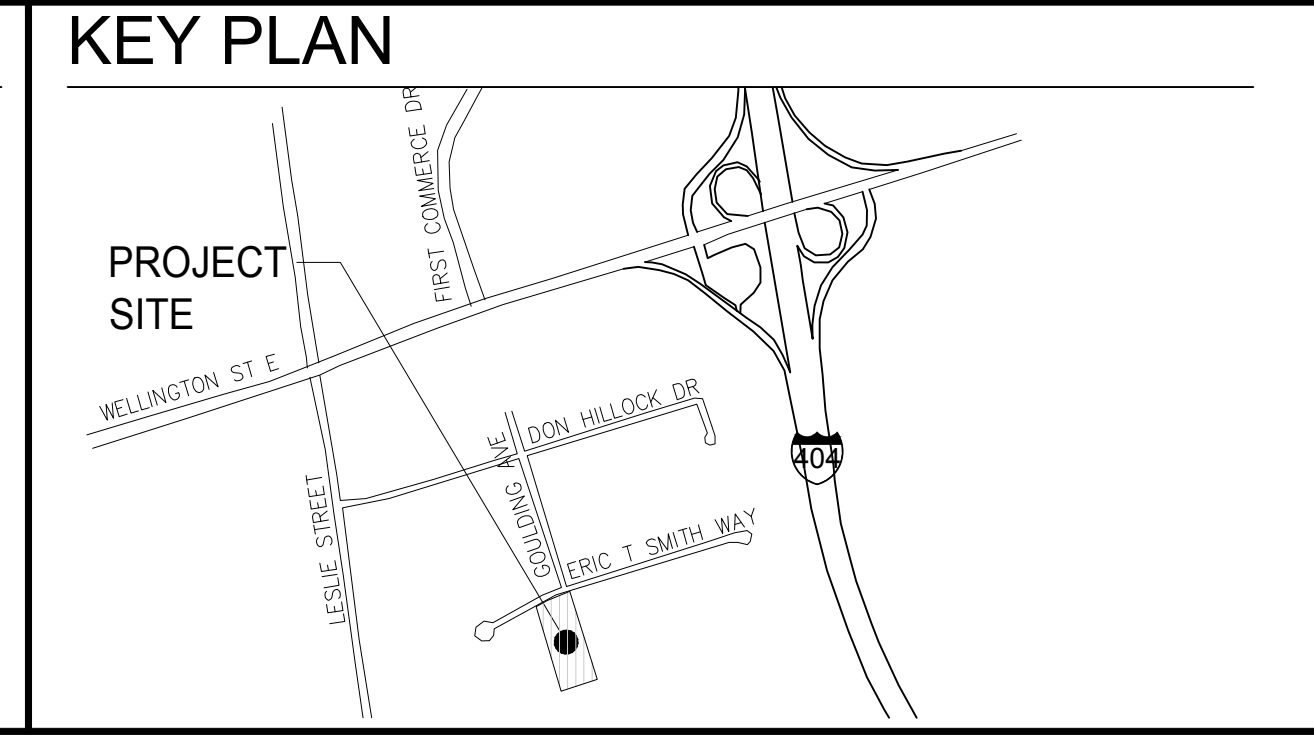
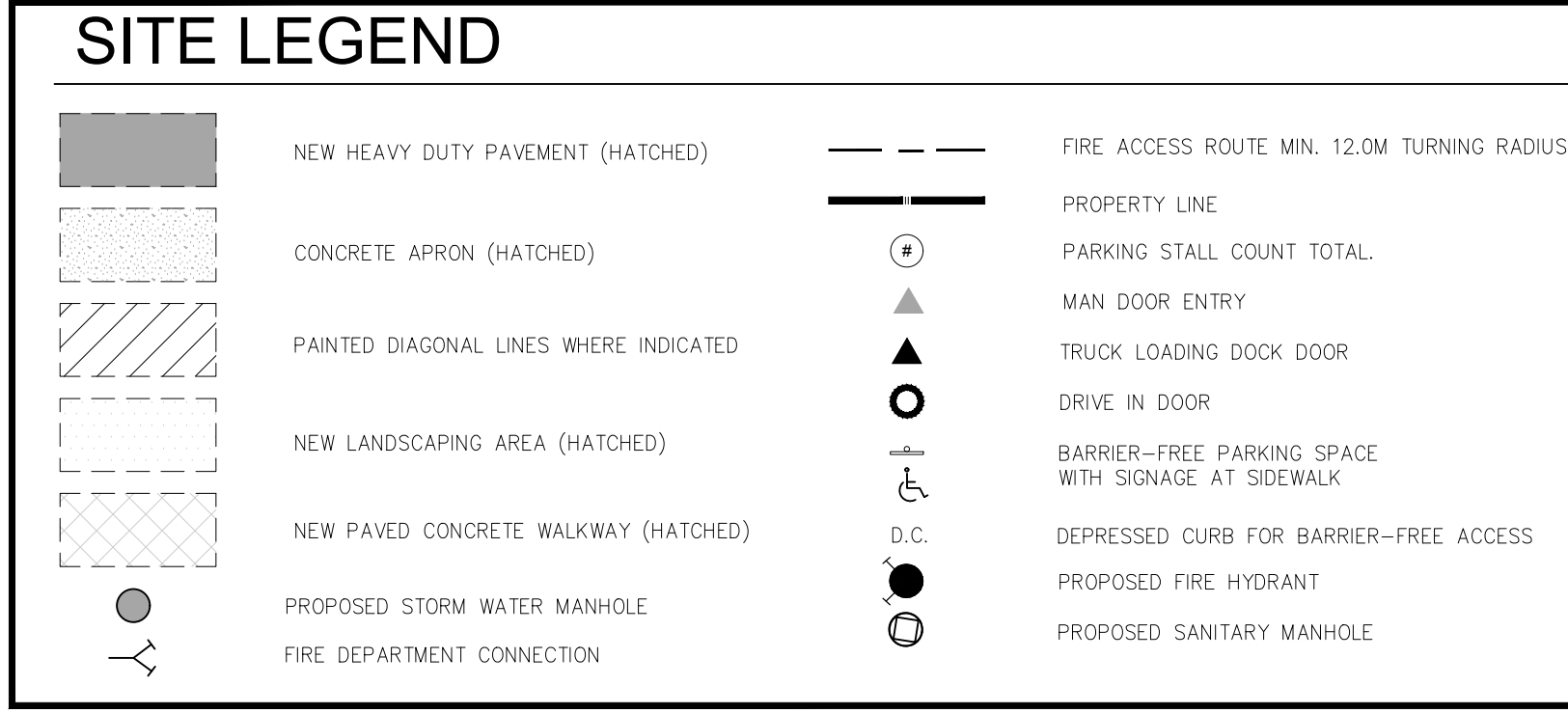
ENLARGED SITE PLAN
 SCALE: 1:300

WARE MALCOMB
 Leading Design for Commercial Real Estate

architecture: 180 pros mills drive, unit 103
 planning: vaughan, ontario, L4K 5W9
 interiors: p. 905.760.1221
 graphics: f. 905.248.3344
 civil engineering: a business name of WMA Inc.



- SITE PLAN NOTES**
- PROPERTY LINE
 - 2700x5300 PARKING STALL, PAINTED PARKING STRIPPING PER THE TOWN OF AURORA STANDARDS.
 - LANDSCAPING (SEE LANDSCAPING DWG.)
 - TYPICAL CURB RADIUS 900mm (U.N.O)
 - 150MM DIA. STEEL PIPE BOLLARD, CONCRETE FILLED MIN. 1220MM ABOVE FINISHED GRADE.
 - 150mm WIDE CURB
 - 150mm WIDE CONCRETE SIDEWALK TYPICAL U.N.O
 - PRINCIPLE BUILDING ENTRY
 - DRIVE-IN DOOR
 - FIRE DEPARTMENT SIAMENSE CONNECTION
 - PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm
 - LINE OF CANOPY ABOVE
 - PROVIDE THREE (3) MOLOK BINS
 - CONCRETE APRON
 - LIGHT DUTY ASPHALT PAVING
 - ACCESSIBLE PARKING SIGN INSTALLED PER MUNICIPAL STANDARDS
 - EXTERIOR STEEL STAIRS WITH TUBE STEEL GUARDRAIL, TYP.
 - 3500mm X 9000mm LOADING SPACE (TYPICAL)
 - MUNICIPAL SIDEWALK & CURB ACROSS PROPOSED ACCESS TO BE HEAVY DUTY
 - FIRE ACCESS ROUTE, MIN 12.0M TURNING RADIUS
 - TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER MUNICIPAL STANDARDS. EACH PAIR OF SHARED STALLS TO PROVIDE A MINIMUM OF (1) TYPE A (3650 MIN WIDTH) & (1) TYPE B (2700 MIN WIDTH) STALL OF 5300 LENGTH, C/W A 1.5M PAINTED AISLE & TACTILE INDICATOR STRIP - REFER TO THE TOWN OF AURORA BARRIER-FREE PARKING STANDARDS IN BY-LAW 6000-17, SLOPED ASPHALT IS FLUSH TO CURB HEIGHT.
 - PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD
 - PROPOSED BICYCLE PARKING SPACES
 - TRUCK LOADING DOCK - TYPICAL
 - HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING TRACTOR TRUCK ACCESS.
 - PROPOSED RETAINING WALL (C/W GUARD RAILING WHERE GRADE DIFFERENCE IS GREATER THAN 300mm) - REFER TO CIVIL DWGS AND ARCHITECTURAL DETAIL 11/A8.1
 - ALL DRIVEWAYS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TOWN OF AURORA STANDARD
 - EXISTING FIRE HYDRANT
 - 1.5M WIDE PAINTED PEDESTRIAN PATHWAY
 - 2700x6500 PARALLEL PARKING STALL, PAINTED PARKING STRIPPING PER THE TOWN OF AURORA STANDARDS.
 - PROPOSED SNOW STORAGE - 129sm
 - EXIT FOR 45' AUTO STALLS & ENTRANCE FOR SHIPPING/RECEIVING TRUCKS
 - PYLON SIGNAGE SHOWING UNIT ADDRESSES
 - MECHANICAL ROOM
 - ELECTRICAL ROOM
 - PROPOSED RETAINING WALL C/W GUARD RAILING - REFER TO CIVIL DWGS
 - PROPOSED TOE WALL - REFER TO CIVIL DWGS
 - PROPOSED DRAINAGE AREA C/W RIPRAP - REFER TO CIVIL DWGS
 - PROPOSED LOCATION OF FIRE ROUTE SIGNAGE - TO BE SPACED NO MORE THAN 23m APART ALONG ENTIRE LENGTH OF FIRE ROUTE. REFER TO SHEET A1.1 FOR SIGNAGE DETAILS.
 - PROPOSED LOCATION OF CANADA POST COMMUNITY MAILBOX. RESERVED.
 - TRUCK TURNING DIAGRAM OF A FIRE PUMP TRUCK SHOWING ACCESSIBILITY AROUND SITE.
 - FUTURE SIDEWALK TO BE INSTALLED BY THE TOWN.
 - 6m TRAIL EASEMENT TO BE PROVIDED TO THE TOWN.
 - ROLLOVER CURB - REFER TO CIVIL DRAWINGS
 - TRENCH DRAIN ENCASED IN CONCRETE, SEE STRUCT. DWG'S



SITE STATISTICS

TOR20-0069-04 - 45 ERIC T SMITH WAY MULTI TENANT INDUSTRIAL

Zone Category	E-BP	
Proposed Use	WAREHOUSE / INDUSTRIAL / OFFICE	
GROSS SITE AREA	17,027.13 m ²	1.70 HA
PROPOSED BUILDING AREA	GFA	FSI
GROUND FLOOR AREA	6,052.65m ²	
SECOND FLOOR AREA	697.95m ²	
OFFICE AREA	1,423.10m ²	8.36%
INDUSTRIAL/WAREHOUSE AREA	5,327.50m ²	31.29%
TOTAL BUILDING AREA	6,750.60m²	39.65%

Regulations (Town of Aurora Zoning By-law #6000-17)

Zone Requirements	PROPOSED	REQUIRED
Min. Lot Frontage (m)	83.4	60.0
Min. Setback from Street (m)	18.6	6.0
Min. Interior Side Yard Building Setback (m)	17.5	3.0
Min. Rear Yard Building Setback (m)	24.4	3.0
Max. Lot Coverage (%)	39.65%	50.0%
Maximum Building Height (m)	8.84	13.50
Landscape Buffer (Front Yard)	3.0	3.0

PARKING REQUIREMENT (Town of Aurora Zoning By-law #6000-17 Section 5.4 Parking Standards, 5.8 Barrier Free, 10.3 Loading Spaces)

OPTION 1 OR 2	PROPOSED	REQUIRED
OPTION 1: MULTIPLE UNIT BUILDING WITHIN BUSINESS PARK		
INDUSTRIAL USE		
3.0 SPACES PER 100 SM FOR FIRST 100 SM OF GFA (100/100) X 3	3	3
PLUS 2.0 SPACES PER 100 SM FOR NEXT 2700 SM OF GFA (2700/100) X 2	54	54
PLUS 1.0 SPACE PER 100 SM FOR NEXT 3000 SM OF GFA (5327.5-2800)/100 X 1	26	26
OFFICE USE		
OFFICE USE (3.5/100 SM)	50	50
Total No. of Parking Spaces	133	133
Total No. Barrier Free Parking Spaces (1 + 3% of Total Parking)	6 (3 Type A + 3 Type B)	5 (3 Type A + 2 Type B)
OR		
OPTION 2: WAREHOUSE WITHIN A MULTI-UNIT BUILDING IN BUSINESS PARK ZONE		
INDUSTRIAL/WAREHOUSE USE		
3.0 SPACES PER 100 SM FOR FIRST 100 SM OF GFA (100/100) X 3	3	3
PLUS 2.0 SPACES PER 100 SM FOR NEXT 900 SM OF GFA (900/100) X 2	18	18
PLUS 1.1 SPACES PER 100 SM FOR REMAINING GFA ((5327.50-1000)/100) X 1.1	62	48
OFFICE USE		
OFFICE USE (3.5/100 SM)	50	50
Total No. of Parking Spaces	133	119
Total No. Barrier Free Parking Spaces (1 + 3% of Total Parking)	6 (3 Type A + 3 Type B)	5 (3 Type A + 2 Type B)
Total No. Bicycle Parking Spaces	8	7
Warehouse/Industrial (2 + 0.25/1000sm GFA)	4	3
Office (2 + 1/1000sm GFA)	4	3
Total No. Loading Spaces (3 + 1 space for every 7500sm over)	15	3

PARKING SPACE DIMENSIONS

Standard	Dimensions
Parking Stall Dimensions	STANDARD - 2.7m X 5.3m ACCESSIBLE TYPE A - 3.65m X 5.3m ACCESSIBLE TYPE B - 2.7m X 5.3m
Bicycle Parking Space Dimensions	1.8m X 0.6m
Loading Space Dimensions	3.5m X 9.0m

OVERALL SITE PLAN

DATE	REMARKS
2021-07-30	ISSUED FOR COORDINATION
2021-08-05	REVISED PER CITY COMMENTS
2021-08-10	REISSUED FOR SPA
2021-08-17	ISSUED FOR PERMIT
2021-09-13	ADDENDUM 5
2021-09-20	REISSUED FOR SPA
2021-09-28	REISSUED FOR SPA
2021-10-04	CONSOLIDATED SPA SET

PA / PM: AR
 DRAWN BY: WM
 JOB NO.: TOR20-0069-00

SHEET
A1.0