

ONTARIO BUILDING CODE DATA
 KEITH LOFFLER MCALPINE ARCHITECTS
 CERTIFICATE OF PRACTICE NUMBER 3960
 80 BLOOR STREET WEST, SUITE 403
 TORONTO, ONTARIO
 M5S 2V1

PROJECT:
 RESIDENTIAL CONDOMINIUM DEVELOPMENT
 LOCATION:
 25-29 GEORGE STREET
 AURORA, ONTARIO

PROJECT DESCRIPTION:
 NEW RESIDENTIAL CONDOMINIUM BUILDING
 BUILDING HEIGHT = 13.7 M (4 STOREYS)

MAJOR OCCUPANCY:
 RESIDENTIAL OCCUPANCY - GROUP C

BUILDING AREA:
 EXISTING (201.2) + NEW (857) = TOTAL 1,058.20 m²

GROSS AREA:
 EXISTING (603.5) + NEW (3,264) = TOTAL 3,867.50 m²

NUMBER OF STOREYS:
 ABOVE GRADE = 4 STOREYS, BELOW GRADE = 1 STOREY

NUMBER OF STREETS/FIRE FIGHTER ACCESS:
 FACING 1 STREET, FIRE-FIGHTING ACCESS PROVIDED

BUILDING CLASSIFICATION:
 EXISTING BUILDING PART B CLASSIFICATION TO REMAIN 3.2.2.45, GROUP C, UP TO 4 STOREYS, SPRINKLERED

SPRINKLER SYSTEM PROPOSED:
 FULLY SPRINKLERED

STANDPIPE REQUIRED:
 YES

FIRE ALARM REQUIRED:
 YES

WATER SERVICE/SUPPLY IS ADEQUATE:
 YES

HIGH BUILDING:
 NO

PERMITTED CONSTRUCTION:
 COMBUSTIBLE OR NON-COMBUSTIBLE
 ACTUAL CONSTRUCTION
 COMBUSTIBLE AND NON-COMBUSTIBLE

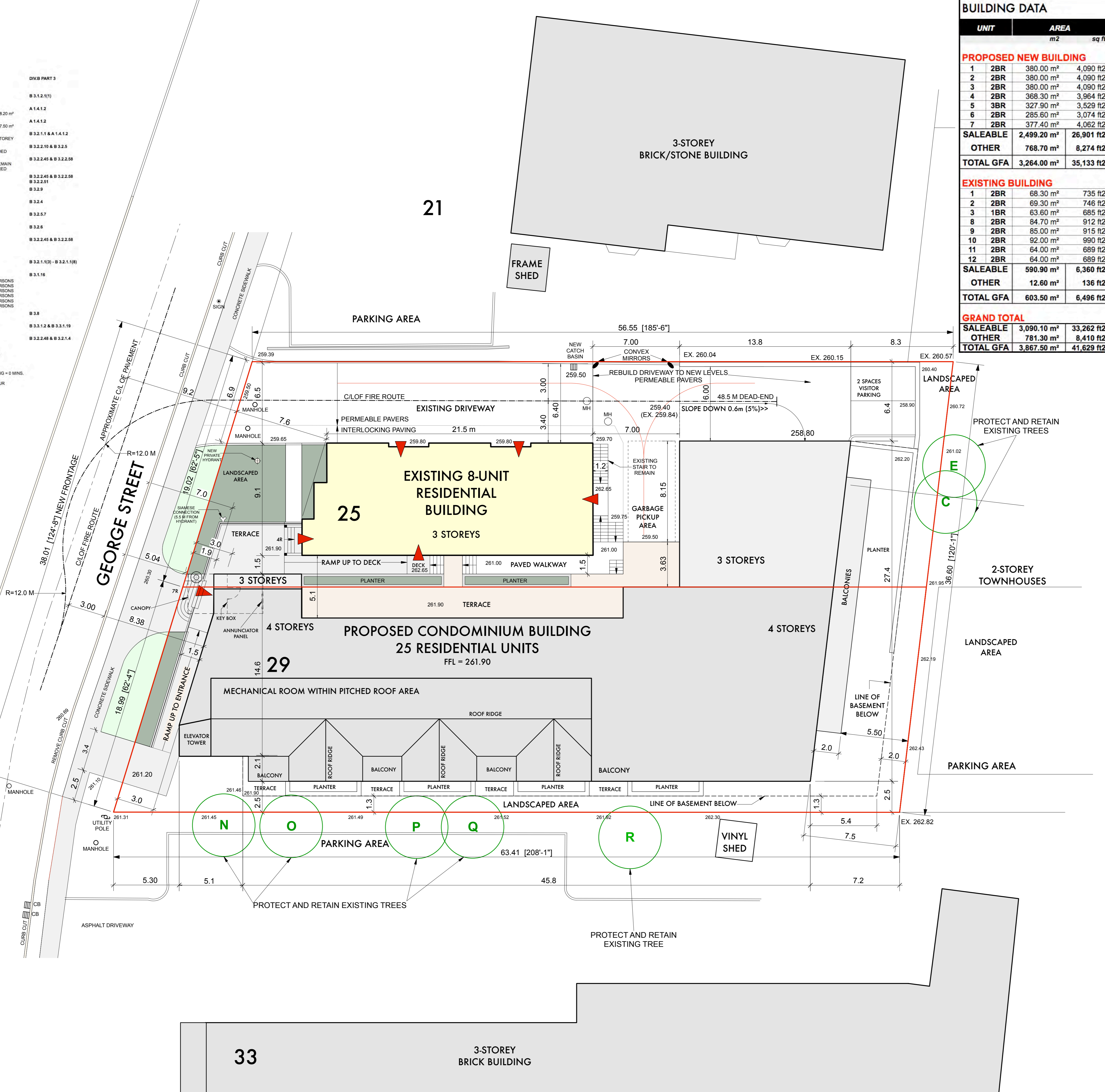
MEZZANINE AREAS:
 TOTAL = 0 SQ.M.

OCCUPANT LOAD:
 BASEMENT (B) 1,039 M² / 46 = 23 PERSONS
 1ST FLOOR (C) 2 PER BR 30 PERSONS
 2ND FLOOR (C) 2 PER BR 30 PERSONS
 3RD FLOOR (C) 2 PER BR 30 PERSONS
 4TH FLOOR (C) 2 PER BR 30 PERSONS
 TOTAL = 129 PERSONS

BARRIER FREE DESIGN:
 YES

HAZARDOUS SUBSTANCES:
 NO

REQUIRED FIRE-RESISTANCE RATINGS:
 GROUND FLOOR ASSEMBLY FRR = 1 HOUR
 FLOOR ASSEMBLY WITHIN A DWELLING = 0 MINS.
 ROOF ASSEMBLY FRR = 0 MINS.
 MEZZANINE ASSEMBLY WITHIN A DWELLING = 1 HOUR
 FLOOR SUPPORTING MEMBERS WITHIN A DWELLING = 0 MINS.
 ROOF SUPPORTING MEMBERS WITHIN A DWELLING = 0 MINS.
 MEZZANINE SUPPORTING MEMBERS FRR = 1 HOUR



BUILDING DATA

UNIT	AREA		Lower 1st	Upper 1st	2nd Flr	3rd Flr	4th Flr
	m ²	sq ft					
PROPOSED NEW BUILDING							
1	2BR	380.00 m ²	4,090 ft ²		95	95	95
2	2BR	380.00 m ²	4,090 ft ²		95	95	95
3	2BR	380.00 m ²	4,090 ft ²		95	95	95
4	2BR	368.30 m ²	3,964 ft ²		91.1	91.1	91.1
5	3BR	327.90 m ²	3,529 ft ²		109.3	109.3	109.3
6	2BR	285.60 m ²	3,074 ft ²		95.2	95.2	95.2
7	2BR	377.40 m ²	4,062 ft ²		125.8	125.8	125.8
SALEABLE		2,499.20 m²	26,901 ft²	0.00 m²	706.40 m²	706.40 m²	706.40 m²
OTHER		768.70 m²	8,274 ft²	0.00 m²	150.60 m²	150.60 m²	150.60 m²
TOTAL GFA		3,264.00 m²	35,133 ft²	0.00 m²	857.00 m²	857.00 m²	857.00 m²
EXISTING BUILDING							
1	2BR	68.30 m ²	735 ft ²	68.3			
2	2BR	69.30 m ²	746 ft ²	69.3			
3	1BR	63.60 m ²	685 ft ²	63.6			
8	2BR	84.70 m ²	912 ft ²		38.7	46	
9	2BR	85.00 m ²	915 ft ²		40	45	
10	2BR	92.00 m ²	990 ft ²		46	46	
11	2BR	64.00 m ²	689 ft ²		32	32	
12	2BR	64.00 m ²	689 ft ²		32	32	
SALEABLE		590.90 m²	6,360 ft²	201.20 m²	188.70 m²	201.00 m²	
OTHER		12.60 m²	136 ft²	0.00 m²	12.40 m²	0.20 m²	
TOTAL GFA		603.50 m²	6,496 ft²	201.20 m²	201.10 m²	201.20 m²	
GRAND TOTAL							
SALEABLE		3,090.10 m²	33,262 ft²	201.20 m²	895.10 m²	907.40 m²	706.40 m²
OTHER		781.30 m²	8,410 ft²	0.00 m²	163.00 m²	150.80 m²	150.60 m²
TOTAL GFA		3,867.50 m²	41,629 ft²	201.20 m²	1,058.10 m²	1,058.20 m²	857.00 m²

SITE DATA

ZONING

SITE AREA 2,179.58 m²

COVERAGE 1,058.20 m² = 48.6%

GROSS FLOOR AREA

DENSITY (F.A.R.) 1.77

GFA EXISTING RESIDENTIAL 603.50 m² = 15.6%

GFA NEW RESIDENTIAL 3,264.00 m² = 84.4%

TOTAL GFA 3,867.50 m²

LOT FRONTAGE 38.0 m

BUILDING HEIGHT 13.7 m (4 storeys)

BUILDING SETBACKS

FRONT YARD (George Street) 3.0 m

REAR YARD (east) 7.5 m

SIDE YARD (north) 2.5 m

SIDE YARD (south) 6.4 m

LANDSCAPED AREA

AT GRADE 779.58 m² 35.8%

PAVED AREA

AT GRADE 337.70 m² 15.5%

RESIDENTIAL UNITS

1BR 1

2BR 29

3BR 3

TOTAL RESIDENTIAL UNITS 33

RESIDENTIAL DENSITY 151 units/ha

LOT AREA PER DWELLING 66.05 m²

PARKING SPACES

RESIDENTIAL 33

VISITORS 4

TOTAL SPACES 37

BICYCLE PARKING SPACES 36

AMENITY AREAS

INDOOR (7.06 m²/UNIT) 233.00 m² 7.06

OUTDOOR (8.30 m²/UNIT) 274.00 m² 8.30

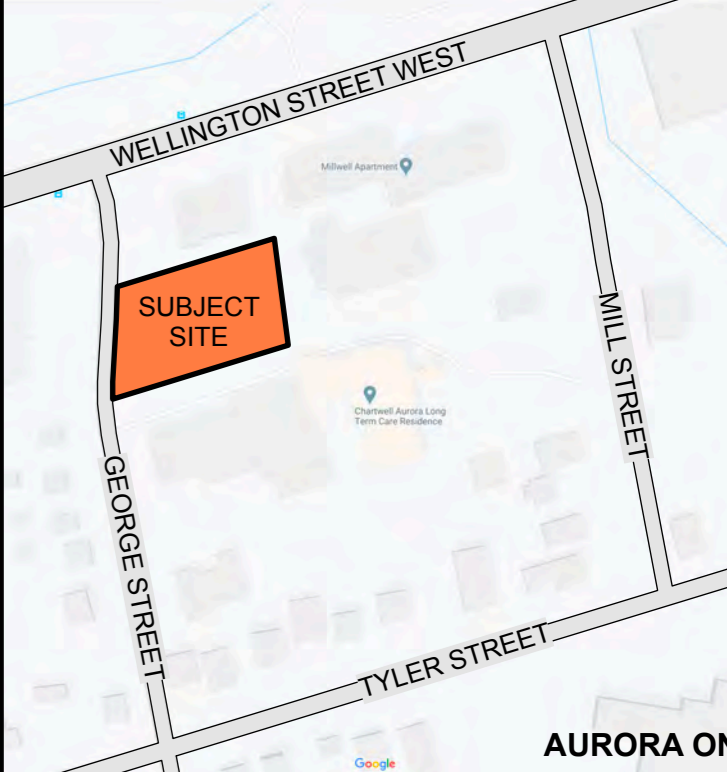
LOADING SPACES

4m X 10m 1

GARBAGE/RECYCLING ROOM

AREA 50.00 m²

SITE INFORMATION TAKEN FROM
 PLAN OF SURVEY OF
 PART OF LOT 27
 REGISTERED PLAN 246
 TOWN OF AURORA
 REGIONAL MUNICIPALITY OF YORK
 BY
 VLADIMIR DOSEN SURVEYING, O.L.S.
 DATED 25 JUNE 2018



Key Plan

Issue	Date	Description	By
01	21 MAY 2020	DRAFT FOR REVIEW	KL
02	15 APR 2021	SITE PLAN APPROVAL	KL
03	23 JUL 2021	SITE PLAN APPROVAL REV. 1	KL
04	31 MAY 2022	SITE PLAN APPROVAL REV. 2	KL
05	15 MAY 2023	SITE PLAN APPROVAL REV. 3	KL
06	25 JUL 2023	SITE PLAN APPROVAL REV. 4	KL
07	25 JUL 2023	SITE PLAN APPROVAL REV. 4	J.M.
08	13 MAR 2024	SITE PLAN APPROVAL REV. 5	J.M.
09	14 APR 2025	SITE PLAN APPROVAL REV. 6	J.M.

ARCHITECT'S INSTRUCTIONS:

THE CONTRACTOR MUST CHECK AND VERIFY ALL DRAWING DIMENSIONS ON THE SITE BEFORE AND DURING CONSTRUCTION, AND REPORT TO THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

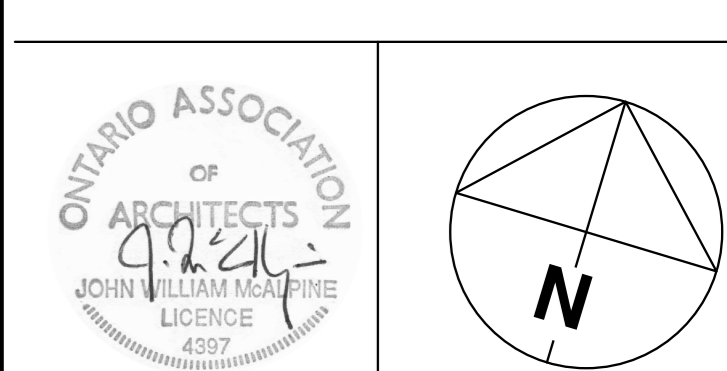
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klma
 KEITH LOFFLER MCALPINE ARCHITECTS



Professional Certification
SITE PLAN APPROVAL
 Issued by:
 14 APRIL 2025
 Scale: 1 : 150
 0698
 Project no. J.M. J.M.
 Drawn by Checked by

PROPOSED RESIDENTIAL BUILDING
 25-29 GEORGE STREET
 AURORA ONTARIO
 OWNER: 2300485 & 2333564 ONTARIO INC

SITE PLAN
 Drawing Title
A100