



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2025-35

APPLICANT: DOWNS, MICHAEL AND DOWNS, KIMBERLEY-ANN

PROPERTY: 129 Wells St, Aurora, ON L4G 1T6
PLAN 332 LOT 2

**RELATED
APPLICATIONS:** n/a

ZONING: R3-SN(497) Detached Third Density Residential

PURPOSE: A Minor Variance Application has been submitted to facilitate a two-storey addition and new detached garage.

**THE FOLLOWING
VARIANCES ARE
REQUIRED:**

1. Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 3.0 metres beyond the main rear wall of the adjacent dwelling.
 - a. The applicant is proposing a two-storey addition, which is 1.95 metres to the interior side property line.
2. Section 7.2 of the Zoning By-law requires a minimum interior side yard setback of 1.2 metres.
 - a. The applicant is proposing a detached garage, which is 0.6 metres to the interior side property line.
3. Section 7.2 of the Zoning By-law requires a minimum front yard setback of 6.0 metres.
 - a. The applicant is proposing a two-storey addition, which is 5.3 metres to the front property line.
4. Section 4.20 of the Zoning By-law states open porches require a minimum front yard setback of 4.5 metres.
 - a. The applicant is proposing a front porch, which is 2.4 metres to the front property line.
5. Section 4.20 of the Zoning By-law states steps require a minimum front yard setback of 4.5 metres.

- a. The applicant is proposing front porch steps, which are 1.3 metres to the front property line.
- 6. Section 24.497.8 of the Zoning By-law permits a maximum gross floor area of 40.0 square metres.
 - a. The applicant is proposing a detached garage with a gross floor area of 56.2 square metres.
- 7. Section 5.6.1(ii) of the Zoning By-law allows a maximum driveway width of 6.0 meters if the lot frontage is greater than or equal to 9.0 meters and less than 18.0 meters.
 - a. The applicant is proposing a driveway width of 6.8 meters.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	September 11, 2025
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town's website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Stephanie February, at SFebruary@aurora.ca **no later than 4:30pm on September 9, 2025.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website:

<https://webforms.aurora.ca/Your-Government/Committee-of-Adjustment-Delegation-Request-Form>

- ii) **Provide written comments.** Please email your comments to the Secretary –Treasurer, Stephanie February, at SFebruary@aurora.ca **no later than 12:00pm (noon) on September 11, 2025** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

Town of Aurora

100 John West Way, Box 1000
Aurora, ON L4G 6J1

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed "Request for Decision" form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to SFebruary@aurora.ca **no later than 4:30pm on September 11, 2025.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Stephanie February at SFebruary@aurora.ca or at **905-726-4711**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act*, R.S.O. 1990, Chapter c.P.13, as amended. Your comments in respect to this Application will become part of the decision-making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, as amended, (the "Act") public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with the Act. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 25th DAY OF August 2025



Stephanie February
Secretary- Treasurer, Committee of Adjustment
Committee of Adjustment

ATTACHMENTS

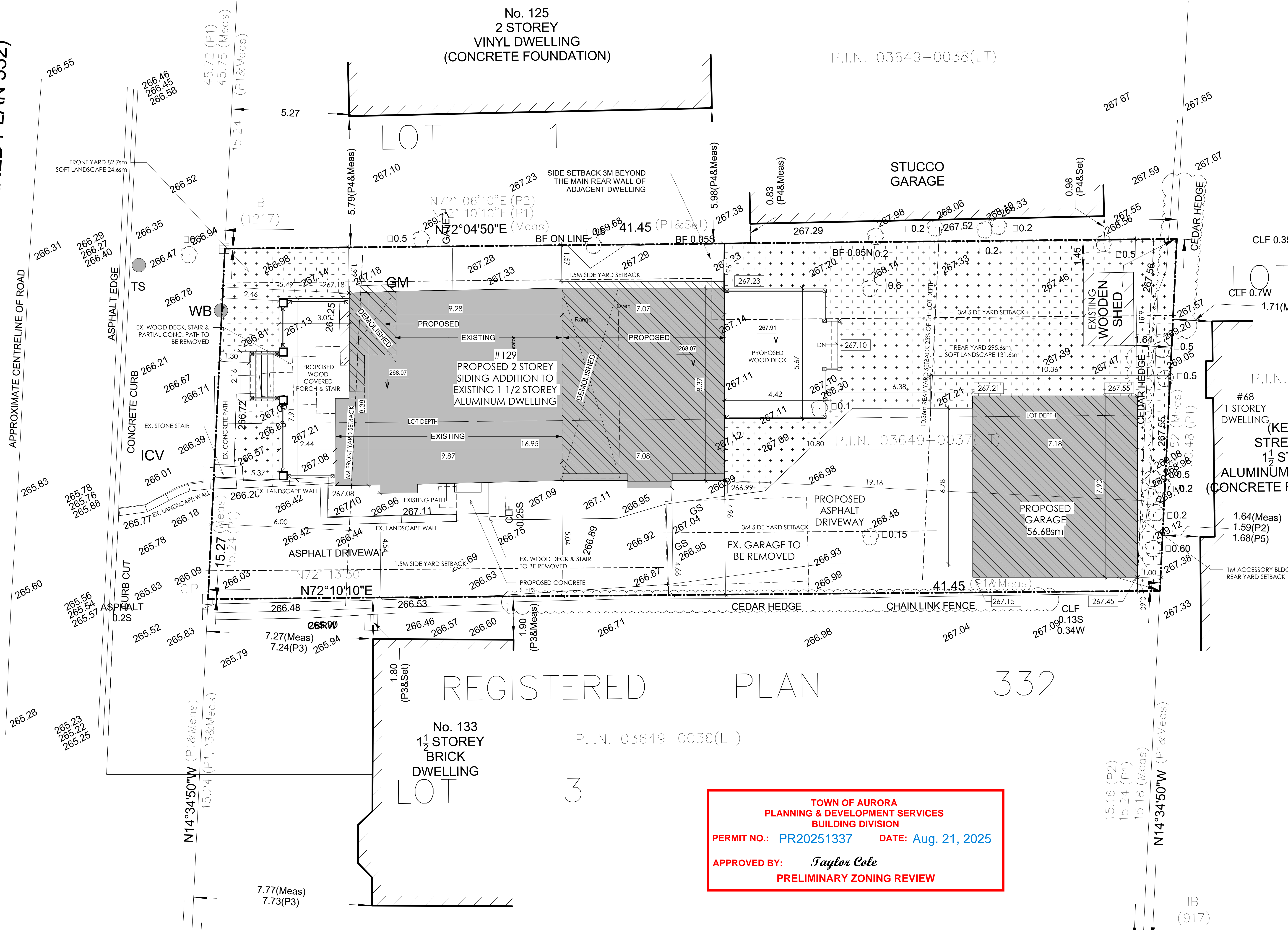
Attachment 1 – Site Plan
Attachment 2 – Elevations

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>

WELLS STREET

(DEDICATED AS A PUBLIC HIGHWAY BY REGISTERED PLAN 332)

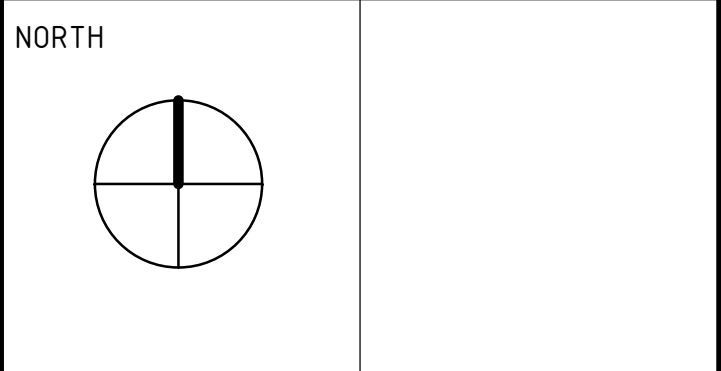


TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20251337 DATE: Aug. 21, 2025
APPROVED BY: Taylor Cole
PRELIMINARY ZONING REVIEW

No.	Description	Date
9	PRELIMINARY ZONING REVIEW	25/07/28

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS (AND OR OMISSIONS TO THE ARCHITECT.)
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
DO NOT SCALE DRAWINGS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.
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ARCHITECTURE
58-8841 GEORGE BOLTON PKWY, BOLTON, ON L7E 2X8
T: 647.588.1784 E: info@cspac.ca



PROJECT
RESIDENTIAL ADDITION & RENOVATION
129 WELLS STREET, AURORA, ON

DRAWING TITLE
PROPOSED SITE PLAN

SCALE 1 : 75		PROJECT NO. 25-2173	
DRAWN BY JK	APPROVED CP		DATE 24.03.26

DRAWING NO.
A002



1 : 48



1 : 48



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1 : 48

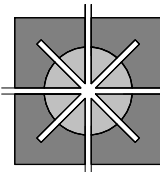
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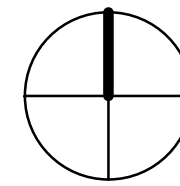
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ARCHITECTURE

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NORTH



PROJECT

RESIDENTIAL ADDITION & RENOVATION

29 WELLS STREET, AURORA, ON

DRAWING TITLE
PROPOSED GARAGE DRAWINGS

SCALE

: 48

DRAWN BY

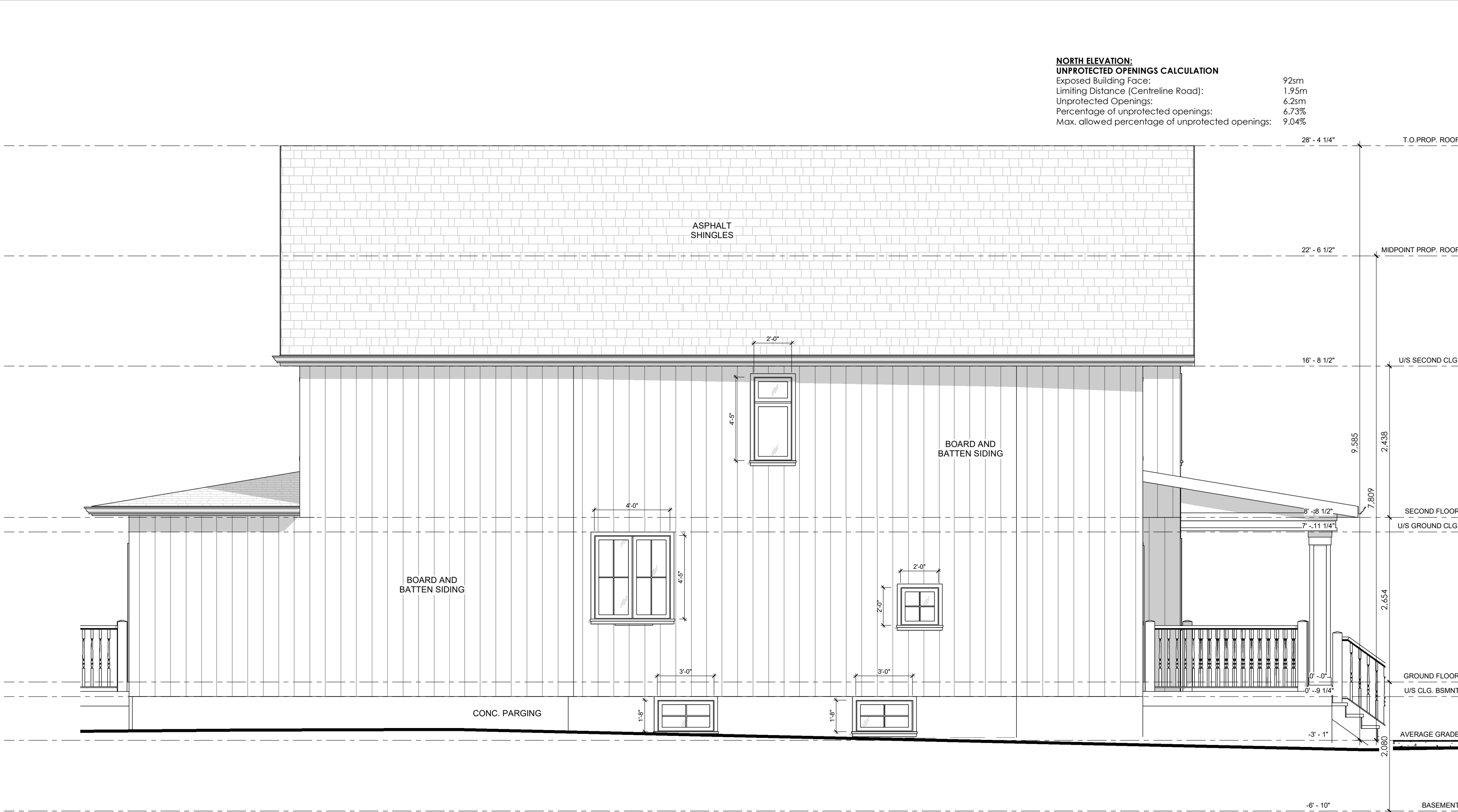
PROJECT NO.

25-2173

ED	DATE
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DRAWING NO.

A103



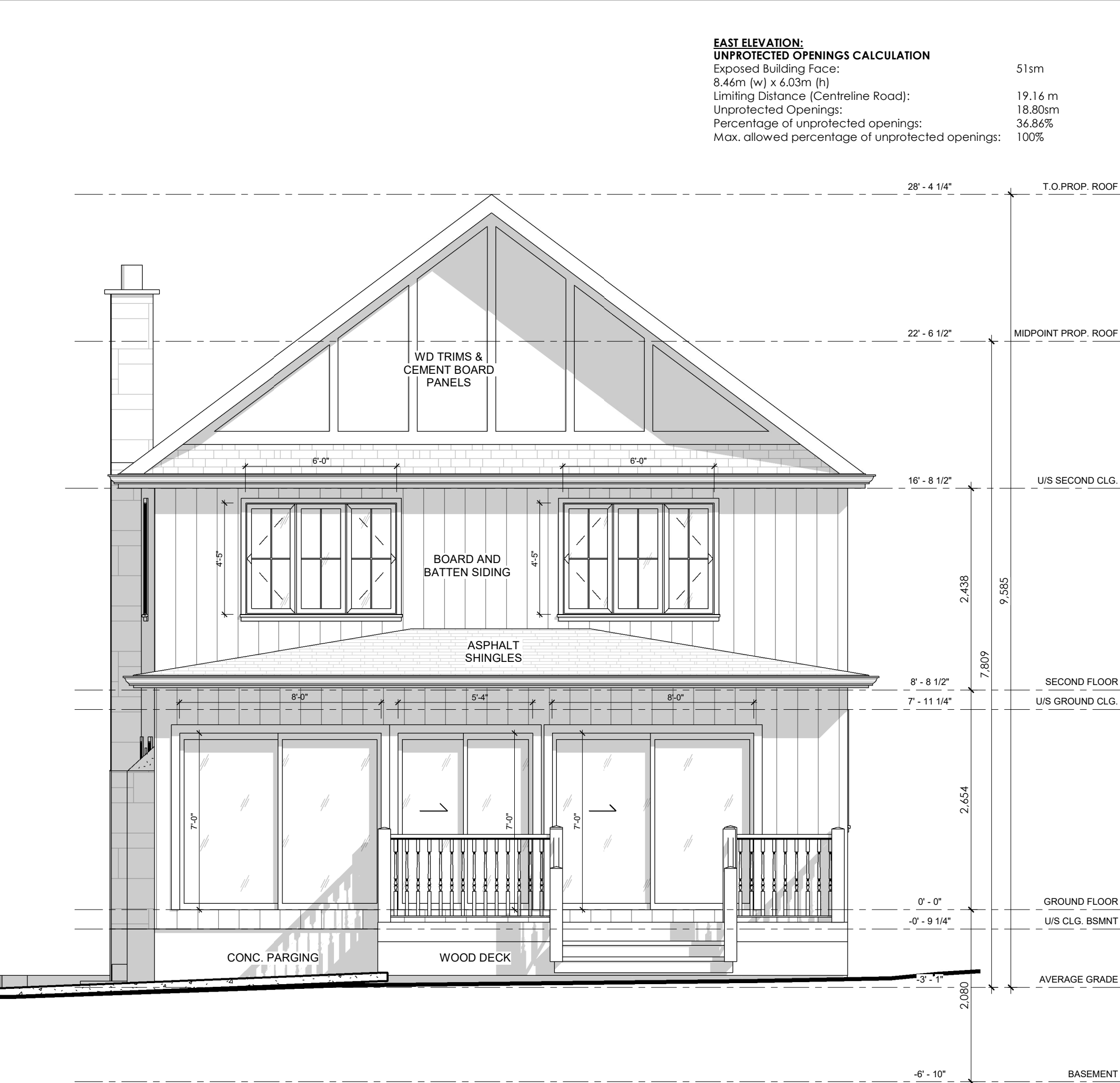
PROPOSED NORTH ELEVATION

1 : 48



PROPOSED SOUTH ELEVATION

1 : 48



PROPOSED EAST ELEVATION

1 : 48



PROPOSED WEST ELEVATION

1 : 48

No.	Description	Date
9	PRELIMINARY ZONING REVIEW	25/07/28
1	FOR REVIEW	24/04/23

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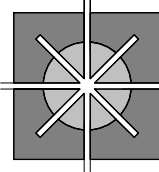
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NORTH	
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PROJECT
RESIDENTIAL ADDITION &
RENOVATION

129 WELLS STREET, AURORA, ON

DRAWING TITLE
PROPOSED ELEVATIONS

SCALE
1 : 48

PROJECT NO.
25-2173

DRAWN BY
JK

APPROVED
CP

DATE
24.03.26

DRAWING NO.

A201