

**PLANNING JUSTIFICATION REPORT
107 RIDGE ROAD
AURORA, ON**

**OFFICIAL PLAN AMENDMENT
ZONING BY-LAW AMENDMENT**

Ridge Rd

Glensteeples Trail

JKO PLANNING
SERVICES

Prepared for 2693642 Ontario Inc.
By JKO Planning Services Inc.
March, 2025

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1.0 Introduction

JKO Planning Services has been retained to undertake a Planning Justification Report for the property municipally known as 107 Ridge Road, Aurora, Ontario (herein referred to as the “subject lands”). The subject lands are located in the southern area of the Aurora, north of the intersection of Yonge Street and Bloomington Road. The subject property is legally described as:

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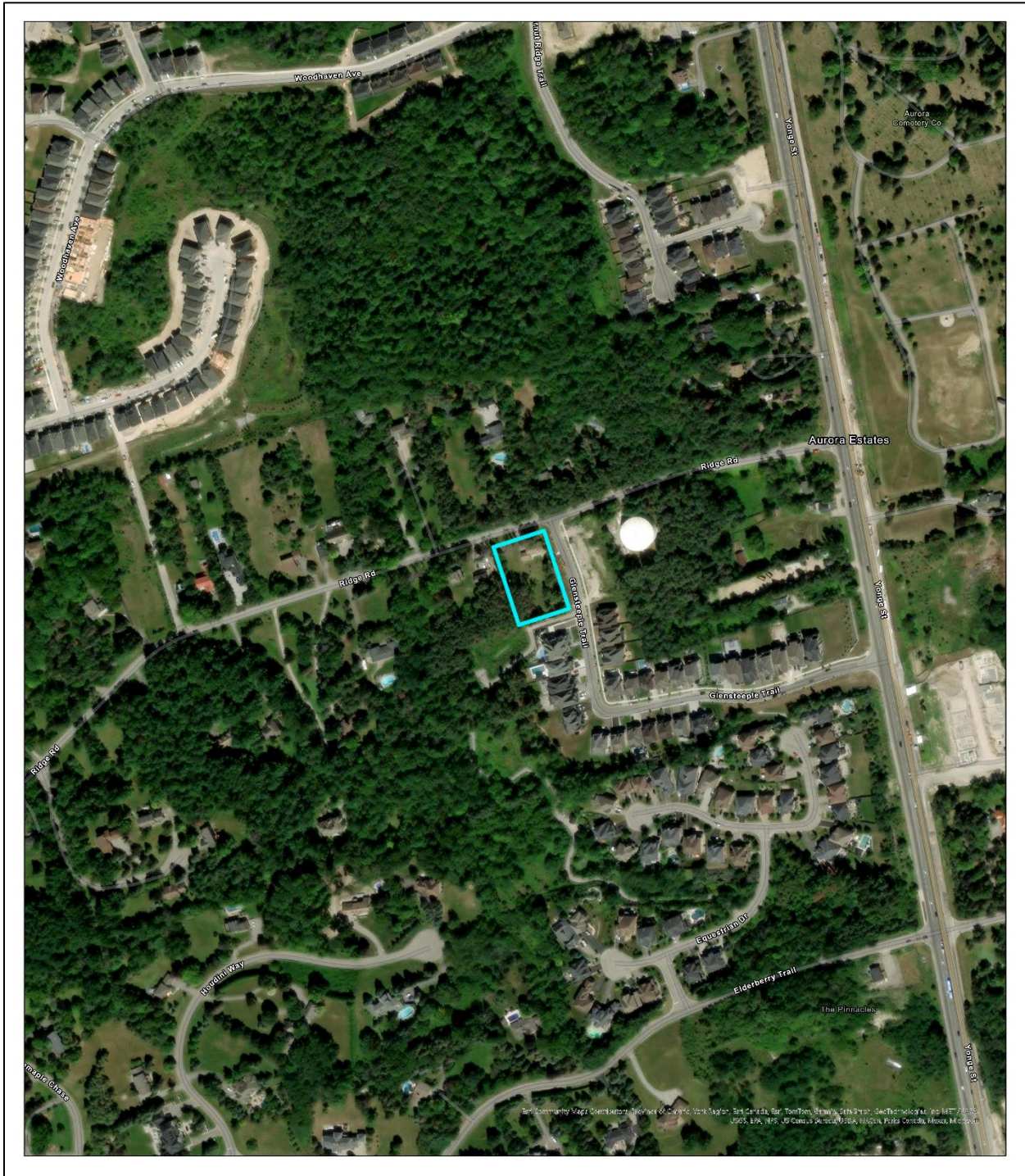
This proposal aims to create five (5) new residential lots to facilitate the construction of five (5) new single detached residential dwelling units. There is also one (1) Environmental Protection Block proposed which contains the lands’ existing woodland features. This component of the plan is intended to be appropriately zoned for Environmental Protection purposes.

This submission follows several discussions with the Town and a Pre-Consultation Meeting with Town Staff on February 8, 2024. This submission also attempts to formally address all the issues raised by Town Staff.

The analysis presented in this report is founded on the following work and policy documents:

- A review of all available background reports and information;
- A detailed examination of existing development constraints and issues (i.e., transportation and planning);
- Ontario Planning Act, R.S.O. 1990;
- The Provincial Planning Statement, 2024;
- Oak Ridges Moraine Conservation Plan;
- Town of Aurora Official Plan;
- Town of Aurora Official Plan Amendment No. 34; and
- Town of Aurora Zoning By-law No. 6000-17.

Figure 1: Site Aerial
107 Ridge Road, Aurora, ON



2.0 Site Characteristics

The subject lands are characterized by a hilly terrain, varying elevations, and significant woodland coverage. The lands are currently occupied by a single detached dwelling, accessed via a private driveway connecting to Ridge Road to the north. The majority of the lands are landscaped. The lands are a corner lot, with an exterior side yard abutting Glensteeple Trail to the east. The variance in elevation from Glensteeple Trail to the subject lands is notable, as there is a grade difference between the right-of-way and the subject lands. The lands' abutting lot line with Glensteeple Trail contains some mature trees. Frontage along Ridge Road also contains a woodlands component.

2.1 Transportation Accessibility

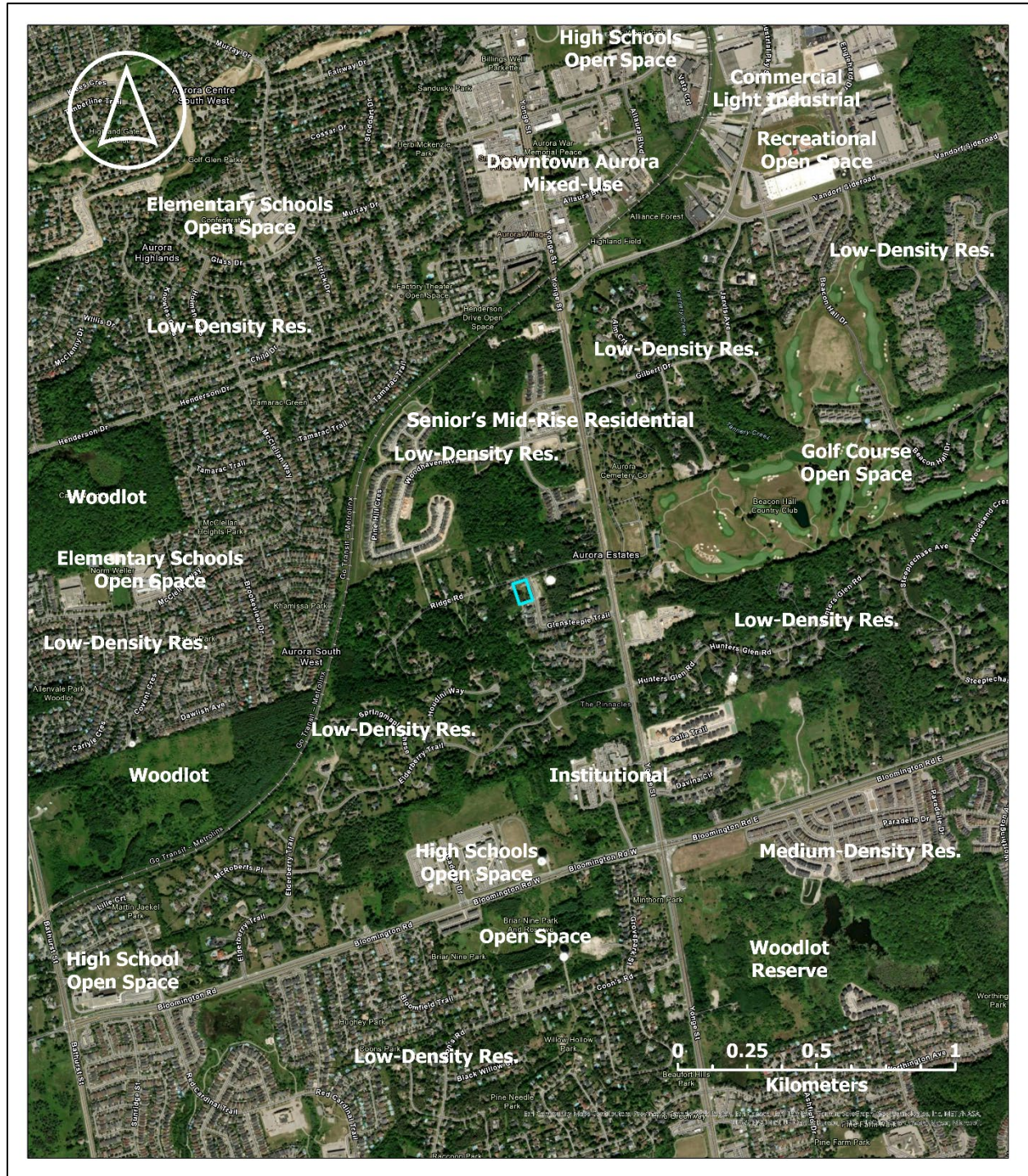
The subject lands are located approximately 300 metres west of Yonge Street. The Viva Blue bus route operates along Yonge Street, providing the site with viable regional and inter-regional transit access along the Yonge Street corridor via the route's stop at Yonge Street and Bloomington Road. The Viva bus network stop 1 kilometre south of the subject property, representing a walk of approximately 15 minutes. Viva Blue operates from Finch Station in Toronto to the South, to Newmarket Terminal to the north, connecting the subject property to the TTC subway and bus network, as well as to Viva Purple, Pink, and Orange Lines which operate east/west along Highway 7 in Markham and Vaughan. The subject property's access to these transit networks ensures adequate public transit accessibility, and will provide residents with a range of transportation options for their day-to-day lives.

The subject property is additionally serviced by York Region Transit bus routes 96 and 98, which provides public transit access within York Region. Routes 96 and 98 have bus stops approximately 250 metres north of the subject property at the intersection of Yonge Street and Ridge Road – representing a walk of approximately 5 minutes. Route 96 operates from Pioneer Village Station in Vaughan (TTC) north to King City and terminates at Newmarket Terminal. Route 98 operates from Bernard Terminal at Yonge Street and Elgin Mills to the south to Newmarket Terminal to the North.

The variety of public transit routes that service the area ensure that new residential developments will be supported and connected to the many municipalities or York Region, as well as those of neighbouring regions such as Peel, Toronto, Durham. Residents of the proposed development will have a wide variety of options to access their daily needs, recreational activities, and places of employment such that reliance on single-automotive transit is reduced.

Figure 2: Land Use Context

107 Ridge Road, Aurora, ON



3.0 Surrounding Land Use Context

The subject property is located in the Cherry neighbourhood in the Town of Aurora. The closest major intersection is Yonge Street and Bloomington Road. The neighbourhood consists predominantly of single detached dwellings with schools and open spaces uses interspersed throughout the area.

Immediate Context

- North: Single detached estate residential dwellings.
- East: Single detached estate residential dwellings.
- South: Detached residential dwellings.
- West: Single detached estate residential dwellings.

Surrounding Context

- North: Woodlands, Natural Heritage System.
- East: Yonge Street Regional Transit Corridor, single detached dwellings, open space uses including golf courses.
- South: Single detached residential neighbourhood. Institutional uses concentrated west of the intersection of Yonge Street and Bloomington Road, including a Service Ontario, and high schools.
- West: Neighbourhoods of West Rouge and Port Union, primarily characterized by single detached dwellings, open space, institutional uses, and minor commercial uses.

Figure 3: Proposed Development Plan
 107 Ridge Road, Aurora, ON

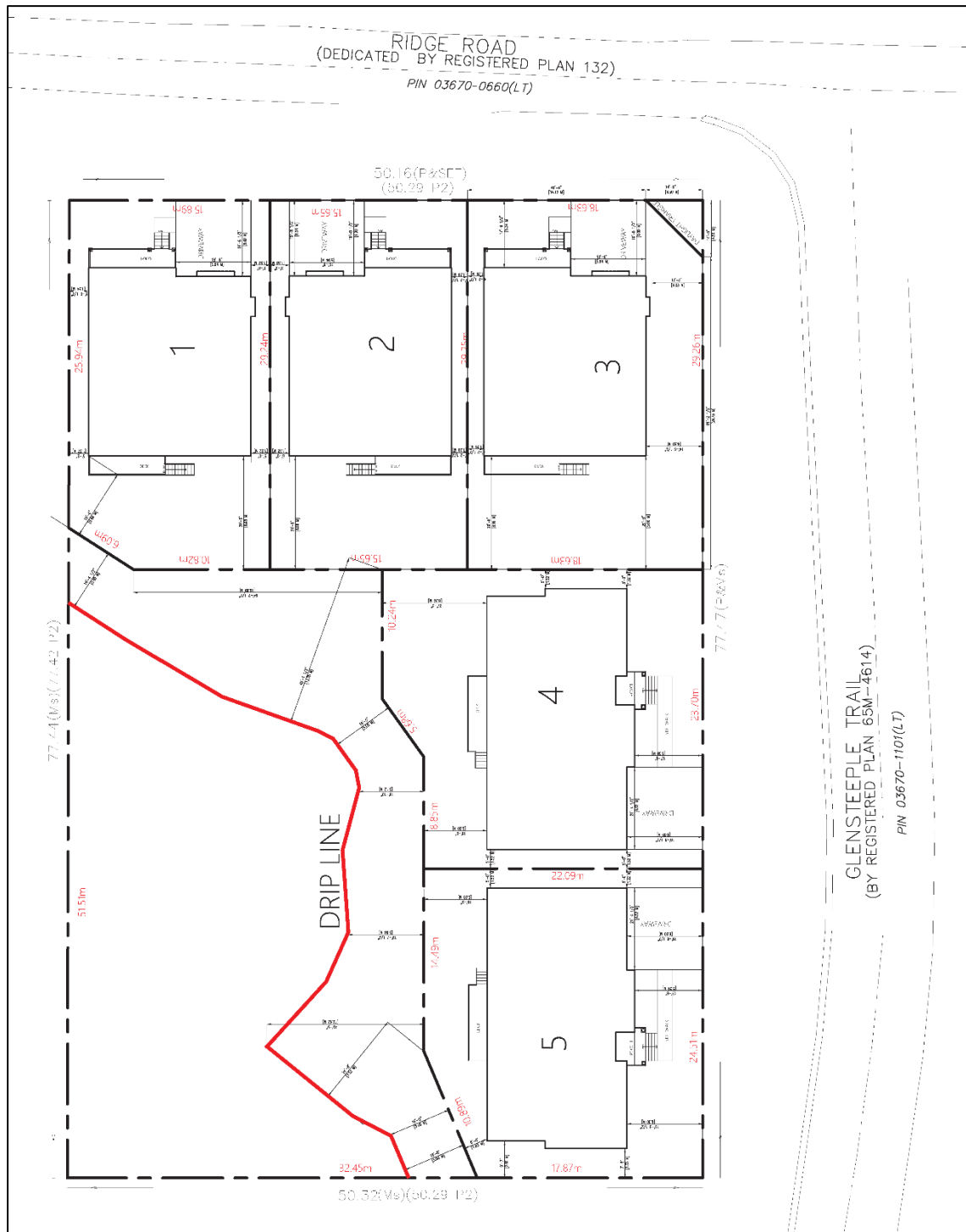


Figure 4: Lot Area Analysis
 107 Ridge Road, Aurora, ON

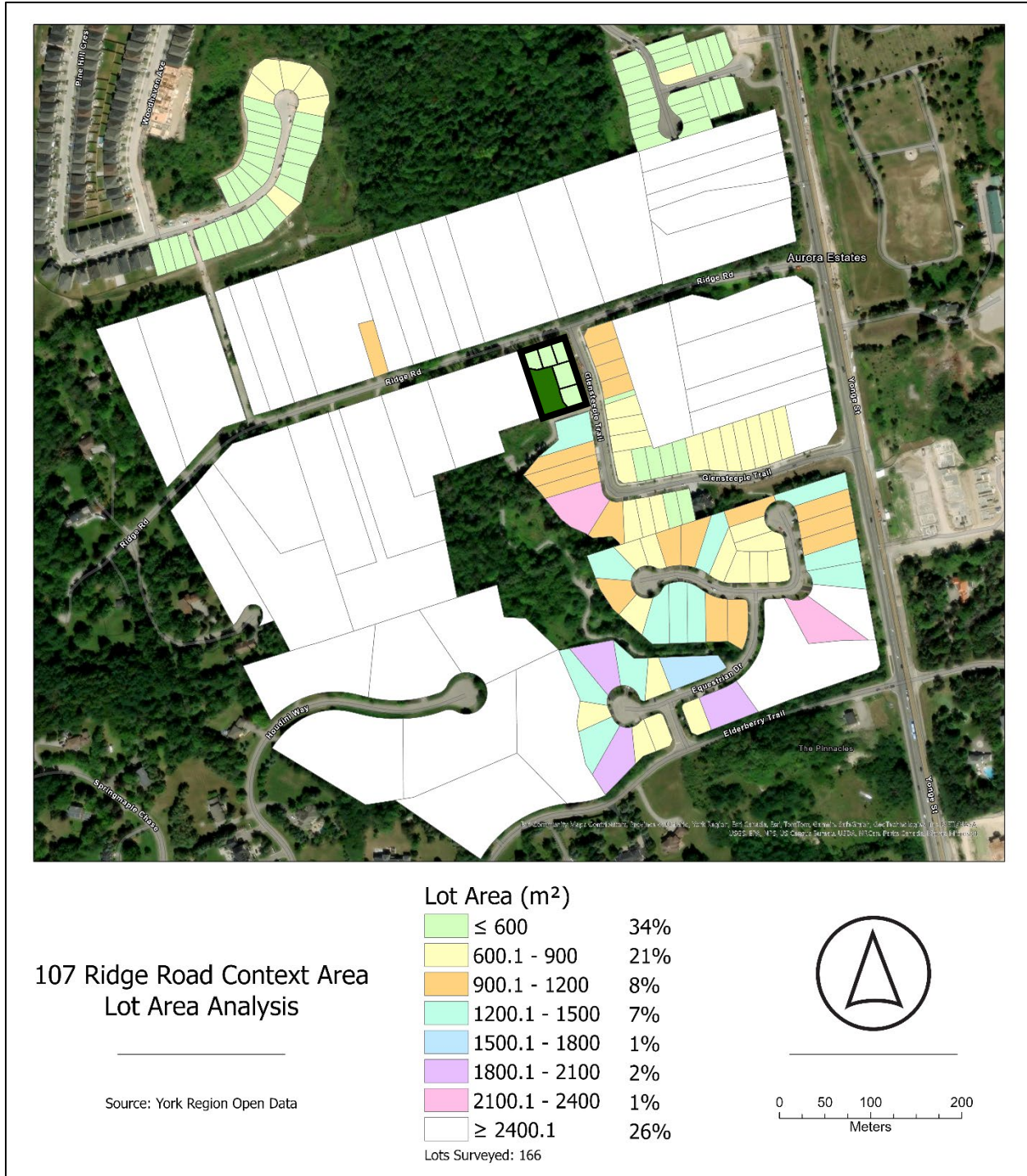
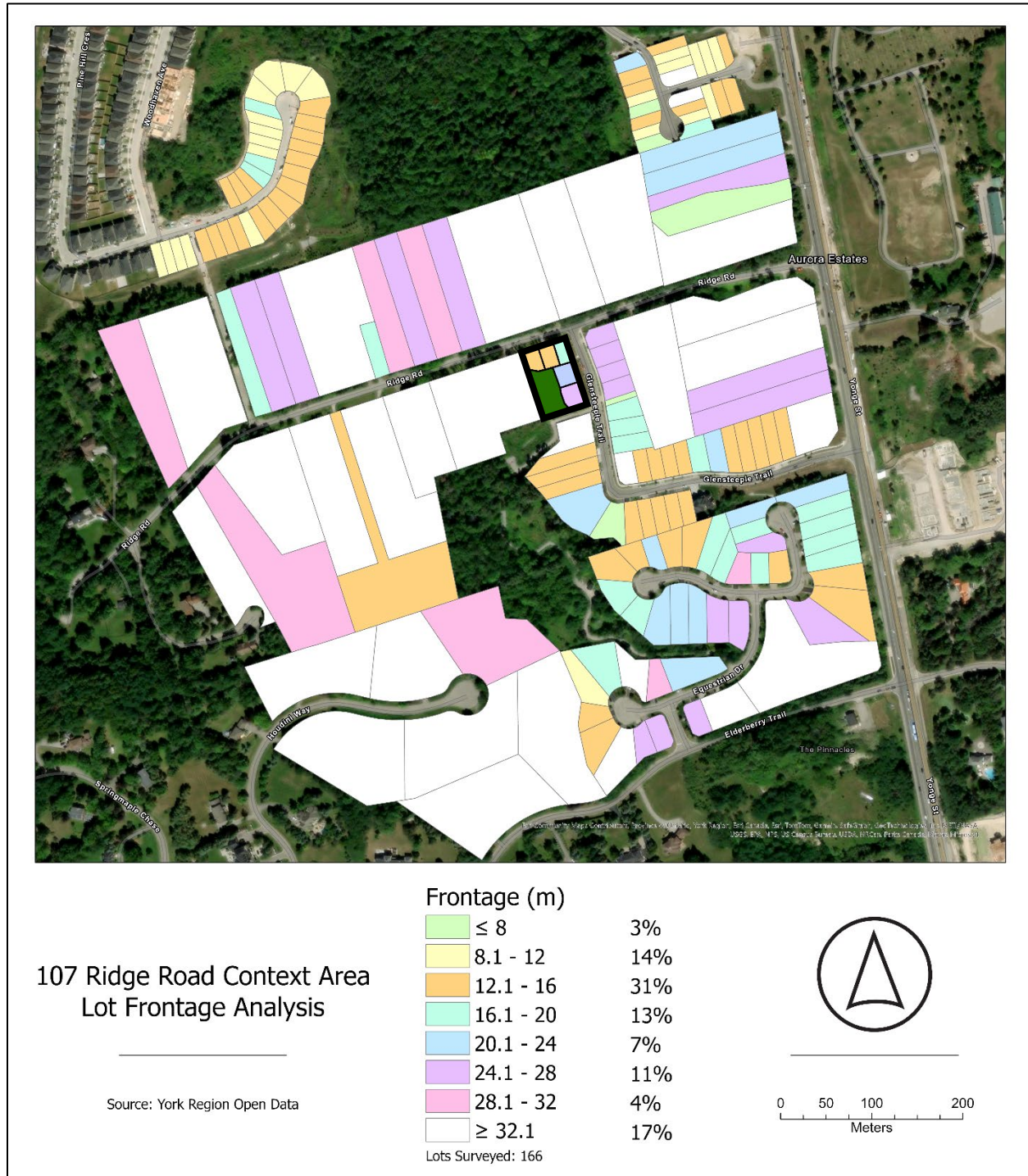


Figure 5: Lot Frontage Analysis
107 Ridge Road, Aurora, ON



4.0 Description of the Proposal

The purpose of this application is to obtain planning permission that will create five (5) new residential lots, each containing a single detached residential dwelling unit. The existing woodlands on the subject property is planned to be retained and rezoned to Environmental Protection, with the expectation that the lands will be conveyed to a public authority to be confirmed at the time of council decision. The proposed dwelling units shall have frontage along Ridge Road and Glensteepie Trail (see Figure 3).

Standard	Existing	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area		456.71m ²	457.65m ²	534.86m ²	563.03m ²	522.05m ²
Lot Frontage		15.89m	15.65m	18.63m	23.70m	24.51m
Setbacks						
Front		5.34m	5.34m	5.34m	5.39m	5.39m
Rear		5.64m	8.98m	8.99m	5.0m	2.33, 1.52m
Int. Side		1.52, 1.54m	1.29, 1.52m	1.29m	1.52m	1.83m
Ext. Side		-	-	4.03m	-	-
Lot Coverage		41.05%	40.97%	34.97%	41.06%	44.28%
Gross Floor Area		378.32m ²	378.32m ²	378.32m ²	381.36m ²	381.36m ²
Units Per Hectare				19.73		
No. Storeys		2	2	2	2	2
Height		12.01m	12.01m	11.61m	11.61m	11.61m
No. Parking Spaces		4	4	4	4	4

Table 1: Proposed Building and Lot Standards

To implement this proposal, an Official Plan Amendment and Zoning By-law Amendment Applications are required to address site specific regulations.

The purpose of the Official Plan Amendment is to change the designation of the subject lands from “Estate Residential” to “Cluster Residential Site-Specific Policy No. ##”, and ‘Environmental Protection Area’.

The associated Zoning By-law Amendment is intending to rezone the subject lands from “Rural – Oak Ridges Moraine (RU-ORM)” to the combination of “Residential Third Density (R3)” and “Environmental Protection (EP)”.

4.1 Context Area Analysis

Figures 4 and 5 of this report examine the areas and frontages of surrounding residential lots within a 450-metre radius of the subject property. A total of 166 lots were surveyed with the following results.

Evaluation of Lot Area

An analysis of lot areas within a 450-metre radius of the subject property demonstrates a clear trend toward moderate-sized residential lots, with 34% being below 600 square metres, and an additional 21% being between 600 and 900 square metres. This category represents the largest proportion of lot sizes in the neighbourhood, highlighting the prevalence of functional and appropriately sized residential properties.

Attention should be drawn toward Glensteep Trail, along which the subject lands have considerable frontage. The majority of these lots have been redeveloped into more compact residential lots more appropriate given the proximity to Yonge Street. Equestrian Drive to the south and Woodhaven Avenue to the north west are also occupied by newer lots of smaller areas, demonstrating a trend towards compact infill development suited to the neighbourhood's central location in Aurora and its proximity to the Yonge Street Regional corridor. It must also be noted that approximately 35% of the subject lands are being rezoned to "Open Space", with the intention to convey to the Town of Aurora.

Evaluation of Lot Frontage

The proposed lot creation shall result in frontages within the following ranges: 12.1 to 16 metres (31% of all surveyed lots), 16.1 to 20 metres (representing 13% of all lots), 20.1 to 24 metres (representing 7% of all lots) and 24.1 to 28 metres (representing 11% of all lots). The existing frontages in the study area are rather diverse, demonstrating the proposed frontages would be consistent with the existing character of the neighbourhood.

While the existing frontages along Ridge Road are in the largest category of lot frontages, those along Glensteep Trail are more diverse, and are a better representation of the development trajectory of the area within close proximity to Yonge Street.

The proposed frontages are justified based on the established presence of smaller lot frontages in the neighbourhood. These frontages reflect a recognized pattern in the area, contributing to diversity and accommodating modern land use needs. This variance balances efficient land use with the preservation of neighbourhood character.

4.2 Summary of Rationale

The development proposal on the subject lands of 107 Ridge Road is appropriate in that it:

- Provides infill development in an area with high regional and inter-regional public transit accessibility;
- Although the proposed rear yard setbacks do not fully comply with the Town's minimum standards, the overall rear yard privacy area provided (from a width and depth perspective) will be sufficient for the homeowner's needs;
- Is located along generally along the Town's prominent Yonge Street corridor – a higher order transit corridor with multiple bus routes and connectivity to surrounding municipalities;
- Integrates appropriately with the surrounding land uses, particularly with the existing recently developed low density residential dwellings along the east side of Glensteep Trail;
- Provides infill development on an underutilized lot;
- It conforms to the policies of the Provincial Planning Statement, and the Region of York Official Plan;
- It meets the intent and purpose of the Town of Aurora Official Plan;
- There are no unacceptable adverse impacts, particularly from a traffic, municipal servicing, and land use compatibility perspectives to the surrounding land uses, given the property's location in proximity to the adjacent Yonge Street corridor;
- It provides for appropriate infill development in an area with transit accessibility and it will provide the Town of Aurora with much needed housing in an appropriate location;
- In terms of the Environmental issues, the completed Natural Heritage Evaluation has determined that potential ecological impacts of development are anticipated to be minimal, but may include tree and vegetation removal, diversion of surface water flows, sedimentation of forest areas, and loss of potential wildlife habitat. These impacts are expected to be avoided or minimized by implementing the mitigation, restoration, and management measures described in the report;
- An Official Plan Amendment application shall be submitted as part of this application to permit the proposed density lot area, and lot coverage;
- A Zoning By-law Amendment application shall be submitted to permit the proposed setbacks, lot coverage, and to rezone the subject lands;
- The portion of the subject lands containing woodlands shall be rezoned to the "Environmental Protection" zone, ensuring that existing natural features are maintained and protected;
- The proposed development is at a transit supportive density to reflect the appropriate level of public transit which the site enjoys given its proximity to

- bus lines and major arterial roads; and,
- Provides sufficient building setbacks from both a buffering and streetscape perspectives.

6.0 Planning Policy Regime

6.1 Ontario Planning Act

The Ontario Planning Act R.S.O. 1990 is provincial legislation that sets out the ground rules for land use planning in Ontario. It describes how land uses may be controlled, and who may control them. The purpose of the Planning Act is to facilitate transparency in planning by making processes open, accessible, timely and efficient and to promote sustainable economic development in a healthy natural environment within a provincial policy framework.

The Planning Act establishes matters of “provincial interest” on land use planning which decision makers are to have regard to when carrying out their responsibilities under the Act. Matters of provincial interest are also integrated into provincial and municipal planning decisions by the Act’s requirement that all decisions be consistent with the Provincial Policy Statement and not conform/not conflict with provincial plans.

Matters of provincial interest are outlined in the Planning Act under Section 2, where the following provisions are applicable to this application:

The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as)

- a: The protection of ecological systems, including natural areas, features and functions}*
- b: The protection of the agricultural resources of the Province}*
- c: The conservation and management of natural resources and the mineral resources base}*
- d: The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest}*
- e: The supply, efficient use and conservation of energy and water}*
- f: The adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems}*
- g: The minimization of waste}*
- h: The orderly development of safe and healthy communities}*
- h(1): The accessibility for persons with disabilities to all facilities, services and matters to which this Act applies}*
- i: The adequate provision and distribution of educational, health, social, cultural and recreational facilities}*

- j: The adequate provision of a full range of housing (including affordable housing)*
- k: The adequate provision of employment opportunities*
- l: The protection of the financial and economic well-being of the Province and its municipalities*
- m: The coordination of planning activities of public bodies*
- n: The resolution of planning conflicts involving public and private interests*
- o: The protection of public health and safety*
- p: The appropriate location of growth and development*
- q: The promotion of development that is designed to be sustainable to support public transit and to be oriented to pedestrians*
- r: The promotion of built form that*
- s: Is well designed*
- t: Encourages a sense of place and*
- u: Provides for public spaces that are of high quality (safe, accessible, attractive and vibrant)*
- v: The mitigation of greenhouse gas emissions and adaptation to a changing climate*

The proposal has regard to the provisions of Section 2 of the Planning Act by:

- The proposal has accounted for existing woodlands by fulfilling dripline setback requirements. There are no existing Key Hydrological Features on the subject property.
- The proposal is not located on lands within any agricultural areas nor containing agricultural resources;
- The proposal is not located on lands that contain natural resources nor is it located on lands that are within the mineral resource base;
- The subject property does not contain features of significant agricultural, cultural, historical, archaeological, or scientific interest;
- The subject property is capable of being fully municipally serviced, as per the Servicing and Stormwater Management Report;
- The subject property is located approximately 300 metres west of Yonge Street, which contains bus rapid transit through the Viva Blue Line which operates from Toronto to Newmarket, and connects to Viva Purple (Highway 7), the TTC, as well as several GO stations.
- The proposal implements modern building techniques and strategies that shall ensure the minimization of waste during the construction phase;
- The proposal contributes toward the creation of complete communities by providing moderate infill development that is consistent with the Official Plan's planning objectives for Neighbourhoods;
- The proposal shall be subject to detailed correspondence with Town Staff and thorough public consultation processes that will ensure to match public interest ideals (further outlined under Section 5 of this report);
- The proposal shall abide by the requirements of the Ontario Building Code, ensuring that public health and safety are protected during and after the construction phase of development; and
- The proposal seeks to facilitate infill development through single-detached lots that respect the character of the existing residential neighbourhood.

SECTION 51(24) of the PLANNING ACT:

Section 51(24) provides criteria for draft plans of subdivision where the following apply:

In-considering-a-draft-plan-of-subdivision)-regard-shall-be-had)-among-other-matters)-to-the-health)-safety)-convenience)-a-ccessibility-for-persons-with-disabilities)-and-welfare-of-the-present-and-future-inhabitants-of-the-municipality)-and-to{

a:- The-effect-of-development-of-the-proposed-subdivision-on-matters-of-provincial-interest-as-referred-to-in-Section-6(

Complies with the definitions of provincial interest as referred to in Section 2 of the Planning Act (see above).

b:- Whether-the-proposed-subdivision-is-premature-or-in-the-public-interest(

The proposed development shall result in optimal land use efficiency on a lot capable of supporting additional residential units. The resulting infill shall capitalize on existing utility and service investments in the area, that is consistent with the existing density and massing of nearby lots, and contribute towards Aurora's housing supply without resulting in overdevelopment.

c:- Whether-the-plan-conforms-to-the-ofvcial-plan-and-adjacent-plans-of-subdivision)-if-any(

Proposes moderate residential infill through the creation of five (5) new single detached lots in an area that is partially municipally serviced – where the subject lands are capable of being fully municipally serviced, as per the Servicing and Stormwater Management Report – and on a lot of sufficient size to accommodate lot creation.

d:- The-suitability-of-the-land-for-the-purposes-for-which-it-is-to-be-subdivided(

Conforms with the Town of Aurora's Official Plan's Neighbourhoods designation, which permits minor infill development, and encourages compact development.

d(6: If-any-affordable-housing-units-are-being-proposed)-the-suitability-of-the-proposed-units-for-affordable-housing(

No affordable housing is proposed, section not applicable.

e:- The-number)-width)-location)-and-proposed-grades-and-elevations-of-highways)-and-the-adequacy-of-them)-and-the-highways-linking-the-highways-in-the-proposed-subdivision-with-the-established-highway-system-in-the-vicinity-and-the-adequacy-of-them(

Does not proposed a new highway.

f:- The-dimensions-and-shapes-of-the-proposed-lots(

Proposes lot dimensions and shapes that are consistent with those existing in the surrounding neighbourhood

g:- The-restrictions-or-proposed-restrictions-if-any-on-the-land-proposed-to-be-subdivided-or-the-buildings-and-structures-proposed-to-be-erected-on-it-and-the-restrictions-if-any-on-adjoining-land(

Does not propose any restrictions on the land proposed to be subdivided or the buildings and structures proposed to be erected

h:- Conservation-of-natural-resources-and-flood-control(

Does not contain natural resources and is not located in a flood zone;

i:- The-adequacy-of-utilities-and-municipal-services(

The subject lands are located within the Town of Aurora and are capable of being fully municipally serviced, as detailed in the Servicing and Stormwater Management Report. The subject property is within 300 metres of an existing York Region Transit Bus Route, which provides connection to both bus and train networks. The proposed infill does not result in development that would create undue stress upon existing utilities.

j:- The-adequacy-of-school-sites(

Is within proximity to several primary, junior high, and high schools.

k:- The-area-of-land-if-any-within-the-proposed-subdivision-that-exclusive-of-highways-is-to-be-conveyed-or-dedicated-for-public-purposes(

No lands are proposed, nor required to be conveyed. The portion of the subject property that contain woodlands are planned to be rezoned to Environmental Protection, with the expectation that the lands may be conveyed to a public authority upon Council approval.

l:- The-extent-to-which-the-plan's-design-optimizes-the-available-supply-means-of-supplying-efficient-use-and-conservation-of-energy(

The proposal shall not result in development that will create undue demand upon energy supply.

m:- The-interrelationship-between-the-design-of-the-proposed-plan-of-subdivision-and-site-plan-control-matters-relating-to-any-development-on-the-land-if-the-land-is-also-located-within-a-site-plan-control-area-designated-under-subsection-51.6-of-this-Act-or-subsection-558.16-of-the-City-of-Toronto-Act)6440(

Site plan control is not required for this application.

The proposed infill development ultimately serves to optimize the residential land use efficiency of the subject property. The parcel's existing area can accommodate the creation of the proposed additional lots/dwellings without resulting in overdevelopment. The proposal is supportive of provincial and municipal policies and does not undermine the municipality's goals related to the protection of neighbourhoods.

6.2 Provincial Planning Statement

The Provincial Policy Statement (PPS), 2024 is a province-wide land use planning policy framework that replaces both the Provincial Policy Statement, 2020 and A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 while building upon housing-supportive policies from both documents.

The PPS establishes the objective of increasing the supply and mix of housing options to address the full range of housing affordability needs, and to support a strong and competitive economy that is investment-ready and recognized for its influence, innovation and diversity. The PPS prioritizes compact, transit-supportive design – where locally appropriate – and the optimization of investments in infrastructure and public service facilities.

Protection of the agricultural sector and other sensitive areas is established, where growth and development are prioritized within urban and rural settlements. Local food production, the agri-food network as well as natural areas, water, aggregates and agricultural lands are slated for protection.

Section 2.9 regulates energy Conservation, Air Quality and Climate Change, where the following policies apply:

1. Planning authorities shall plan to reduce greenhouse gas emissions and prepare for the impacts of a changing climate through approaches that:
 - a) support the achievement of compact, transit-supportive, and complete communities;
 - b) incorporate climate change considerations in planning for and the development of infrastructure, including stormwater management systems and public service facilities;
 - c) support energy conservation and efficiency;
 - d) promote green infrastructure, low impact development, active transportation, protect the environment, and improve air quality; and
 - e) take into consideration any additional approaches that help reduce greenhouse gas emissions and build community resilience to the impacts of a changing climate.

The proposed development seeks facilitate optimal residential efficiency by creating five (5) new residential lots, thereby resulting in more compact development that benefits from walkable access (approximately 300 metres) to Yonge Street which contains existing bus rapid transit networks. These – namely Viva Blue – provide connectivity throughout Aurora and York Region. The proposed dwelling units shall incorporate modern, energy-efficient building techniques. Proximity to surrounding parkland and open space uses further promotes active transportation among future residents.

Chapter 2 of the PPS addresses residential development, where growth forecasts shall be based on Ontario Population Projections published by the Ministry of

Finance. Section 2.1.4 establishes the goal of providing an appropriate range and mix of housing options and densities to accommodate growth.

Chapter 2.2 outlines housing policies, where the provision of an appropriate range and mix of housing options and densities is again emphasized, along with transit-supportive and compact development through the following:

- a) Establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate-income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options, including affordable housing needs;
- b) Permitting and facilitating:
 1. All housing options required to meet the social, health, economic, and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and
 2. All types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;
- c) Promoting densities for new housing which efficiently use land, resources, infrastructure, and public service facilities, and support the use of active transportation; and
- d) Requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.

Chapter 2.3 regulates Settlement Areas, which are designated to be the focus of growth and development. Intensification is further concentrated in Strategic Growth Areas such as major transit station areas. The following policies apply under Section 2.3.1:

1. Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.
2. Land use patterns within settlement areas should be based on densities and a mix of land uses which:
 - a) efficiently use land and resources;
 - b) optimize existing and planned infrastructure and public service facilities;
 - c) support active transportation;
 - d) are transit-supportive, as appropriate; and
 - e) are freight-supportive.

3. Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.
4. Planning authorities shall establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions.
5. Planning authorities are encouraged to establish density targets for designated growth areas, based on local conditions. Large and fast-growing municipalities are encouraged to plan for a target of 50 residents and jobs per gross hectare in designated growth areas.
6. Planning authorities should establish and implement phasing policies, where appropriate, to ensure that development within designated growth areas is orderly and aligns with the timely provision of the infrastructure and public service facilities.

The subject property is located within the Settlement Area and built boundary of the Town of Aurora. The subject property is not located in a Strategic Growth Area, however, the proposed development complies with the provisions of Section 2.3.1 through the optimal usage of land via modest residential infill, optimization of existing public transit routes along the Yonge Street Regional Corridor – which is a Strategic Growth Area that connects the subject property with central Newmarket (and to Viva and GO Transit routes along Yonge). The subject property's proximity to surrounding parkland and open space shall provide residents with active transit opportunities. The proposed development ultimately facilitates general intensification through infill development in an area that is supported by public transit and active transit routes.

The proposed development conforms with the policies of the PPS in that it:

- Contemplates efficient infill development that contributes to an appropriate increase in density that would not cause any environmental or public health and safety issues;
- Provides for development on an existing underutilized residential lot which will efficiently use the land, resources, infrastructure and public service facilities;
- Provides for an appropriate development that is not within a Natural Hazard Area;
- It is in close proximity of existing amenities and public transportation facilities along the Yonge Street Regional Corridor; and,
- Provides for a conversion of an underutilized lot which will benefit the local area and will assist in creating a more complete community.

6.3 Oak Ridges Moraine Conservation Plan

The Oak Ridges Moraine Conservation Plan was approved in 2017, and is set out under the Oak Ridges Moraine Conservation Act, 2001. The Conservation Plan includes a reproduction of the Conservation Act and Introduction and Implementation sections, which provide both an explanation of the Plan and additional information for its users. The purpose of the Plan is to provide land use and resource management planning direction on how to protect the Moraine’s ecological and hydrological features and functions.

The Oak Ridges Moraine is a significant landform that shapes the present and future form and structure of the Greater Toronto region, while its ecological functions are critical to the region’s continuing health – with a concentration of environmental, geological, and hydrological features that make its ecosystem vital to south-central Ontario.

The Plan’s objectives are to protect, maintain, and improve the Moraine’s ecological and hydrological integrity through optimal land usage, maintaining existing open spaces and recreational trails, and through ensuring that only land and resource uses that contribute to the ecological and hydrological functions of the Moraine are permitted.

The subject property falls under the “Settlement Area” land use designation, which is to “*reflect a range of existing communities planned by municipalities to reflect community needs and values (Urban use and development as set out in municipal official plans are allowed)*” Policy guidelines for Settlement Areas are outlined under Section 18 of the Act:

- 18.1: *The purpose of Settlement Areas is to focus and contain urban growth by,*
 - a. *encouraging the development of communities that provide their residents with convenient access to an appropriate mix of employment, transportation options and local services and a full range of housing and public service facilities, and minimizing the encroachment and impact of development on the ecological functions and hydrological features of the Plan Area;*
 - b. *promoting the efficient use of land with transit-supportive densities, through intensification and redevelopment within existing urban areas; and*
 - c. *providing for the continuation and development of urban land uses consistent with the growth management strategies identified in the applicable official plans.*

- 18.2: *Settlement Areas also have the objectives of,*
 - a. *maintaining, and where possible improving or restoring, the health, diversity, size and connectivity of key natural heritage features, key hydrologic features and the related ecological functions;*
 - b. *accommodating a trail system through the Plan Area and trail connections to it;*
 - c. *promoting strong communities, a strong economy and a healthy environment;*

- i. *promoting the locating of two or more compatible public services in one building or place that is conveniently situated so as to be accessible to local residents by walking, cycling and, where available, public transit;*
- ii. *ensuring that development takes place in a manner that reduced greenhouse gas emissions;*
- iii. *conserving cultural heritage resources;*
- iv. *ensuring the sustainable use of water resources; and providing for economic development that is compatible with subsection (1) and clauses (a) to (c.4).*

The Plan further establishes minimum areas of influence and minimum vegetation protection zones for areas abutting, or within a certain distance of key natural heritage features and key hydrologic features. The subject property does not contain any KNHFs or KHF, making the setback requirements under this Plan inapplicable.

Under the Conservation Plan, the subject property is located within a Category 1 Landform Conservation Area. Section 30 for the plan, where the following applies:

- 30.5: *An application for development or site alteration with respect to land in a landform conservation area (Category 1) shall identify planning, design and construction practices that will keep disturbance to landform character to a minimum, including,*
- a. *Maintaining significant landform features such as steep slopes, kames, kettles, ravines and ridges in their natural undisturbed form;*
 - b. *Limiting the portion of the net developable area of the site that has impervious surfaces to not more than 25 percent of the total area of the site; and*
 - c. *Limiting the portion of the net developable area of the site that has impervious surfaces to not more than 15 per cent of the total area of the site.*
- 30.8: *An application for major development with respect to land in a landform conservation area of either category shall be accompanied by a landform conservation plan that shows, on one or more map,*
- a. *elevation contours in sufficient detail to show the basic topographic character of the site, with an interval of not more than two metres*
 - b. *analysis of the site by slope type (for example, moderate or steep);*
 - c. *significant landform features such as kames, kettles, ravines and ridges; and*
 - d. *all water bodies including intermittent streams and ponds.*
- 30.9: *The landform conservation plan shall include a development strategy that identifies appropriate planning, design and construction practices to minimize disruption to landform character, including:*
- a. *retention of significant landform features in an open, undisturbed form;*
 - b. *road alignment and building placement to minimize grading requirements;*
 - c. *concentration of development on portions of the site that are not significant;*
 - d. *use of innovative building design to minimize grading requirements; and*
 - e. *use of selective grading techniques.*
- 30.10: *An application for development or site alteration that does not constitute major development, with respect to land in a landform conservation area of either category, shall be accompanied by a site plan that,*

- a. *identifies the areas within which all building, grading, and related construction will occur;*
- b. *demonstrates that buildings and structures will be located within the areas referred to in clause (a) so as to minimize the amount of site alteration required; and*
- c. *provides for the protection of areas of natural and scientific interest (earth science) in accordance with subsection (12).*

While the above policies of Section 30.8-10 apply, Section 30.13 provides further regulation for development on Settlement Areas within landform conservation areas, where:

30.13: With respect to land in Settlement Areas, in considering applications for development or site alteration within landform conservation areas (Category 1 and 2) the approval authority shall consider the importance of adopting planning, design and construction practices that will keep disturbance to landform character to a minimum, so as to satisfy the requirements of subsections (5) to (11) if possible.”

Section 30.13 suggests that lands within Settlement Areas that are also within a Category 1 or 2 Landform shall be sensitive to the unique requirements associated with said Landforms, but that planning bodies must simultaneously acknowledge the land’s context within an urban area and their potential to accommodate more efficient land use that optimizes existing utilities and services.

The proposed development does not constitute “major development”, where the proposed lots maintain the low-density single detached character of the neighbourhood. The portion of the site containing woodlands shall not be developed.

The proposed development maintains the required setback from the woodlands within the southwest portion of the site.

The subject property does not contain, nor abut, wetlands, permanent or intermittent streams, or other such KNHFs or KHF, as confirmed by the Environmental Impact Study (EIS) and Natural Heritage Evaluation (NHE) that have been included in this submission.

The proposed development will effectively implement the above-noted Oak Ridges Morain Conservation Plan policies in the following manner:

- Provides moderate residential development within a Settlement Area;
- Provides efficient use of land which is supported by local and regional transit networks;
- Is consistent with local and regional growth management strategies; and,
- Does not disrupt natural heritage features or recourses.

Figure 7: Regional Structure
 107 Ridge Road, Aurora, ON

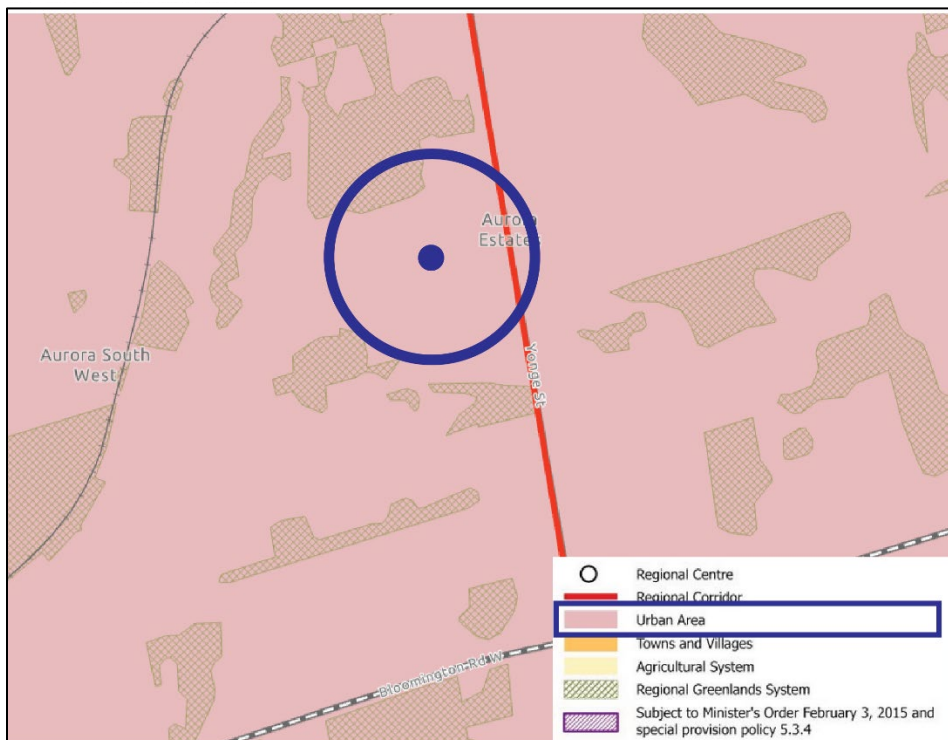
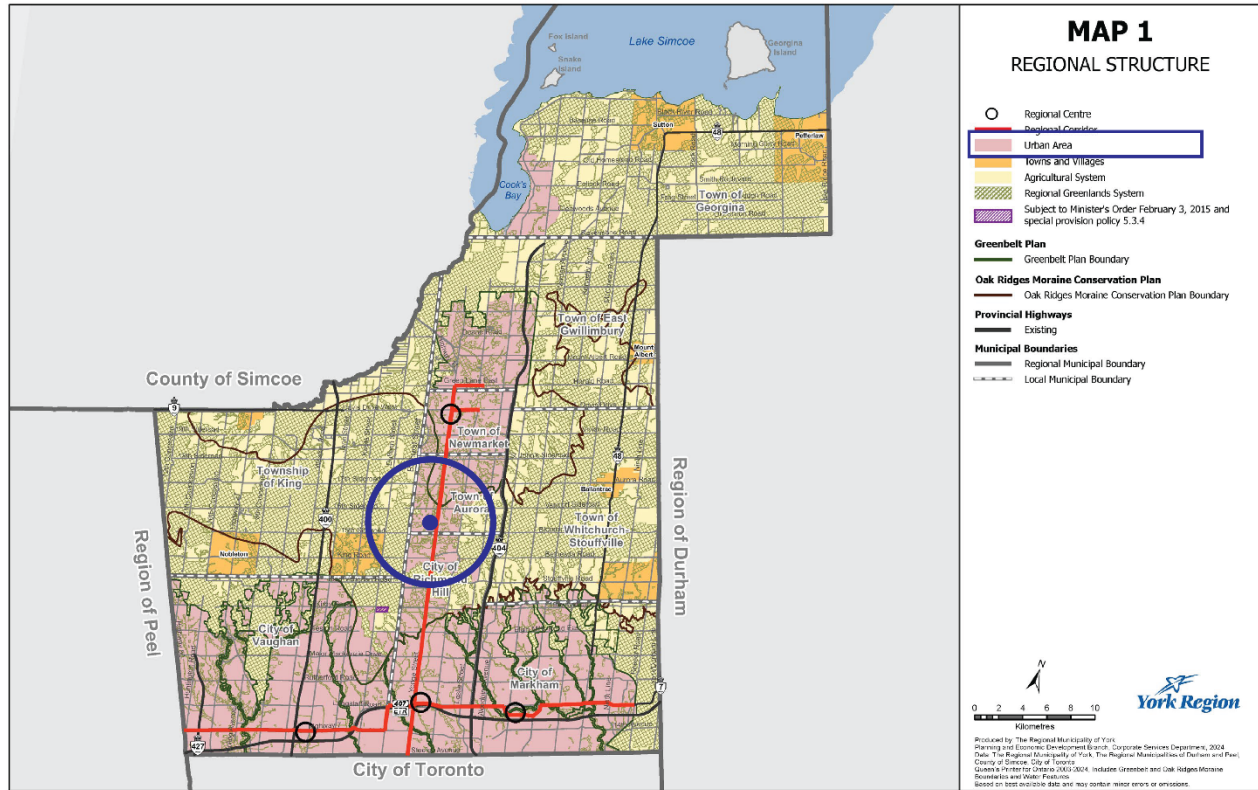
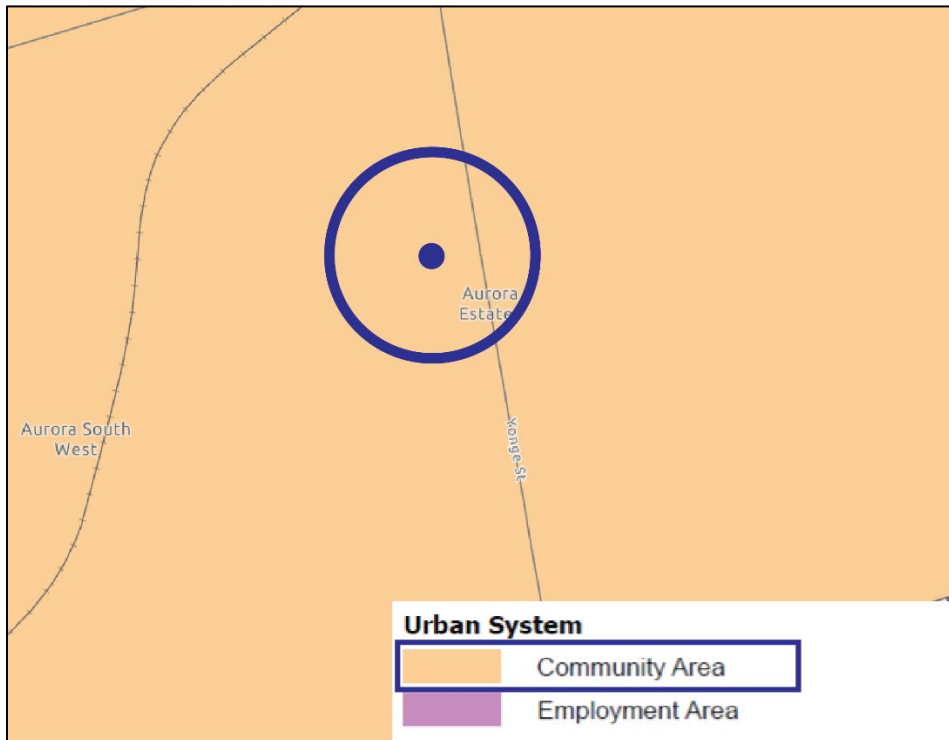
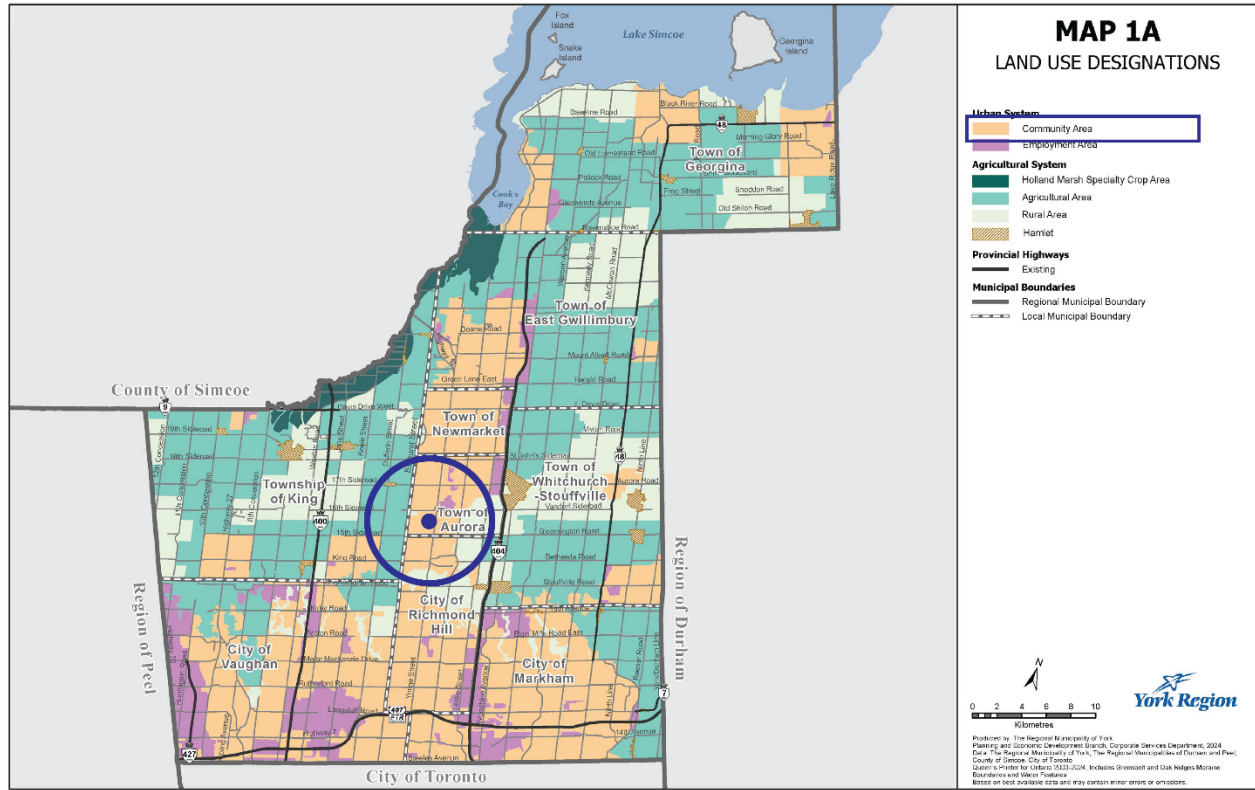


Figure 8: Land Use Designation
107 Ridge Road, Aurora, ON



6.4 York Region Official Plan

The 2022 York Region Official Plan (YROP) was adopted by Regional Council on June 10, 2022, and approved by the Province of Ontario’s Ministry of Municipal Affairs and Housing on November 4, 2022.

On June 6, 2024, Bill 186 was passed making changes to the Planning Act to name July 1, 2024, as the date for removal of the land use planning responsibilities for York Region (among others).

The Town of Aurora is now charged with ensuring compliance with the YROP’s policies.

The subject property is further designated as a “Community Area” in accordance with Map 1A. “Community Areas” are described as areas where the majority of residents, personal services, retail, arts, culture, recreational facilities and human service needs will be located, as well as employment opportunities.

Section 2.2.1 of the YROP establishes York Region’s population and employment forecasts to be used as the basis for planning and development. The YROP promotes the development of complete communities through compact development patters, optimal use of investments, environmental sustainability measures, and the minimization of land consumption and servicing costs.

Section 2.3 addresses the creation of complete communities that are “*designed-as-accessible)-dense-and-walkable)-where-most-amenities-are-in-close-proximity)-and-meet-people’s-needs-for-daily-living-through-their-lifetime*”⁶. The subject property is located in an area well serviced by institutional uses including primary and secondary schools, as well as open space uses among others within a walkable distance. The proposed infill development on the subject property would contribute towards the creation of complete communities through higher land use efficiency that will allow a larger number of residents to have access to existing services and amenities.

Section 2.3 outlines policies relating to complete communities, where the following apply:

Section 2.3.3: That communities shall be designed in a manner that fosters physical and mental health, facilitates inclusivity and accessibility for people of all ages and abilities, and York Region’s diverse population.

Section 2.3.4: To recognize that well-designed communities positively impact human health.

Section 2.3.5: That planning, design and evaluation of existing and new communities shall incorporate:

- a. Public health considerations to promote wellness and quality of life;*
- and*

- b. *The provision of human service facilities reflecting the demographic and socio-economic needs of York Region.*

Section 2.3.6: To support and encourage the delivery of human services in a manner that considers the diverse needs of residents, workers and visitors.

Section 2.3.7: That human services facilities be accessible and co-located, or within community hubs, where appropriate. Facilities shall be in close proximity to where people live and work and have active transportation linkages to public transit.

Section 2.3.8: To provide leadership in human services planning that respond to the changing needs of York Region and to support integrated human services planning initiatives.

Section 2.3.9: To encourage local municipalities to support and enhance urban agriculture and access to healthy and locally grown food and agricultural products.

Section 2.3.10: That communities shall be designed to provide an integrated open space network that contributes to a sense of place and identity, promotes physical activity and social inclusion, to include:

- a. *A variety of active recreational facilities, programmed parks and passive parks for year-round use;*
- b. *Connections by sidewalk and/or trails;*
- c. *Meeting places, informal gathering spaces and central squares that incorporate art, culture and heritage;*
- d. *Opportunities for urban agriculture; and*
- e. *Connections to the Regional Greenlands System, where appropriate.*

Section 2.3.11: That retail, commercial, office, and institutional structures shall be designed in a compact form including multi-storey, mixed use buildings, where appropriate and be pedestrian oriented and transit-supportive.

Section 2.3.12: That local municipalities consult with school boards to plan and design schools as part of complete communities and to facilitate safe school travelling by:

- a. *Centrally locating schools in communities and adjacent to parks, where appropriate;*
- b. *Incorporating pedestrian friendly site design;*
- c. *Incorporating active transportation and transit linkages; and*
- d. *Incorporating vertical schools or urban schools into the base of multi-storey buildings in strategic growth areas.*

Section 2.3.13: That communities shall be designed to the highest urban design and green development standards, and support walkable neighbourhoods, which:

- a. *Provide pedestrian scale, safety, security, comfort, accessibility and connectivity to promote physical activity, wellness and reduce auto dependency;*
- b. *Complement the character of the existing community's unique sense of place to foster social connections and inclusion;*
- c. *Promote sustainable and attractive buildings that minimize energy use and reduce greenhouse gas emissions;*

- d. *Promote landscaping including increasing tree canopy for shaded areas and community greening to promote environmental sustainability;*
- e. *Provide public spaces and attractive streetscapes that encourage active transportation, and improve safety;*
- f. *Ensure appropriate transition to surrounding land uses to support land use compatibility;*
- g. *Use strategic building placement and orientation to emphasize walkability, accessibility and pedestrian visibility;*
- h. *Apply best practices and guidelines to implement transit-supportive development; and*
- i. *Create well-defined, centrally located public spaces that support physical activity and social interactions.*

Section 2.3.14: That public buildings and facilities are designed to be accessible and located in proximity to active transportation and transit systems, where appropriate

Section 2.3.15: That local municipalities shall review opportunities to enhance areas in existing communities, where appropriate, by:

- a. *Incorporating and enhancing active transportation connections within and to adjacent communities, amenities and transit;*
- b. *Retrofitting streets to address safety needs, and become complete streets by incorporating active transportation infrastructure;*
- c. *Incorporating broadband infrastructure as required;*
- d. *Incorporating public gathering spaces;*
- e. *Revitalizing and restoring existing buildings, including heritage buildings and conserving existing cultural heritage landscapes;*
- f. *Reviewing existing destinations such as community facilities, retail and personal services to determine if additional services are required;*
- g. *Naturalizing and greening of vacant or underutilized public spaces for public use; and*
- h. *Enhancing connections between Community Areas and Employment Areas.*

Section 2.3.16: That communities be designed to prioritize active transportation through interconnected and accessible mobility systems. These systems shall prioritize movement of people through development of appropriate pedestrian and cycling facilities and access to transit.

The proposed development conforms with the provisions of Section 2.3 by facilitating residential infill in an area supported by transit, open space, and institutional uses including schools. The proposed lots and dwelling units shall maintain attractive front yard landscaping that is present along Drynoch Avenue and Snivley Street. The proposed dwelling and lot creation shall, furthermore, result in more efficient residential land usage and more compact development.

The subject property is within 120 metres of a Greenlands System land use designation, regulated under Section 3.2 of the YROP. The subject property does not

abut lands within the Greenlands System designation under YROP Map 1. However, it does contain Woodlands, which are a Key Natural Heritage Features (KNHFs) as per the ORMCP land use designation map and the Ontario Ministry of the Environment's Natural Heritage map. The subject property does not contain Key Hydrogeological Features (KHF). As the subject property is not within the Greenlands System, the provisions of Section 3.2 of the YROP do not apply, with the exception of the following subsection:

Section 3.2.4: That development and site alteration applications within 120 meters of the Regional Greenlands System shall be accompanied by an environmental impact study. The requirement for, content, and scope of the environmental impact study will be determined through the pre-consultation meeting. The environmental impact study shall also address any requirements of the local municipality and all applicable Provincial plans.

Section 4.2 of the YROP discusses community areas, stating that they are to “*achieve a balance of residential and employment opportunities to provide opportunities for living, working and daily activities in close proximity to one another*” – enhancing the quality of life for residents and visitors to York Region. Emphasis is placed on creating transit-supported development that encourages active transportation, and which incorporates elements that promote a sense of place within the community.

Section 4.4 of the YROP addresses intensification, which is defined in this Plan as “*the development of a property, site or area at a higher density than currently exists through the development of vacant and/or underutilized lots within previously developed areas*” Section 4.1 of the YROP addresses growth within the Urban System to contribute towards accommodating York Region's growth forecasts. Under Section 4.1.3, it is established that the built-up area, outside of strategic growth areas shall accommodate small scale intensification and infill based on the local context. The following policies apply to the proposal:

Section 4.4.1: That intensification be directed in accordance with the regional hierarchy outlined in policy 4.4.2 to utilize land efficiently and sustainably that is commensurate with available hard and soft services and existing infrastructure, while having regard for the local context.

Section 4.4.2: That a minimum of 50% of all residential development between 2021 to 2041, and 55% from 2041 to 2051 occur annually within the built-up area identified on Map 1B.

Section 4.4.3: That strategic growth areas be the primary locations for concentrations of high density and mixed-use development in York Region.

Section 4.4.4: To prioritize intensification in strategic growth areas and establish a scale of development that reflects the regional intensification hierarchy as set out in policy 4.1.3 of the Plan as implemented through local official plans.

Section 4.4.5: That local municipal official plans, secondary plans, or other comprehensive plans, and development contemplated within strategic growth areas shall plan for growth consistent with:

- a. *The Regional intensification hierarchy outlined in policy 4.1.3;*
- b. *Existing and/or planned transit identified on Map 10 of the Plan,*
- c. *Water, water-wastewater and road infrastructure capacities;*
- d. *The provision of/access to local parks, schools, and other social, cultural, and commercial services.*

Section 4.4.6: That within the planned strategic growth areas, the minimum density targets may be achieved beyond the planning horizon of the Plan.

Section 4.4.7: That the majority of residential intensification shall be directed to locations which provide access to human, educational and social services, retail, employment, arts, culture, parks, recreational facilities and transit within a 15-minute walk and in a manner that is consistent with the policies in Section 2.3 the Plan.

Section 4.4.8: That intensification shall include a variety of medium and high-density dwelling unit types and sizes to provide housing choice. Larger family type units shall be encouraged to accommodate York Region's forecast.

Section 4.4.9: To direct a significant amount of mixed-uses, including street-related commercial, to strategic growth areas.

Section 4.4.10: That local municipalities shall complete and adopt intensification strategies based on the policies of the Plan. The local municipal intensification strategies, developed in cooperation with York Region, shall:

- a. *Plan to meet or exceed intensification targets identified in Table 6 (52,400 residential units, intensification rate of 55%);*
- b. *Identify the role and planned function of each strategic growth area in conformity with the regional intensification hierarchy in policy 4.1.3;*
- c. *Identify the planned residents and jobs target for each strategic growth area;*
- d. *Identify the role for other locations in Community Areas in accommodating additional residential units through gentle density along other major streets and in local infill;*
- e. *Plan for a range and mix of housing that is commensurate with the planned density and local context, considering affordable housing needs; and,*
- f. *identify implementation policies and strategies to prioritize, phase in and achieve local municipal intensification targets in local official plans*

Section 4.4.11: That local municipalities shall develop local municipal intensification hierarchies and identify minimum density and height targets for strategic growth areas in a manner that is consistent with the regional intensification hierarchy.

Section 4.4.12: That strategic growth area density targets apply to the entirety of the area within the boundary delineation, not individual parcels.

Section 4.4.13: That development within strategic growth areas shall be prioritized along existing rapid transit corridors on Map 10 and in locations with existing water and wastewater capacity.

Section 4.4.14: That rapid transit corridors identified in Map 10 be planned to support higher density development and improve access to multi-modal transit facilities over the long-term.

Section 4.4.15: That local municipalities shall, in consultation with York Region, identify locations along Regional arterial roads and other major streets where the missing middle can be accommodated.

Section 4.4.16: To work with local municipalities to encourage integration of gentle density and a mix and range of housing options within the built boundary, where locally appropriate, through redevelopment of existing neighbourhoods.

Section 4.4.17: That development within strategic growth areas be of an urban form and design that is compact, accessible, mixed-use, oriented to the street, pedestrian- and cyclist-friendly, and transit supportive.

Section 4.4.18: That a wide range of residential, commercial and institutional uses, including retail uses, offices, mixed-use and human services be provided in strategic growth areas.

Section 4.4.19 That strategic growth areas be planned and designed to achieve an appropriate transition of built form to adjacent areas.

Section 4.4.20: To recognize strategic growth areas as:

- a. The preferred location for major office uses; and*
- b. Hubs of commerce, business, and entertainment activities*

Section 4.4.21 That secondary plans or equivalent comprehensive planning studies within strategic growth areas specify that a minimum of 35% of new housing units within Regional Centres and major transit station areas (MTSAs) be affordable, offering a range of compact housing forms and tenures, and intrinsically affordable units for low- and moderate-income households.

Section 4.4.22: That local municipalities shall prepare an implementation strategy to address the requirement that a minimum 35% of new housing units in Regional Centres and MTSAs be affordable.

The proposed development seeks to facilitate residential infill within 300 metres of a strategic growth area. Section 4.4.16 reinforces the regional objective of “*redeveloping-existing-neighbourhoods*” where locally appropriate. The proposal may be classified as locally appropriate gentle infill – where the creation of one (1) new residential lot is proposed on a larger lot capable of accommodating an additional dwelling unit. The development would have the effect of improving the neighbourhood’s residential land use efficiency while maintaining its low-rise, low-density character.

The proposed development will effectively implement the above-noted regional policies in the following manner:

- By supporting a mix and range of unit and lot sizes.
- By providing a modest increase in residential density which will support local economic activities and public transit in the area.
- By providing moderate infill within 300 metres of the Regional Transit Corridor of Yonge Street, providing the subject property with walkable access to rapid

public transit routes that provide accessibility throughout Aurora and York Region, as well as to surrounding municipalities such as the City of Toronto.

- *By assisting with the achievement of a minimum of 94% of all residential development between 2015 to 2025*
- By providing development that is compatible with surrounding land uses and built form.
- By facilitating the redevelopment of an underutilized parcel of land for optimal use.

Figure 9: Official Plan Map 1
107 Ridge Road, Aurora, ON

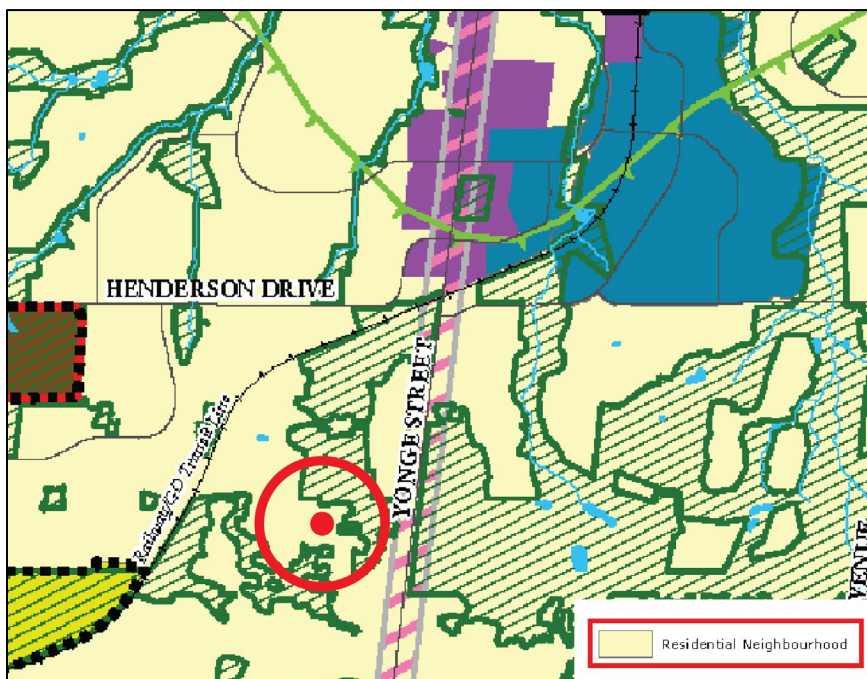
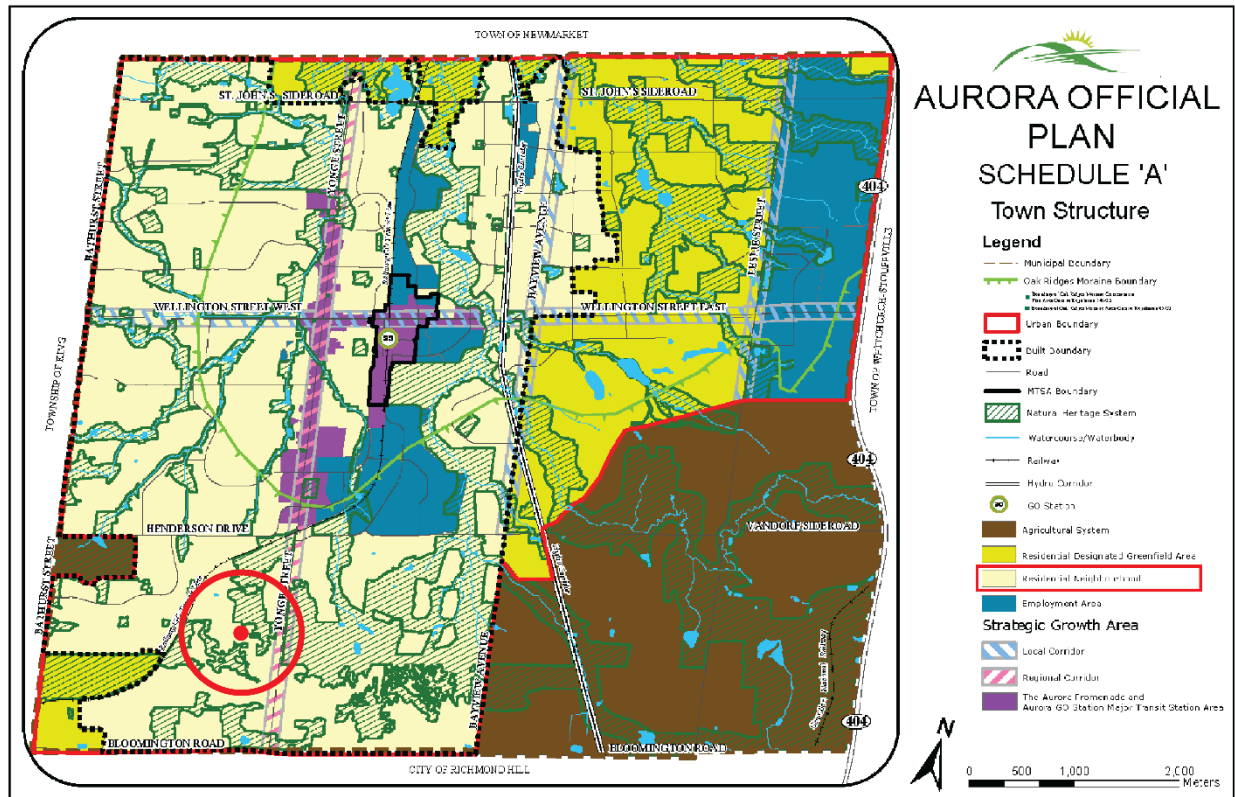


Figure 10: Official Plan Map 2
107 Ridge Road, Aurora, ON

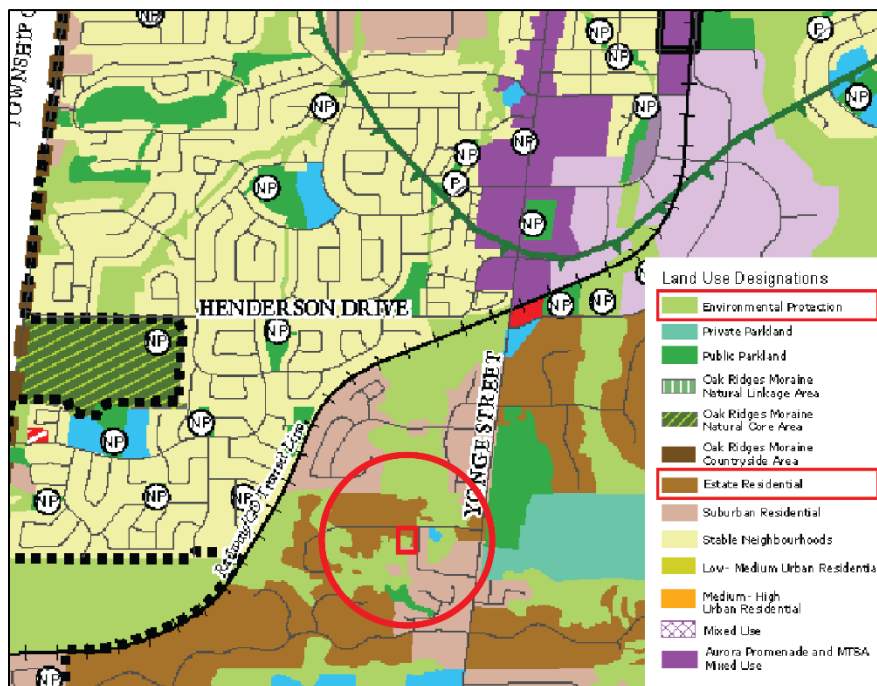
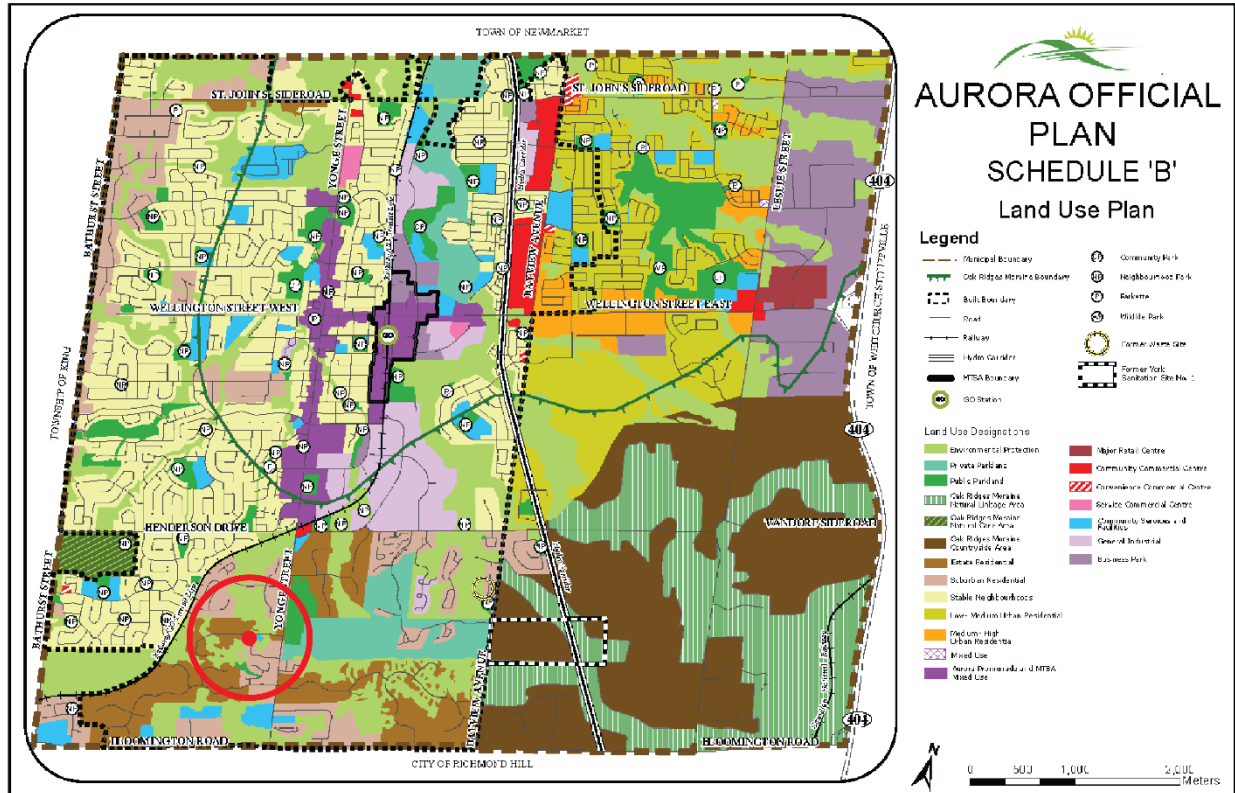


Figure 11: Official Plan Map 3
107 Ridge Road, Aurora, ON

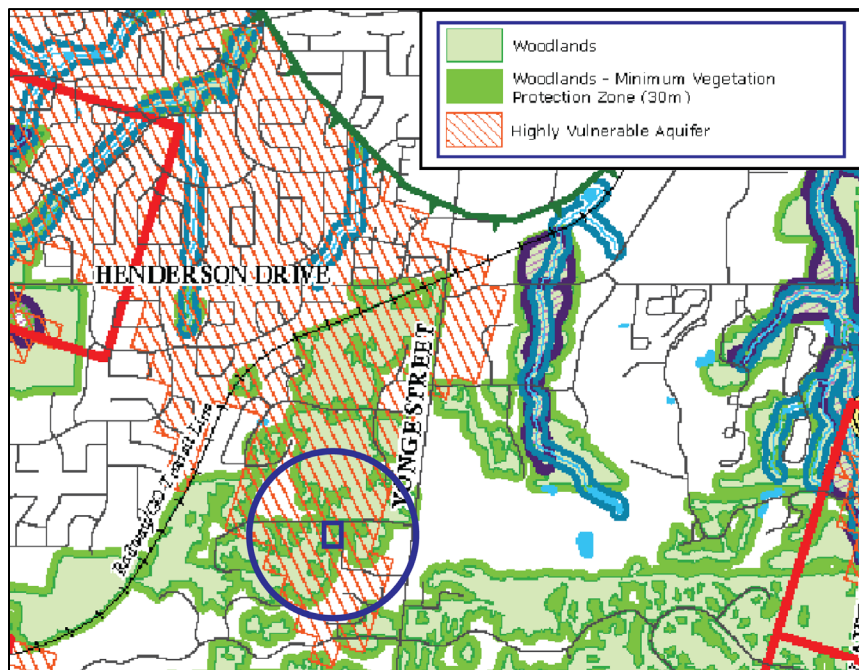
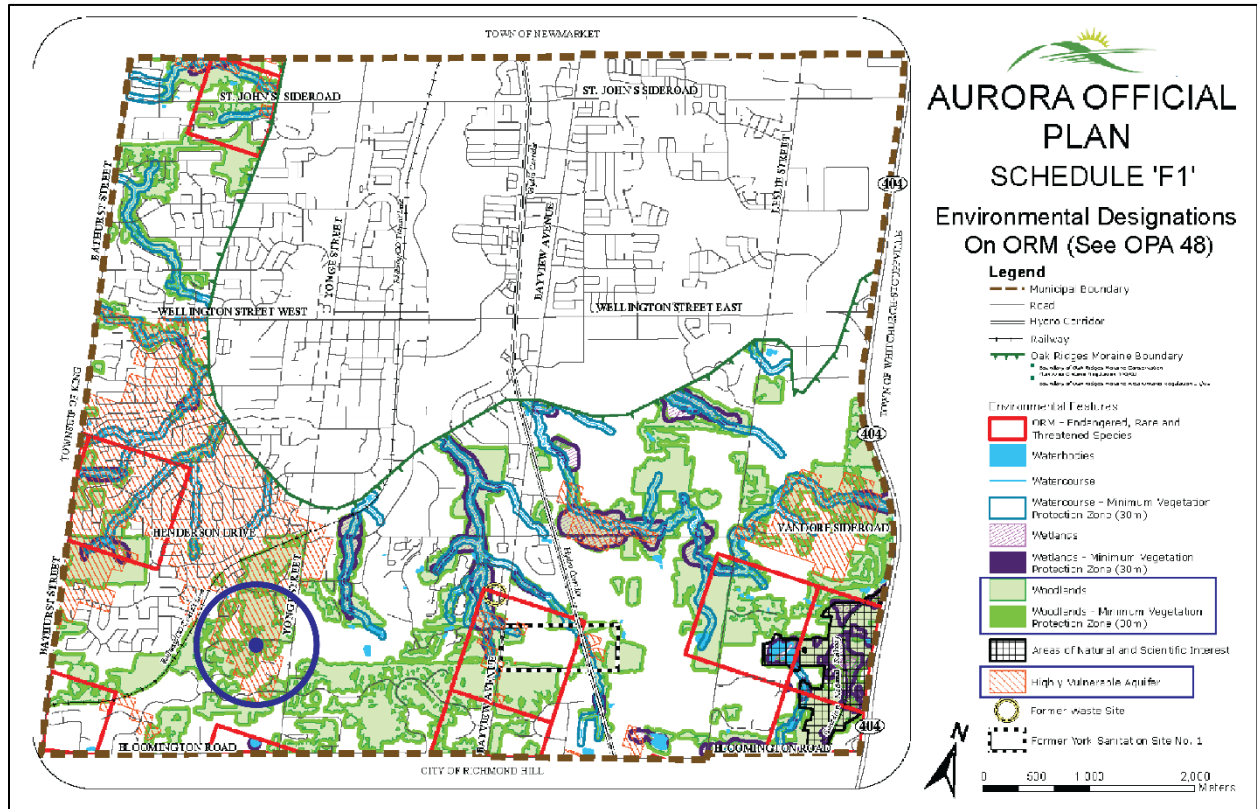
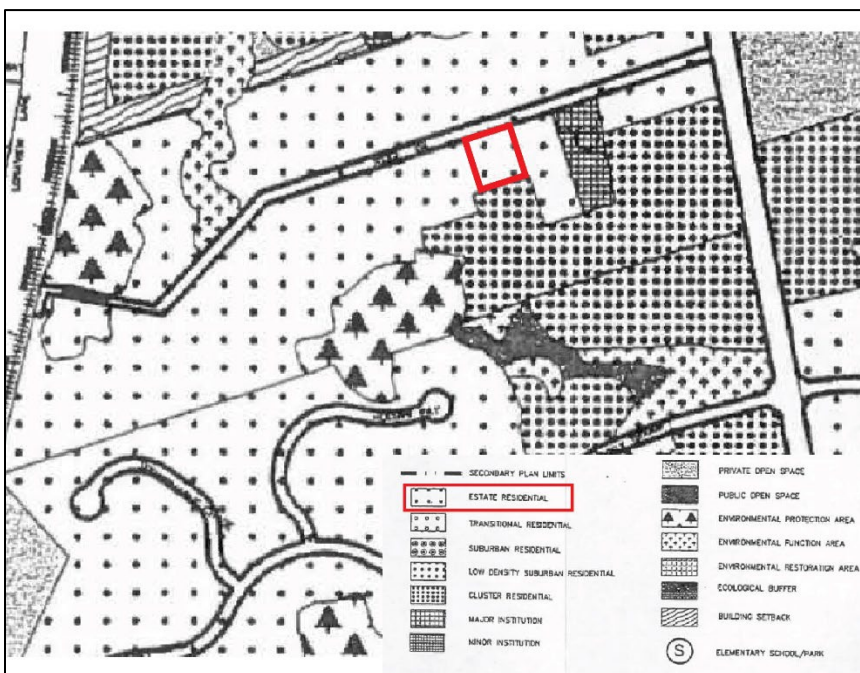
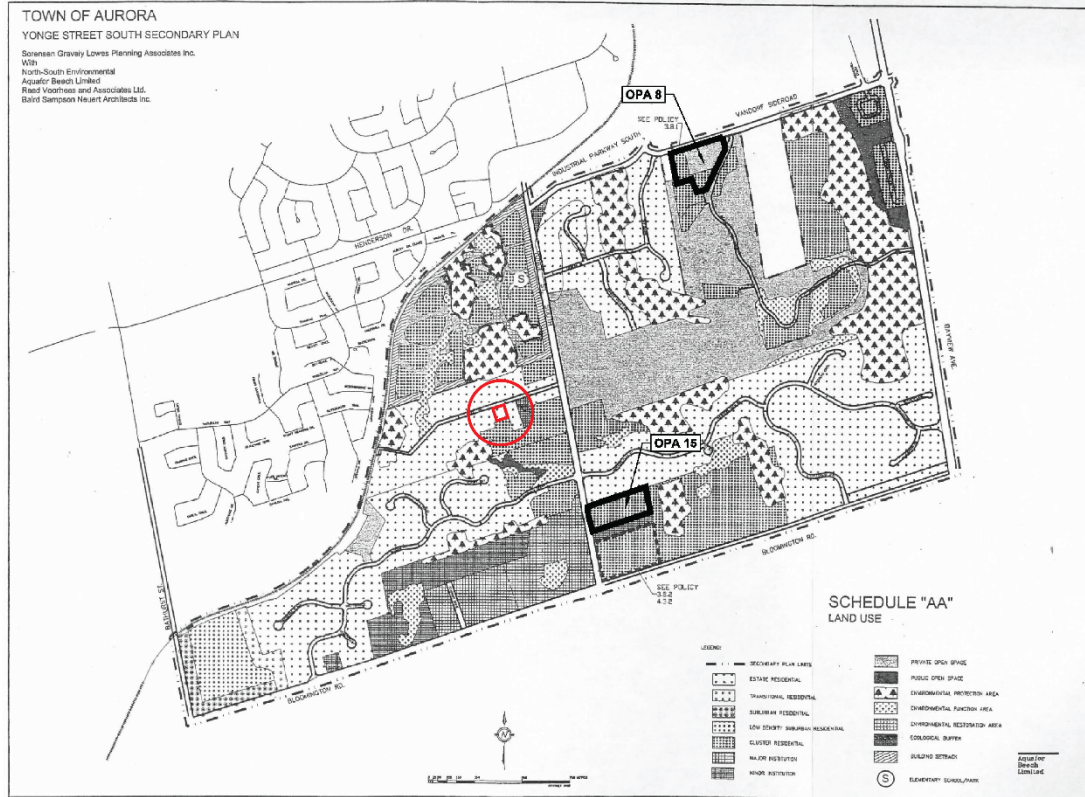


Figure 12: OPA 34 Schedule AA
107 Ridge Road, Aurora, ON



6.5 Town of Aurora Official Plan

The Town of Aurora's Updated Official Plan was adopted by Council in January 2024, following the Region of York's approval in May 2024. The Updated Official Plan establishes a long-term vision seeking to create a healthy, accessible and age-friendly complete community that provides a range of places and opportunities to live, work, shop, be educated and play, in a manner that promotes sustainability in all its forms and protection of the natural environment.

An Official Plan Amendment application is being submitted to waive the block plan requirement under Official Plan Amendment 34, and to add site specific policies to permit the proposed building and lot standards.

Section 2.1 outlines the fundamental principles of:

- *Promoting responsible growth management;*
- *Ensuring design excellence;*
- *Building a greener community;*
- *Providing a range and mix of housing;*
- *Protecting stable neighbourhoods;*
- *Developing vibrant new neighbourhoods;*
- *Providing meaningful community services and facilities;*
- *Advancing the economy;*
- *Protecting the Greenlands System;*
- *Protecting the Agricultural System;*
- *Establishing a diverse parklands and recreation area system;*
- *Conserving cultural heritage resources;*
- *Connecting the transportation network; and*
- *Providing sustainable infrastructure.*

The subject property is located 300 metres west of the Yonge Street Regional Corridor, as described under Section 3.1.2. The subject property's proximity to Yonge Street provides walkable access to public transit through the Viva Blue bus rapid transit line – connecting the site to the wider region.

Section 3.2 describes Aurora's Residential Neighbourhoods, which are intended to *remain low-density-in-nature) while generally accommodating gentle intensification-in-the-form-of-additional-dwelling-units) while maintaining-and-enhancing-the-existing-character-of-the-neighbourhood* (The proposed development is located within Aurora's Residential Neighbourhoods, and seeks to facilitate moderate infill development at a scale that is compatible with surrounding low-density residential lots.

Section 7 outlines policies regulating housing, where an *appropriate-range-and-mix-of-housing-types-and-densities* are sought. Section 7.1 establishes objectives of diversity of housing types, the protection and enhancement of existing residential

areas, and innovation in new residential development to address social, economic, design, environmental and growth management policies of the Official Plan.

Section 7.4 further outlines general built form, residential use, and density policies, where the following apply:

- a) *The policies within this section of the Plan are intended to apply to all land use designations in the Town where each of the referenced forms of housing and uses are permitted.*
- b) *An array of housing and building types is encouraged throughout Aurora. It is the intent of this Plan that built form be the key determining factor for the types of development permitted in each land use designation.*
- c) *Density can also be used in defining the amount of development permitted on a lot. However, density as a planning tool used in isolation will not ensure that any specific built form will be produced. As such, density will be considered a product of the relationship between built form, height, and lot coverage.*

The subject property is located within the “Estate Residential” and “Environmental Protection” land use designations under Schedule ‘B’ of the Official Plan. Estate Residential areas are regulated under Section 7.5.3, where the following policies apply:

7.5.3.1 Intent

- a) *The intent of the Estate Residential designation is to recognize the existing residential pockets within Aurora with very low densities when compared to other residential neighbourhoods. The Town shall not establish any new areas under this designation; however, it is the intent of the Town to ensure that the character and density of Estate Residential neighbourhoods are maintained.*
- b) *The Estate Residential designation policies within this section apply to all lands designated as such on Schedule ‘B’ of this Plan. Additional policies and sub-designations within applicable Secondary Plans may also apply. Where conflict exists between the policies of this Plan and any applicable Secondary Plan, the policies of the Secondary Plan shall prevail.*

7.5.3.2 Permitted Uses

- a) *Permitted uses in Estate Residential areas shall be limited to single detached dwellings, additional dwelling units, and compatible home occupations.*

The development proposal seeks the construction of five (5) new single detached dwellings, which are consistent with the permitted uses of the designation.

7.5.3.3 Development Policies

- a) *Estate Residential density requires:*
 - i. *A minimum lot area of 0.8 net residential hectares (or 2 acres) per unit; or,*
 - ii. *Clusters of at least 10 units may be permitted, provided a minimum of 40% of the overall lot area is designated as common or public open space;*
 - iii. *The ultimate density of development proposed on subsurface sewage disposal systems shall be determined through a hydrogeological study;*

- iv. *A minimum of 75% of the lot area shall be preserved in an open, landscaped, or natural condition.*
- b) *Estate Residential development will be encouraged in clusters of at least 10 units, which allow for:*
 - i. *More efficient utilization of road, water, and waste disposal systems;*
 - ii. *Potential municipal maintenance or ownership of such systems;*
 - iii. *More substantial and meaningful open spaces; and,*
 - iv. *Reduced environmental impact or maintenance of environmentally important features.*

A total of five (5) new single detached residential dwelling units are proposed, which is the maximum number of units possible accounting for required setbacks to environmental features (woodlands). The proposed lots and dwelling units still provide more efficient utilization of road, water, and waste disposal systems through moderate infill development. Of the subject land's total lot area, 1,367.36 square metres are proposed to be within the "Environmental Protection" zone – representing 35% of the total site area. No development is planned on this portion of the subject lands, and the existing woodlands are to be retained. The proposed building coverages account for 1,024.88 square metres of lot coverage – or approximately 26% of the subject lands' existing total area. The planned landscaped areas on the residential lots combined with the area of the Environmental Protection lot results in approximately 70% of the lands being preserved in an open, landscaped, or natural condition.

- c) *Private water and sewer services on individual lots shall only be permitted where evidence is provided to the satisfaction of the relevant authority that such development will not have any adverse effect on the environment.*

The subject property is capable of being fully municipally serviced, as per the Servicing and Stormwater Management Report.

- d) *All Estate Residential development shall conform to the policies of Section 12 of this Plan, the Oak Ridges Moraine Conservation Act, and the Oak Ridges Moraine Conservation Plan, where applicable.*

Section 12 is addressed below. The ORMCP is addressed in Section 6.3 of this report.

- e) *Proposed Estate Residential development shall only occur on lands already designated as Estate Residential within this Plan; shall require a registered Plan of Subdivision under Section 51 of the Planning Act; and shall conform to associated policies in this Plan. In considering such applications for development, Council shall require the submission of:*
 - i. *Mapping at a minimum scale of 1:1000 showing existing grades, vegetation cover, watercourses, soil characteristics, and groundwater levels;*
 - ii. *Indication of measures mitigating any negative environmental impacts, including the methods of tree preservation, sediment and erosion control, slope stabilization, and a stormwater management plan which addresses water quality and quantity affected;*

- iii. *An engineering report indicating the locations of sewage disposal or septic tank, tile fields, storm drainage, wells, water quality, and quantity facilities, and methods of ensuring their proper functioning;*
- iv. *Exact locations of buildings and driveways;*
- v. *Detailed landscape analysis of the site and adjacent property, including a topographic survey at minimum 1.0 metre intervals, undertaken by a professionally qualified person;*
- vi. *Detailed proposed alterations to grades and vegetation cover; and,*
- vii. *A heritage resource assessment of the site.*

A Plan of Subdivision application is planned following the approval of the proposed OPA and ZBLA.

- f) *Council shall consult the Ministry of Natural Resources and Forestry, Ministry of the Environment, Conservation and Parks, the appropriate Conservation Authorities, and York Region when evaluating development proposals.*
- g) *Notwithstanding any policies of this Plan to the contrary, this Plan does not envision and will not permit further estate residential development on individual private water and wastewater systems within the Town, but shall continue to recognize all existing and approved designations.*

7.5.3.4 Design Policies

- a) *Estate Residential development shall display high standards of urban design as outlined in Section 5 of this Plan.*
- b) *Access to individual lots shall be from internal roads and not from existing or unopened concession roads, regional roads, or provincial highways, unless topography renders this impossible.*
- c) *Internal roads:*
 - i. *Shall be designed to discourage through traffic;*
 - ii. *Shall be paved and built to municipal standards;*
 - iii. *May require shoulders, drainage ditches, and storm sewers to prevent difficulties with access or drainage during inclement weather or problems with soil erosion; and,*
 - iv. *Shall provide adequate access to an assumed and maintained town or regional road, or provincial highway, to ensure access for school buses, ambulances, fire, or other essential service vehicles.*

The design and massing of the proposed built form has been informed by Section 5 of the Official Plan. No internal roads are proposed.

The subject property is partially located within the “Environmental Protection” land use designation regulated under Section 12 – Protecting the Greenlands System. The objectives of Section 12 include the promotion of an interconnected Regional Greenlands System through the linkage and integration of Environmental Protection Areas, to protect, enhance and restore natural areas and related functions, and to make local efforts to help increase the Region’s overall woodland cover.

Section 12.3 outlines policies that regulate the Environmental Protection Designation where the following apply:

12.3.2 Permitted Uses

- a) *The permitted uses on lands designated Environmental Protection shall be:*
- i. *Forest, fish, and wildlife management;*
 - ii. *Stewardship, conservation, restoration, and remediation undertakings;*
 - iii. *Flood or erosion control projects, but only if the projects have been demonstrated to be necessary and in the public interest after all other alternatives have been considered;*
 - iv. *Infrastructure and roads, but only if the need for the project has been demonstrated through an Environmental Assessment or similar environmental approval or planning approval and there is no reasonable alternative;*
 - v. *Low-intensity, passive recreational uses that require very little terrain or vegetation modification and few, if any, buildings or structures, including but not limited to:*
 - *Non-motorized trail use;*
 - *Natural heritage education and appreciation; and,*
 - *Passive park use on public and institutional land.*
 - vi. *Stormwater pond outlets, retrofits of existing stormwater management works, and low-impact development works. Stormwater management works may be permitted in the buffers to natural heritage features at the discretion of the Town;*
 - vii. *An existing dwelling and accessory uses, buildings, and structures thereto; and,*
 - viii. *Existing non-conforming uses, buildings, and structures.*

No development is proposed in the portion of the lands that is within the Environmental Protection Designation. 5.0 – 12.76 metre separation distances from the proposed residential rear lot lines to the tree canopy dripline are proposed.

12.3.3 Policies

- a) *Key natural heritage features and key hydrologic features, including their associated minimum buffer areas, are designated as Environmental Protection on Schedule 'F'. The boundaries and extent of the Environmental Protection Area designation shown on Schedule 'F' are approximate. Minor adjustments or refinements to these boundaries may occur through an Environmental Impact Study or Natural Heritage Evaluation that demonstrates the appropriateness of the adjustment to the satisfaction of Council, in consultation with relevant agencies. Such minor adjustments or refinements will not require an amendment to this Plan.*
- b) *In determining if a change in a boundary of a key natural heritage feature or key hydrologic feature is minor, the determination shall be based on an assessment that the change will not have a net adverse effect on the key natural heritage feature or key hydrologic feature and its functions.*
- c) *Where Council, in consultation with other relevant agencies, considers a change to the Environmental Protection boundary not to be minor, such an adjustment or refinement shall require an amendment to this Plan. Such an amendment shall be supported by an Environmental Impact Study or Natural Heritage Evaluation that*

- demonstrates the appropriateness of the change to the satisfaction of Council, in consultation with relevant agencies.*
- d) Where the boundary to the Environmental Protection designation is adjusted in accordance with Policy 12.5.2 a) or b), the abutting land use designation or designations shall apply.*
 - e) Development or site alteration is not permitted within the Environmental Protection designation, except in relation to the permitted uses and policies specified in this section. Notwithstanding the policies above, development or site alteration shall not be permitted within wetlands, fish habitat, or habitat of endangered species, threatened species, and species of special concern, except in accordance with provincial and federal requirements.*

No boundary change is proposed.

- f) Development and/or site alteration shall not be permitted on lands adjacent (120 metres) to natural heritage features unless:
 - i. The ecological function of the adjacent lands has been evaluated through an Environmental Impact Study and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions;*
 - ii. Authorized through an Environmental Assessment; or,*
 - iii. For agricultural, agriculture-related, and on-farm diversified uses.**

Development and site alteration are proposed on lands containing natural heritage features. The ecological function of the adjacent lands has been evaluated through a NHE and confirmed that no negative impacts shall occur as a result of the proposed development.

- g) An Environmental Impact Statement is not required for the development of agricultural, agriculture-related, or on-farm diversified uses that fall outside of minimum vegetation protection zones.*
- h) The removal or destruction of a key natural heritage feature or key hydrologic feature by unauthorized development or site alteration is prohibited. Restoration to the previous condition or better, to the satisfaction of Council, will be required for these lands.*

No removal or destruction of any key natural heritage features or key hydrologic features is proposed.

- i) One new single detached dwelling and accessory uses may be permitted on an existing vacant lot of record, subject to planning approvals and an Environmental Impact Study that demonstrates no adverse effects on key natural heritage features or key hydrologic features.*
- j) Low-intensity, passive recreational uses may be permitted subject to planning approvals and an Environmental Impact Statement demonstrating no adverse effects on key features.*
- k) Infrastructure and road design shall include content-sensitive design and innovative technologies to minimize impacts and enhance the Greenlands System.*

- l) *Lands designated Environmental Protection in private ownership are not required to be free and available for public use unless easements or arrangements are in place.*
- m) *Appropriate minimum vegetation protection zones shall be established per the Oak Ridges Moraine Conservation Plan and the Region of York Official Plan.*
- n) *In the Lake Simcoe Watershed, no new mineral aggregate operations, wayside pits, quarries, or accessory uses are permitted in key natural heritage or hydrologic features.*
- o) *Environmental Protection boundaries shall be staked in the field and surveyed during the preparation of a Block Plan.*
- p) *The more restrictive policy shall apply when conflicts arise between policies in this section, the Oak Ridges Moraine Conservation Plan, or the Official Plan.*
- q) *Council shall make efforts to bring Environmental Protection designated areas into public ownership where possible, while private ownership does not imply public access unless otherwise agreed.*

An Official Plan Amendment application is proposed to place the subject property within a Site-Specific Policy Area that shall permit the proposed density, which shall be further evaluated under Section 6.5.1 of this report.

6.5.1 OPA 34 Yonge Street South Secondary Plan

The subject property is located within the boundaries of the Yonge Street South Secondary Plan, which controls existing development and permissions for new development based on an “*Environment-First*”-approach to ensure that future development shall only be supported based on demonstration that the natural environmental features and functions are protected, enhanced, restored and sustained over the long term.

Section 23.1.1.2 outlines that the area is intended to continue to develop as a low-density, primarily residential precinct, “*designed-to-co-exist-in-a-harmonious-manner-with-the-natural-environment.*” New development is further intended to be characterized by “*ground-oriented-housing-located-in-clusters-of-smaller-lots-within-a-setting-of-significant-open-space-or-on-larger-individual-lots*” The proposed development seeks to create five (5) new single detached residential lots, replacing the existing larger estate lot and dwelling on site. As per Figure 3 of this report, a considerable portion of the subject lands shall be rezoned to “Environmental Protection”. This portion of the subject property contains woodlands that are planned to be preserved and protected – consistent with the goal of co-existence with the natural environment under Section 23.1.1.2. The proposal also seeks to convert the existing larger lot into smaller individual lots, also consistent with the provisions of this Section of OPA 34. Similar objectives are listed under Sections 23.1.2.3, 23.2.1.4, and 23.1.2.6, 23.1.2.11 where the natural landscape of the area and its ecological functions are maintained, while new single detached residential lots are created. The proposed development is further consistent with Section 23.1.2.12, where single detached dwellings are compatible with new development in the area.

Section 23.2 outlines policies regulating Residential Land Uses. The subject lands are located within the “Estate Residential” land use designation under Schedule AA of OPA 34. The following policies apply under Section 23.2.1:

- 23.2.1: *The intent of these policies is to encourage the development of the residentially designated lands for the purposes set out herein. In addition, the policies are to be used as a guide for Council when considering the appropriateness of development proposals.*
- 23.2.1.1: *These policies are designed to create a development framework that will reinforce the distinctive identity and character within the Yonge Street South Secondary Plan Area. The policies are intended to provide a range of development patterns that are mutually compatible with the low density of existing development and the environmentally sensitive features and functions of the area.*
- 23.2.1.2: *Within existing Estate Residential designations, additional development of a limited number of new lots created by infill shall be permitted to continue on private services. No new areas designated Estate Residential will be approved.*
- 23.2.1.3: *Matters such as building size, lot coverage, height, setbacks, minimum areas of open space, and parking for each designation are to be set out in one or more implementing zoning by-laws, which may be further refined to reflect individual site characteristics and the proposed development pattern for site-specific locations.*

Section 23.2.1 acknowledges that the Estate Residential designation is planned to receive some infill development. The proposed infill is capable of being fully municipally serviced, with massing that is compatible with surrounding single detached housing.

Section 23.2.2.1 outlines policies regulating density, where the following apply:

23.2.2.1 Density Policies

- a) *Density transfers for the purpose of clustering residential development in a manner which assists in the preservation or conservation of landscape features such as treed areas, slopes, or other desirable features, may be permitted within and between residential development sites without amendment to this Plan provided that:*
- i. *Land from which density is transferred is deeded to the municipality or subject to a conservation easement, restrictive covenant or other form of legal agreement which ensures that it will remain in an undeveloped and natural form, in perpetuity, continuing its environmental function within the community; and*
 - ii. *the resultant building form, location and density of clustered housing is in accordance with the policies, provisions and general intent of this Plan.*
- b) *The gross residential density averaged over the constrained and unconstrained lands subject to a development application shall be no more than 5 units per hectare (2 units/acre).*

The proposed OPA shall apply Site Specific Policies to permit a density of 19.73 UPH for the subject lands.

23.2.2.2 Compatibility, Buffering and Transitional Density Policies

- a) *Generally more dense development shall be directed towards Yonge Street and lower densities shall form a transition to Estate Residential interfaces.*
- b) *New units abutting properties on Ridge Road shall be in the form of detached dwelling units.*

The proposed development shall facilitate moderate infill within 300 metres of Yonge Street. Glensteep Trail south of the subject lands has seen the development of new single and semi-detached dwellings. The approval and construction of these dwellings indicates that the associated densities have been considered to be an appropriate transition from Yonge Street to the larger Estate Residential lands to the west.

23.2.2.3 Estate Residential Infrastructure

- a) *Development in Estate Residential designations is expected to continue on the basis of private septic disposal systems and individual wells. It is not intended that such areas will be retrofitted with municipal water or sewer services.*
- b) *In the future, should municipal water and/or sewer service become desirable or necessary, the Town may consider installation of water and/or sewer services in existing Estate Residential areas to be paid for by local improvement levy after undertaking the following procedures:*
 - i. *Consultation with affected property owners;*
 - ii. *Completion of a study which provides full consideration of the impact on servicing allocation within the Town and fiscal impact of servicing in this area; and,*
 - iii. *Consideration of the planning implications that municipal servicing may have for redevelopment and intensification within the respective area under consideration, as well as for any abutting areas which may remain on private services.*

23.2.2.4 Block Plan Requirements

Prior to approval of an application to permit new development (including a rezoning, consent application, plan of subdivision, plan of condominium, or a site plan) within any Transitional, Suburban, Cluster, or Low Density Suburban Residential designation, a Block Plan for the respective area as identified on Schedule 'CC' must be approved by the Town in accordance with Section 23.10.1.

23.2.2.5 Supporting Studies

Prior to approval of a development application within any Residential designation, the proponent shall submit appropriate Supporting Studies in accordance with Section 23.10.2.

Section 23.2.3 outlines the policies regulating the Estate Residential land use designation, where the following apply:

23.2.3.1

Within the area fronting Ridge Road, a very limited amount of additional development may be permitted through the division of an existing oversized lot to create one or more new lot(s) subject to the following provisions:

- a) *The minimum area of any new lot as well as the remaining lot shall not be less than 0.6 hectares (1.5 acres);*
- b) *The minimum frontage of any new lot or any remaining lot shall not be less than 30 metres (100 feet) fronting onto a municipal road;*
- c) *A high standard of urban design is achieved;*
- d) *A supporting hydrogeological study is submitted which demonstrates to the satisfaction of the Town and appropriate agencies that each lot meets the established requirements to support a subsurface sewage disposal system;*
- e) *Supporting documentation is submitted to the satisfaction of the Town and appropriate agency, as necessary, which demonstrates that each lot is able to be supplied with a potable source of water; and*
- f) *Any other study described in this Plan which is deemed necessary by the Town or other authority having jurisdiction, in order to evaluate an environmental feature or function of significance on the site.*

23.2.3.2

Any proposed development of the approximately 4.4 ha. property at the end of Ridge Road shall also address, to the satisfaction of the Town, the following matters:

- a) *The creation of a cul-de-sac built to municipal standards;*
- b) *Relocation of the communication tower and related infrastructure from the site; and,*
- c) *Resolution of the extent of the municipal right-of-way at the end of Ridge Road.*

An Official Plan Amendment is proposed to redesignate the subject lands to “Cluster Residential” (regulated under Section 23.2.5) with site specific exemptions, and partially to “Environmental Protection Area” land use designation under OPA 34. The basis of the proposed OPA is the trend of infill development that has taken place along Glensteeple Trail – including significant semi-detached and single detached lots to the south of the subject lands, which are also within the Cluster Residential designation.

The proposed lots and dwelling units still provide more efficient utilization of road, water, and waste disposal systems through moderate infill development. Of the subject land’s total lot area, 1,367.36 square metres are proposed to be within the “Environmental Protection” zone – representing 35% of the total site area. No development is planned on this portion of the subject lands, and the existing woodlands are to be retained and protected. The proposed building coverages account for 1,024.88 square metres of lot coverage – or approximately 26% of the subject lands’ existing total area. The planned landscaped areas on the residential lots combined with the area of the Environmental Protection lot results in approximately 70% of the lands being preserved in an open, landscaped, or natural condition.

The subject property is located within a Landform Conservation Area 1, as per the ORMCP. As such, Section 23.6.3 applies:

23.6.3.1

The Oak Ridges Moraine feature is a significant and sensitive landform. However, it is also recognized that at a local scale, it is feasible to undertake low-intensity development that results in minimal impact to the topography and still preserves the essential topographic character of the Moraine, which forms part of the distinctive character of this Secondary Plan area.

Refer to NHE.

23.6.3.2

Where development is proposed within or around landform features that are characteristic and representative of the Moraine (including rolling or hummocky terrain, steep slopes, flat segments, seasonally wet areas, significant landscapes, views, and vistas), a Landform Conservation Plan, as described in Section 23.10.2.1.2, shall be prepared during the preparation of a Block Plan. Where landform features are considered to be highly representative of the Moraine and contribute to the distinctive character of this Secondary Plan area, they shall be preserved. Features of lesser significance also contribute to the distinct character of the precinct and shall be retained to the greatest degree possible.

Refer to NHE.

23.6.3.3

The preservation of significant representative landform features shall be achieved, wherever possible, through incorporating them within Environmental Function Area or Open Space designations. Where development is proposed, grading may be controlled, and clustering of lots or other innovative development configurations shall be used to maximize the retention of landform features. Permitted development will generally be directed to less significant areas or shall be required to proceed in a manner that is compatible with the natural landform feature.

Existing landform features shall be preserved on the portion of the subject lands that is to be redesignated as “Environmental Protection Area” under OPA 34, and rezoned to “Environmental Protection”. This portion of the lands contains woods and significant tree coverage. [Need grading, landscape, NHE / EIS]

23.6.3.4

In order to preserve significant and representative landforms, the Town shall permit and may encourage the transfer of residential density to other development areas within the Secondary Plan area and shall secure the preservation of the landform through the establishment of a conservation easement or other legal agreement.

Refer to NHE.

23.6.3.5

Proponents of a plan of subdivision or plan of condominium may also be required to demonstrate means of protecting the landform in accordance with the provisions of Section 18.1 b) ii.

23.6.3.6

In order to preserve landforms, some flexibility may be exercised in implementing the Town’s and the Region’s road grades and cross-section standards, where practical.

23.6.3.7

Areas of significant Vistas are intended to be preserved and protected from development that would encroach on the area or impede the view. Wherever possible, such areas shall be secured in public ownership and made accessible through public trail linkages.

23.6.3.8

A number of prominent Vistas have been identified on Schedule 'DD'. Additional Vistas may be identified during the preparation of Block Plans.

23.6.3.9

Where areas that are seasonally wet have been identified during the preparation of Block Plans, to the greatest extent possible, development shall be directed away from these areas so that they may continue their natural drainage or recharge function. Seasonally wet areas may:

- *Form a yard area that is well set back from buildings or other more intensive uses of the site,*
- *Form part of a common open space area within areas of clustered development, or*
- *Be used as a stormwater management feature.*

Refer to NHE – not applicable.

Section 23.6.5 regulates vegetation preservation, which applies due to the existing woodlands on the subject lands.

23.6.5.1

In addition to the Environmental Protection Areas, Environmental Function Areas, and Ecological Restoration Areas, other wooded areas are present within the Secondary Plan area, including non-native plantations, hedgerows, and early succession communities. These wooded areas, as well as individual trees, can be of environmental benefit and require recognition and consideration in the detailed planning for the development of land uses designated by Schedule AA. Although such areas do not require development to be precluded, it is the intent of the Town to retain vegetated areas of good quality wherever feasible.

Refer to NHE.

23.6.5.2

Where development is proposed within an Environmental Function Area, Ecological Restoration Area, or other wooded areas, it is intended that development be designed and carried out in a manner that maintains the wooded areas as a protected amenity within the development area. Construction activities, lot patterns, road locations, and building footprints will be controlled as necessary to maintain the ecological function of the feature and as much of the wooded area as possible.

23.6.5.3

When assessing a development application, the Town may request that other wooded areas be identified through a Vegetation Preservation Study, described in Section 23.10.2.1.3, which shall assess the location and quality of trees and vegetation and assist

in organizing land uses and development patterns to retain good quality trees wherever possible.

23.6.5.4

The Town shall encourage that, wherever possible and environmentally feasible, other wooded areas are contained within open space linkages and are used to link Environmental Protection Areas, Environmental Function Areas, Ecological Restoration Areas, and other areas of open space.

23.6.5.5

In considering applications for development, the Town may request an applicant to enter into an agreement providing that only such trees as directly impede the approved construction of buildings and services may be destroyed, and the applicant may be required to replace them in a reasonable amount by trees of sufficient maturity to enhance the appearance of the development at completion. Alternatively, such an agreement may attach a specific Vegetation Preservation Plan and require development in compliance with that plan.

The existing woodland on the subject lands is proposed to be retained and rezoned to an “Environmental Protection Area” land use designation under OPA 34, and “Environmental Protection” zone, ensuring that existing environmental features are maintained and protected. A total of 1,367.36 square metres shall be rezoned, with the option of potential future conveyance to the TRCA/Town of Aurora.

Section 23.7.1 outlines policies regulating community identity. The Yonge Street South area is characterized by its rolling topography and natural landscape quality of the Oak Ridges Moraine. Development is intended to be low intensity, and to retain topographical features, wooded areas, and large preserves of open space.

23.7.1.1

The Yonge Street South community is a distinctive preserve within the Town of Aurora and is intended to retain its low-intensity, landscaped character in order to provide visual relief from more intense forms of urban development and to preserve and enhance the environmental amenity that is provided to the Town and wider region.

23.7.1.2

The significant environmental features, natural areas, and topography of the Oak Ridges Moraine shall be preserved and enhanced as a fundamental component of the identity of the Yonge Street South area.

23.7.1.3

Areas currently developed with large estate residential lots on private services are intended to be retained and to continue to accommodate low-intensity residential use in harmony with the natural environment. New development shall reflect the established heights, massing, and landscape quality found in the area and shall be integrated in a sensitive manner within the natural environment and alongside the established residential fabric.

23.7.1.4

The area has developed with scattered clusters of development set within environmental and open space preserves. This pattern is intended to continue, with

local roads providing a linkage to the arterial road system but not intended to provide a continuous route through the community.

23.7.1.5

To preserve the quiet character of existing low-intensity development, connections shall be discouraged between existing local roads providing direct access to estate lots and new public or private roads or driveways providing access to development that involves a significant number of residential units, a more intense use, or a different land use that will introduce increased levels of traffic. Where a connection cannot be avoided, it may be limited to a minor, secondary, or emergency access for new development rather than the principal means of access.

23.7.1.6

Connection within the area shall be provided through natural open space areas, linear parks, trails, and pedestrian linkages.

23.7.1.7

The existing and planned low density and intensity of development is not expected or intended to generate a demand for such additional services within the area as commercial facilities, major institutions, social services, or local transit internal to the area.

23.7.1.8

Council does not consider industrial, commercial, or intensive institutional facilities to be compatible with the low-density, environmentally prominent identity of this portion of the Town due to the visual and functional impact that is characteristic of such land uses, including required grading, extensive parking and building coverage, and related traffic generation.

23.7.1.9

Yonge Street is a major gateway to the Town and a central focus for the Yonge Street South community. The height, massing, and setback of buildings along Yonge Street, landscaping, streetscape treatment, and entrance locations shall be in keeping with the intended character of the area and shall be further described in the Urban Design Guidelines contained in Section 23.7.4 of this Secondary Plan.

The proposed development is consistent with the trend of redevelopment that has occurred along Glensteeple Trail to the south and east – proposing moderate infill through single detached dwellings, while retaining existing natural features. The proposed lots would have frontages along Glensteeple, and Ridge Road. The remainder of the northern lot line abutting Ridge Road is planned to remain as a natural area.

Town of Aurora Official Plan and OPA 34 Conformity

The proposed development conforms with the policies of the Town of Aurora OP and OPA 34 in that it:

- Proposes a permitted use within the Estate Residential land use designation, and which is consistent with surrounding built form and the low-rise, low-density character of the neighbourhood;
- Proposes moderate infill that is context sensitive to surrounding environmental features, existing residential density, and which is within 300 metres of Yonge Street;
- Provides more compact development within walking distance of existing public transit routes;
- The proposal's building design and massing will respect, protect and enhance the existing character of surrounding land uses thus integrating appropriately into the surrounding community;
- The proposal will assist the Town in achieving its residential intensification target while not disrupting the areas' natural environment. It will further assist with the on-going revitalization of this segment of the Town;
- Retains and protects existing natural features (woodlands); and,
- Proposes an OPA to bring the development in conformity with the Official Plan and OPA 34 by changing the subject lands' designation and adding a site-specific policy exception for density, lot area, and lot coverage.

6.6 Town of Aurora Zoning By-law 6000-17

The subject property is zoned as “Rural – Oak Ridges Moraine (RU-ORM)” under By-law 6000-17. Sections 12, 14, and 19 apply to the subject property.

Section 7 establishes policies that regulate Residential areas within the Town of Aurora. The permitted uses and required performance standards under Section 12 are as follows:

- *Agricultural uses;*
- *Dwelling, Detached;*
- *Dwelling, Second Suite;*
- *Greenhouses;*
- *Home Occupations;*
- *Place of Worship.*

The performance standards established under Section 12 of By-law 6000-17 include those established under Section 14 for lands zoned RU-ORM, where the standards described under Sections 14 and 19 prevail over those of Section 14, as per Section 12.3.

	RU	R3	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Lot Area (min.)	10.0 ha	460.0m ²	456.71m ²	457.65m ²	534.86m ²	563.03m ²	522.05m ²
Frontage (min.)	180.0m	15.0m	15.89m	15.65m	18.63m	23.70m	24.51m
Setbacks (min.)							
Front Yard	15.0m	6.0m	5.34m	5.34m	5.34m	5.39m	5.39m
Rear Yard	22.0m	7.5m	5.64m	8.98m	8.99m	5.0m	1.83m
Int. Side Yard	9.0m	1.5m	1.52, 1.54m	1.29, 1.52m	1.29m	1.52m	2.33, 1.52m
Ext. Side Yard	15.0m	6.0m	-	-	4.03m	-	-
Height (max.)	10.0m	10.0m	12.01m	12.01m	11.61m	11.61m	11.61m
Storeys							
Lot Coverage (max.)	20%	35%	41.05%	40.97%	34.97%	41.06%	44.28%

Table 2: By-law 6000-17 RU and R3 Zoning Standards

The proposed Zoning By-law Amendment shall rezone the subject property to “Residential Third Density (R3)” with site-specific exceptions for lot area, front, rear, interior side, and exterior side yard setbacks, building height, and lot coverage.

The proposed Zoning By-law Amendment shall also rezone a portion of the subject property under the “Environmental Protection (EP)” zone. This portion of the subject lands contains woodlands and are part of Aurora’s greenlands. No built form is proposed on this portion of the lands and the rezoning to Environmental Protection shall ensure that the natural environment is protected.

The proposed development maintains and is generally consistent with the intent of the proposed “R3” Zone classification for the subject property. The proposed Zoning By-law Amendment is minor and will not set a precedence for new development that is out of scale within the surrounding area as the area to the west of Yonge Street is characterized by the combination of existing and proposed low density residential development.

Overall, the proposed development for the subject property will create a land use scenario that will not adversely impact the environment, surrounding land uses or public health and will make use of the existing public space uses within this quadrant of the municipality. In conjunction with the Zoning By-law Amendment application, the proposed development respects the character of the surrounding community and is consistent with the regulations of the Town of Aurora Zoning By-law 6000-17.

7.0 Conclusion

Based on the above analysis, the proposed Official Plan Amendment, and Zoning By-law Amendment applications are deemed appropriate for the subject property and the surrounding neighbourhood context. The proposed development provides for an appropriate land use in the Town of Aurora with walkable access to public transit. The proposed development enhances the existing community and respects the policy initiatives of the Planning Act of Ontario, Provincial Planning Statement, the Oak Ridges Moraine Conservation Plan, the York Region Official Plan, the Town of Aurora Official Plan, the Town of Aurora Official Plan Amendment Number 34, and the Town of Aurora Zoning By-law 6000-17.

The proposed development applications have been prepared in the context of the existing municipal and provincial planning policy framework, are based on good land use planning principles and should proceed through the planning process under the Planning Act.

Appendix A: Technical Studies

Environmental Noise and Vibration Assessment, YCA Engineering Ltd., February 2025

Construction Management Plan, SitePlanTech Inc., March 6, 2025

Servicing & Stormwater Management Report, SitePlanTech Inc., March 6, 2025

Geotechnical Investigation Report, GEMS Inc., March 24, 2025

Hydrogeological Report, GEMS Inc., April 10, 2025

Urban Design Report, Battaglia Architecture Inc., March 17, 2025

Natural Heritage Evaluation, Dillon Consulting Ltd., March 31, 2025

Arborist Report, Dillon Consulting Ltd., March 31, 2025

A.1 Environmental Noise and Vibration Assessment

YCA Engineering Ltd. was retained to prepare an Environmental Noise and Vibration Assessment for the subject lands to present the assessment of the proposed development and to recommend any noise abatement features necessary to achieve sound levels acceptable to the Town of Aurora, the Region of York and the Ministry of Environment, Conservation and Parks. The Assessment was completed in February 2025.

The transportation noise source that has the potential to affect the living environment within the proposed development area is Yonge Street. The updated ultimate traffic volumes on these noise sources are used as input to the Stamson 5.04 model to generate the resultant sound levels. A copy of the correspondence regarding the updated traffic data is included in Appendix 1 of the report.

The stationary noise source that has the potential to affect the proposed residential development is the existing water tank facility to the east.

Please note that there are no vibration sources of concern near the proposed development.

Recommended noise abatement measures are described in Sections 5.1, 5.2, 5.3, and 5.4 and summarized in Table 5 of the report and on the attached Figure 2 of said report. These measures include:

1. **Ventilation Requirements:** No additional ventilation requirements are needed for any residential units within the proposed development.
2. **Building Envelope:** Standard windows and exterior wall constructions meeting the Ontario Building Code (OBC) requirements are sufficient to meet indoor sound levels.
3. **Warning Clauses:** All applicable warning clauses shall be listed in the Town of Aurora Development Agreement and inserted in the Agreements of Purchase and Sale or Lease and registered on title.

A.2 Construction Management Plan

SitePlanTech Inc. was retained to prepare a Construction Management Plan for the subject lands to develop a plan to minimize hazards, traffic and environmental impacts resulting from the construction and to establish a communication mechanism with the community. The plan was completed on March 6, 2025. The following is a summary of the Plan:

Construction Safety, Security & Access

- Full-time construction manager overseeing safety
- Security guards present after hours during key stages
- Signage at entry points; visitors must check in and wear PPE
- Only authorized personnel allowed on site
- Workers must complete safety orientation and carry certification
- Contractors must submit required safety documents
- Joint Health and Safety Committee (JHSC) will hold regular meetings
- Site secured with fencing, locked gates, and proper lighting

Fire & Emergency Access

- Emergency vehicles access site via Ridge Road
- Gates remain open during work hours
- Hydrants and watermains operational throughout construction

Construction Hours

- Weekdays: 7:00 AM – 9:00 PM
- Saturdays: 9:00 AM – 8:00 PM
- No work on Sundays/statutory holidays
- Equipment start-up not before 7:00 AM
- After-hours work requires approval

Community Contact

- Dedicated community liaison for public concerns
- Emergency contacts available 24/7
- After-hours emergency info posted on-site

Dust, Mud & Emissions Control

- Regular wetting of surfaces to reduce dust

- Roads cleaned daily, trucks cleaned before leaving site
- Emission control includes water spray, street sweeping, and covered truck loads

Traffic & Pedestrian Management

- Traffic management plan in place
- No pedestrian access across site frontage
- Trade parking designated on Glensteeple Trail
- Deliveries restricted to 7:00 AM – 6:00 PM on weekdays
- Police or flag personnel manage traffic when required

Waste Management

- Recycling and waste reduction prioritized
- Excavated clean fill reused at alternate sites
- Demolished materials sorted and disposed of properly
- Licensed waste hauler ensures compliance

Environmental Management

- Erosion & sediment controls set up before excavation
- Stormwater managed on-site until final system is in place
- Tree protection enforced per municipal policies

A.3 Servicing and Stormwater Management Report

SitePlanTech Inc. was retained to prepare a Servicing and Stormwater Management Report for the subject property in support of a Site Plan Application, to investigate water supply, sanitary sewerage and storm drainage. The report was completed on March 6, 2025. The report provided the following conclusions:

This report is to be read in conjunction with the application submission material for the project proposal known as 107 Ridge Road. We conclude and recommend the following:

STORMWATER MANAGEMENT

- Peak runoff rates for the proposed development were designed to match pre-development flows, event-to-event.
- This will be achieved by implementing on-site infiltration trenches.

- A total storage volume of 22.3m³ is required to meet quantity controls and water balance.

SANITARY DRAINAGE

- The sanitary discharge from the proposed development will be directed to the Town's sanitary sewer located on Glensteeple Drive.

WATER SUPPLY

- The existing watermain has adequate capacity to supply the Max Day + Fire Flow rate of approximately 5,281 L/min (1,395 USGPM) at 140 Kpa (20 PSI) required for the proposed development at the proposed hydrant.

SITE GRADING

- The proposed grading is compatible with existing elevations at the property limit.
- It will not adversely affect adjacent properties.

EROSION AND SEDIMENT CONTROL

- ESC measures were designed in accordance with the "Erosion and Sediment Control Guideline for Urban Construction" document (December 2019).
- Provided that these measures are well maintained during construction, they will be adequate to prevent sediments from entering the municipal infrastructure during construction.

A.4 Geotechnical Investigation Report

Groundwater Environmental Management Services Inc. (GEMS) was retained to conduct a Geotechnical Investigation for the proposed residential development. The report was completed on March 24, 2025 and is summarized below:

5.1 Excavation

- Conclusion: Excavation is expected to be straightforward using hydraulic excavators.
- Recommendations:
 - Follow Occupational Health and Safety Act (OHSA) guidelines.
 - Temporary excavation slopes should comply with soil type classifications (Type 3: 1H:1V, Type 4: 3H:1V).
 - Adjust slopes if loose or soft soils are encountered.

- Protect excavation side slopes from weather conditions.

5.2 Groundwater Control

- Conclusion: Significant groundwater seepage is unlikely.
- Recommendations:
 - Use sump pumps for minimal seepage.
 - Prevent surface water from entering excavations.

5.3 Reuse of On-Site Excavated Soil

- Conclusion: Excavated inorganic soils can be reused as backfill if moisture content is controlled.
- Recommendations:
 - Maintain water content within 2% of the Optimum Water Content (OWC).
 - Dry excessively wet soils before use or add water if too dry.

5.4 Foundation Design

- Conclusion: Conventional spread and strip footings are feasible, with additional consideration for existing fill materials.
- Recommendations:
 - Found footings on native soil or engineered fill at specified depths.
 - Ensure geotechnical evaluation of footing subgrade before concrete placement.
 - Provide frost protection for exterior footings.

5.5 Basement Floors

- Conclusion: Subgrade soils are suitable for slab-on-grade construction.
- Recommendations:
 - Remove unsuitable materials before slab installation.
 - Provide a 100 mm moisture barrier layer.
 - Install perimeter drainage systems to prevent water accumulation.

5.6 Settlement, Site Grading, and Slopes

- Conclusion: Loose soils could lead to settlement under grade raise.
- Recommendations:

- Limit slope inclinations to 3H:1V.
- Consider potential soil settlement before finalizing grading plans.

5.7 Engineered Fill

- Conclusion: Properly compacted engineered fill is required for stability.
- Recommendations:
 - Remove unsuitable soils before placing engineered fill.
 - Compact fill in 200 mm layers to 98% SPMDD.
 - Extend engineered fill 2.5 m beyond building envelopes.
 - Protect fill from frost in winter.

5.8 Service Trenches

- Conclusion: Trenches will likely be supported on engineered fill or native soil.
- Recommendations:
 - Use Class 'B' bedding for underground utilities.
 - Compact backfill to 98% SPMDD.
 - Use geotextiles or geogrids if subgrade conditions are poor.

5.9 Lateral Earth Pressure

- Conclusion: Earth pressure parameters have been provided for structural design.
- Recommendations:
 - Design retaining walls using specified lateral pressure coefficients.
 - Ensure proper drainage behind basement walls.

5.10 Pavement Design

- Conclusion: Pavement subgrade will consist of engineered fill or native soil.
- Recommendations:
 - Compact subgrade to at least 98% SPMDD.
 - Use recommended asphalt and granular base layer thicknesses.
 - Conduct proof-rolling and subgrade inspections before construction.

A.5 Hydrogeological Report

Groundwater Environmental Management Services Inc. (GEMS) was retained to conduct a Hydrogeological Report for the proposed residential development. The report was completed on April 10, 2025 and is summarized below:

Based on the above analysis, the following conclusions and recommendations are offered for the proposed development at 107 Ridge Road:

- The geology within the Site is characterized as Newmarket Till, which primarily consists of sandy silt to silt with moderate to high matrix carbonate content and clast content [4].
- The bedrock underlying the Site is part of the Blue Mountain Formation composed primarily of shale and limestone [5].
- The excavation invert (290.6 masl) is above the lowest screened elevation of the monitoring wells on site which are all dry, therefore no groundwater dewatering is anticipated.
- The estimated rate of dewatering from precipitation is 63,608 L/day (44.2 L/min).
- Long-term groundwater seepage is not expected as the proposed development is to be constructed above the water table.
- Well decommissioning will be required prior to construction. Any inactive wells within the Site should be decommissioned by a licensed well contractor under Ontario Regulation 903.
- After development, it is anticipated that there will be a 22.2% decrease in evapotranspiration (418.15 m³/year), an 89.7 % increase in average annual runoff from the Site (538.55 m³/year), and a 24.0% decrease in infiltration (120.39 m³/year) due to the increase in impervious surfaces at the Site.

A.6 Urban Design Report

Battaglia Architecture Inc. was retained to conduct an Urban Design Report, that was completed on March 17, 2025. The report provides an explanation for how the proposed site development respects the principles of “Stable Neighbourhoods” in Aurora, catches on neighbourhood character while simultaneously addresses the living standards of a modern family.

The following is a summary of the findings of the report:

Site Plan & Subdivision

- The site is a corner lot, bordered by Glensteple Trail and Ridge Road, with access from both streets.

- The five proposed lots are designed to align with existing neighbourhood developments.
- A red line on the site plan marks environmental preservation areas, which will be maintained while ensuring proper front setbacks.
- Each lot has four parking spaces (two in the garage, two on the driveway), reducing street parking dependency.
- The density of each lot, with an average coverage of 40.46%, remains consistent with surrounding homes.

Architectural & Urban Design

- Homes on Ridge Road will be taller due to elevation differences, maintaining a smooth streetscape transition.
- The architectural style features a mix of classic and modern elements, incorporating dark sloped roofs, brick, stone, and stucco.
- The design minimizes hardscaping, with 77.61% of front yard space dedicated to soft landscaping.
- Wooden decks and limited concrete usage enhance green space.

Light & Shadow Considerations

- Side and rear setbacks are designed to ensure maximum natural light for each home and minimize shadows on adjacent properties.
- The subdivision is designed to provide a balanced and aesthetically pleasing neighborhood transformation while maintaining environmental integrity.

A.7 Natural Heritage Evaluation

Dillon Consulting Limited (Dillon) was retained to complete a Natural Heritage Evaluation (NHE) for the proposed development. The Study Area includes the Project Boundary and a 120 metre (m) buffer, and currently contains several single detached residential properties with pockets of woodlands. In order to develop the Study Area, an NHE has been requested by the Town in order to address potential impacts to natural features within and adjacent to the Study Area.

The report made the following conclusions:

The majority of lands within the Study Area are primarily comprised of low-density residential development with single family dwellings, hedgerows, and landscape plantings. Natural features such as woodlands are located at the south to southwestern portion of the Project Boundary. The natural features may be used as

cover, foraging, refuge, nesting habitat for urban wildlife; prevention of erosion and runoff, improved soil, water and air quality. Due to the ecological importance of these features, a variable 7 m buffer has been proposed with native species to protect the woodland from the development. Potential ecological impacts of development are anticipated to be minimal, but may include tree and vegetation removal, diversion of surface water flows, sedimentation of forest areas, and loss of potential wildlife habitat. These impacts are expected to be avoided or minimized by implementing the mitigation, restoration, and management measures described in this report.

A.8 Arborist Report

Dillon Consulting Limited (Dillon) was retained to provide arborist services for a proposed development. The Project Boundary currently contains a single detached residential property, surrounded by wooded features and active roads.

A total of 38 trees were inventoried, of which 23 trees fall within the development footprint and are recommended for removal. Additionally, 15 trees fall outside the development footprint (with their proposed TPZ encroachment of < 35%) and are recommended to be retained. Detailed recommendations for tree removals, maintenance and preservation have been provided in this Arborist Report and TIPP.

Appendix B: Architectural Plans

All drawings and plans prepared by:

Battaglia Architect Inc.

Unit 14, 1050 McNicoll Avenue, Scarborough, ON

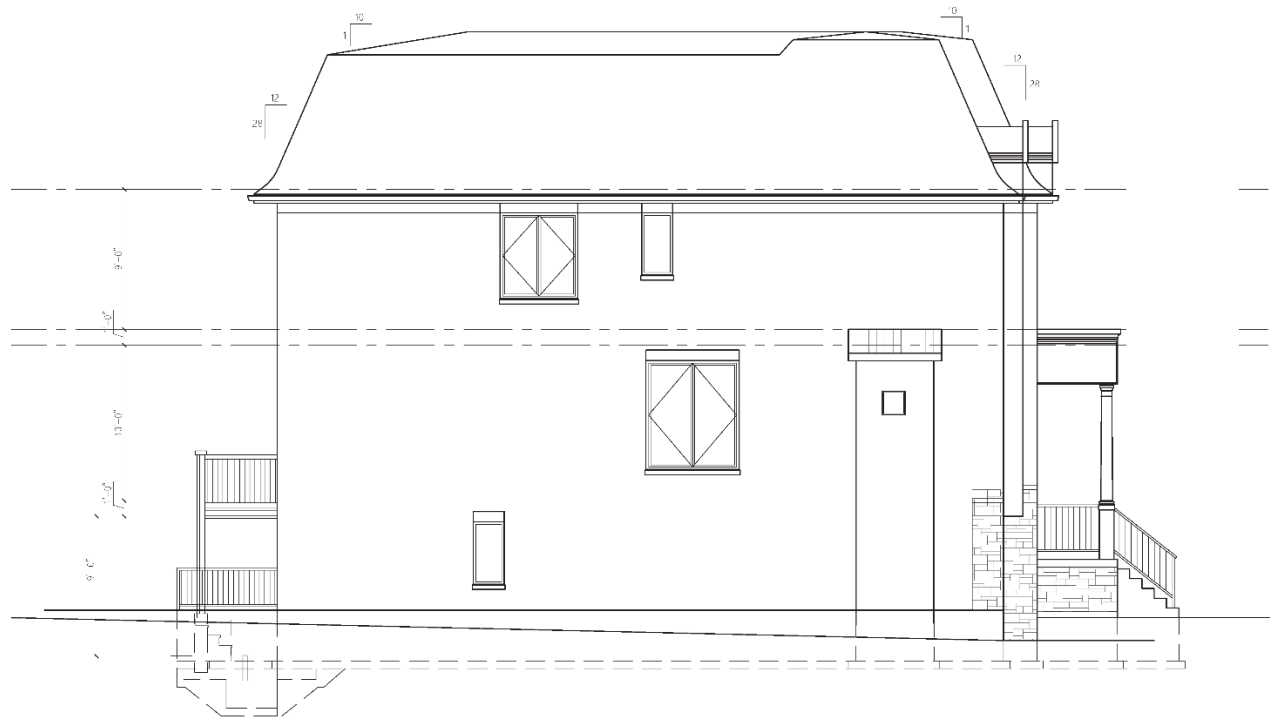
416-494-8600

battaglia.arch@gmail.com

Figure 14: Unit 1 & 3 Front Elevation
107 Ridge Road, Aurora, ON



Figure 15: Unit 1 & 3 Side (East) Elevation
107 Ridge Road, Aurora, ON



EAST ELEVATION

Figure 16: Unit 1 & 3 Rear Elevation
107 Ridge Road, Aurora, ON



REAR ELEVATION

Figure 17: Unit 1 & 3 Side (West) Elevation
107 Ridge Road, Aurora, ON



Figure 18: Unit 2 Front Elevation
 107 Ridge Road, Aurora, ON



FRONT ELEVATION

Figure 19: Unit 2 Rear Elevation
107 Ridge Road, Aurora, ON



Figure 20: Unit 2 Side (West) Elevation
107 Ridge Road, Aurora, ON

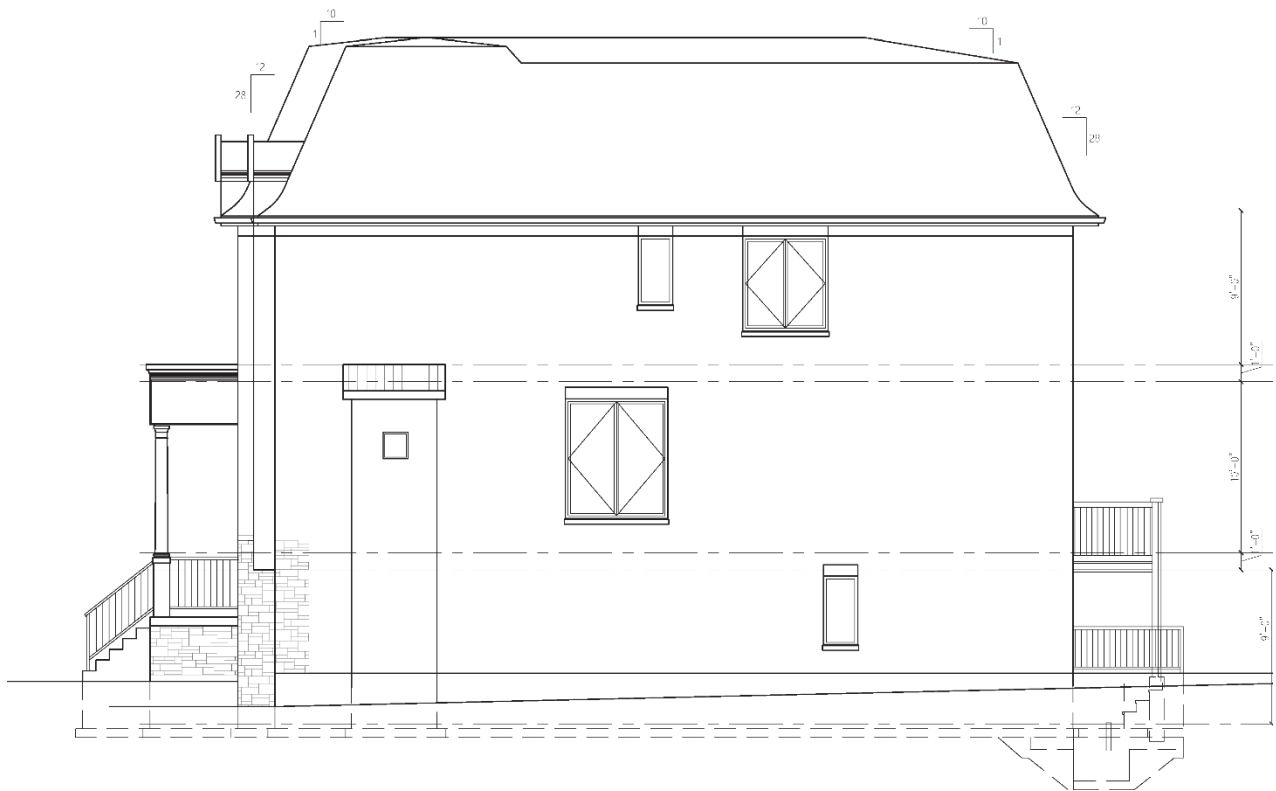


Figure 21: Unit 2 Side (East) Elevation

107 Ridge Road, Aurora, ON

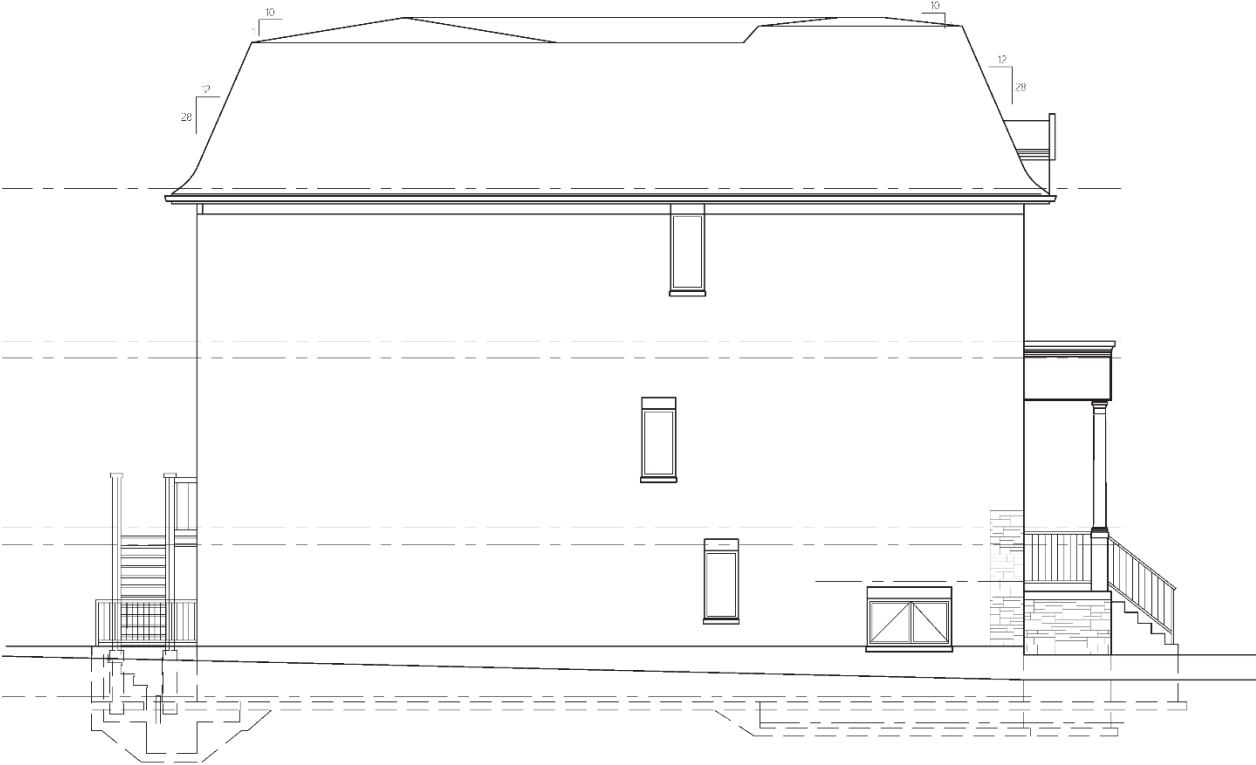


Figure 22: Unit 4 Front Elevation
 107 Ridge Road, Aurora, ON



Figure 23: Unit 4 Rear Elevation
107 Ridge Road, Aurora, ON



Figure 24: Unit 4 Side (South) Elevation
107 Ridge Road, Aurora, ON



Figure 25: Unit 4 Side (North) Elevation
107 Ridge Road, Aurora, ON

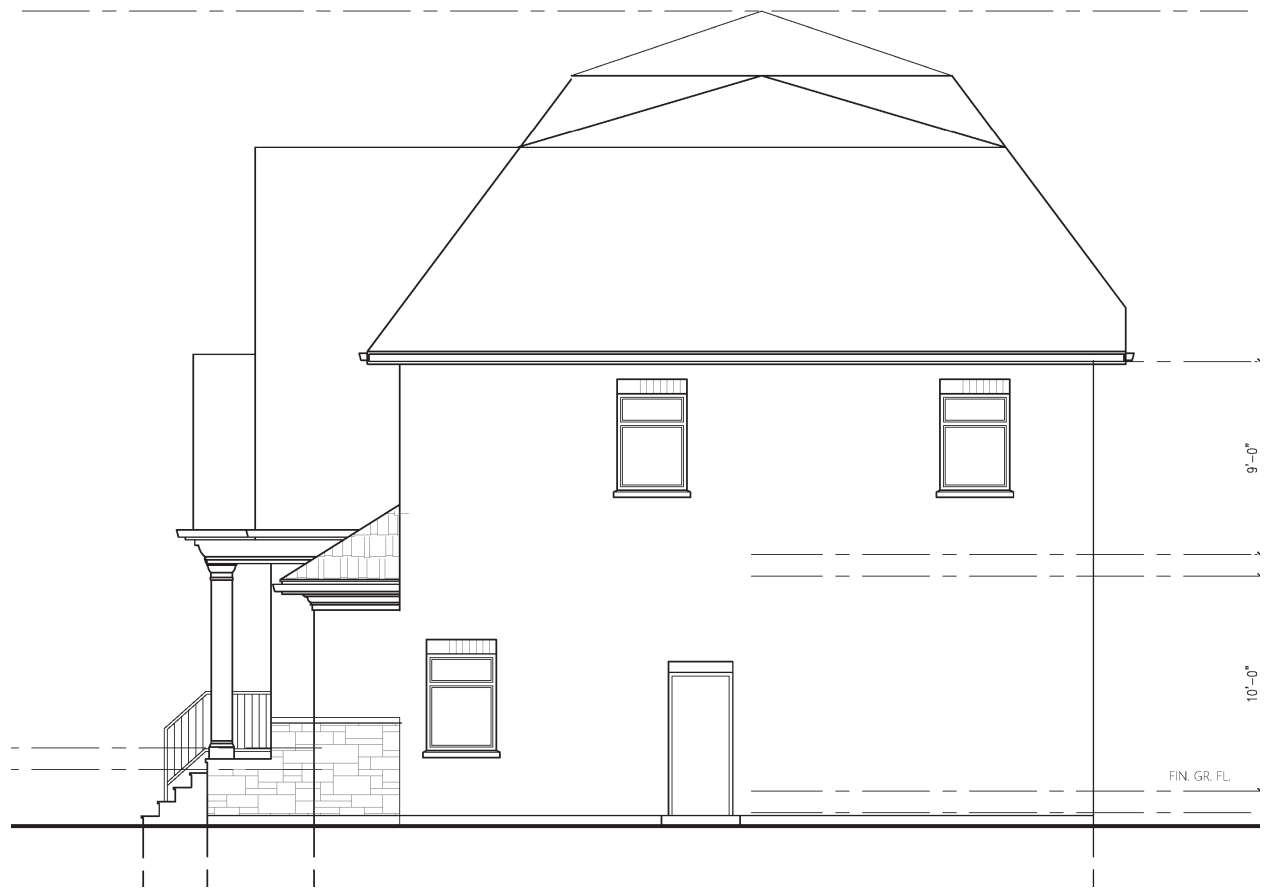


Figure 27: Unit 5 Rear (West) Elevation
107 Ridge Road, Aurora, ON



Figure 28: Unit 5 Side (South) Elevation
107 Ridge Road, Aurora, ON

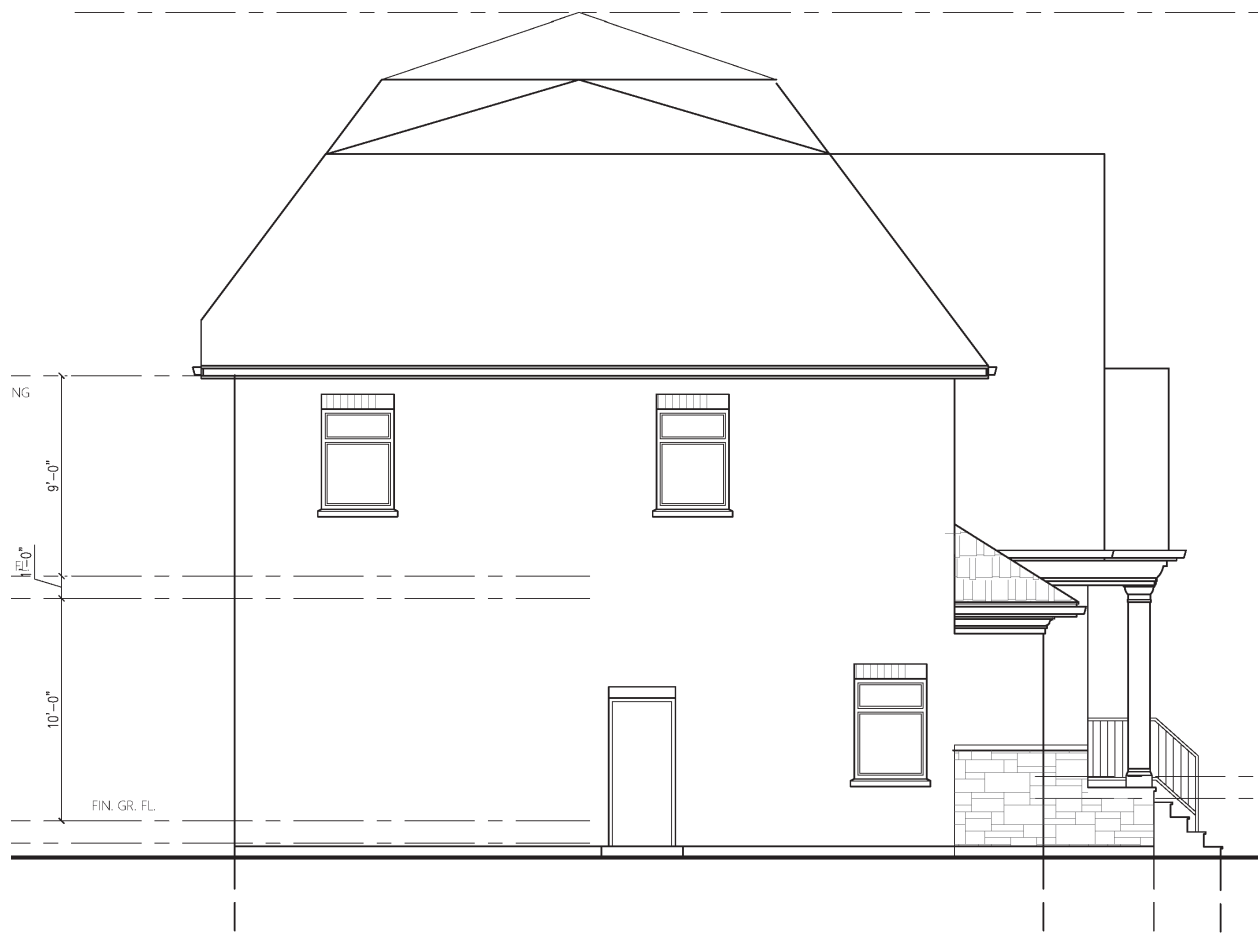


Figure 29: Unit 5 Side (North) Elevation
107 Ridge Road, Aurora, ON

