



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2024-30

APPLICANT: DAVID BUTLER

PROPERTY: 81 Tyler St, Aurora, ON L4G2N4
PLAN 30 LOT 37

**RELATED
APPLICATIONS:** n/a

ZONING: R2 Detached Second Density Residential

PURPOSE: A Minor Variance Application has been submitted to facilitate a proposed accessory garage with secondary suite above.

**THE FOLLOWING
VARIANCES ARE
REQUIRED:**

- 1) Section 4.1.2(b) of the Zoning By-law permits a maximum height of 4.5 metres.
 - i) The applicant is proposing a detached garage with a height of 6.2 metres
- 2) Section 5.6.1 of the Zoning By-law states only one driveway access point shall be permitted for each residential lot.
 - i) The applicant is proposing a second driveway access point.
- 3) Section 5.6.1(a)(ii) of the Zoning By-law permits a maximum driveway width of 6.0 metres if the lot frontage is greater than or equal to 9.0 metres and less than 18.0 metres.
 - i) The applicant is proposing a driveway width of 7.4 metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	November 14, 2024
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Peter Fan, at PFan@aurora.ca **no later than 4:30pm on November 12, 2024** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting. The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Your-Government/Committee-of-Adjustment-Delegation-Request-Form>
- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Peter Fan, at PFan@aurora.ca **no later than 12:00pm (noon) on November 14, 2024.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to PFan@aurora.ca **no later than 4:30pm on November 14, 2024.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Peter Fan at PFan@aurora.ca or at (905) 726-4711

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (the "Act") public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 30th DAY OF October 2024



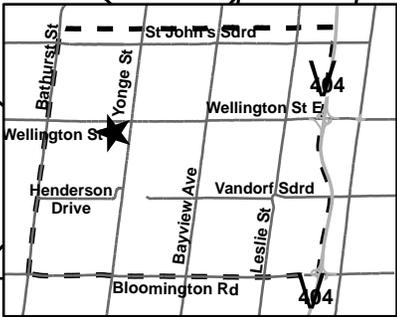
Peter Fan
Secretary-Treasurer/Assistant Planner
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



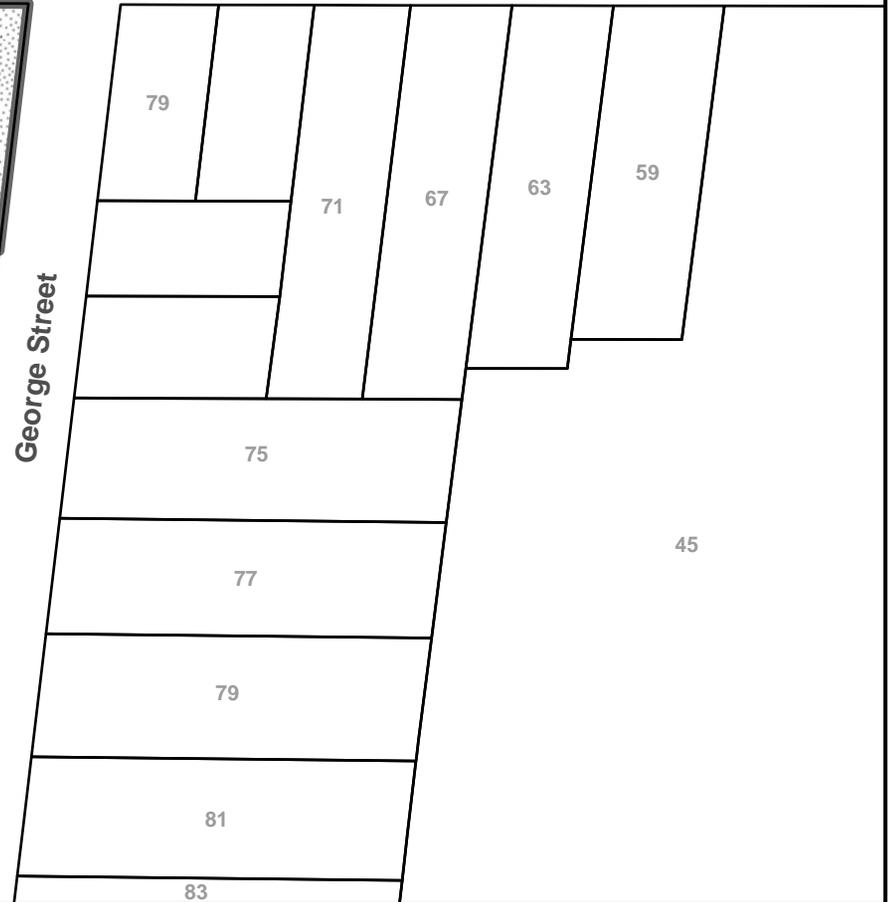
Tyler Street

Tyler Street



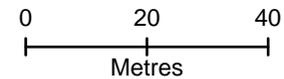
George Street

Hillview Road



Location Map
 81 Tyler Street
 FILE: MV-2024-30
 Town of Aurora
 Committee Of Adjustment

 **SUBJECT LANDS**

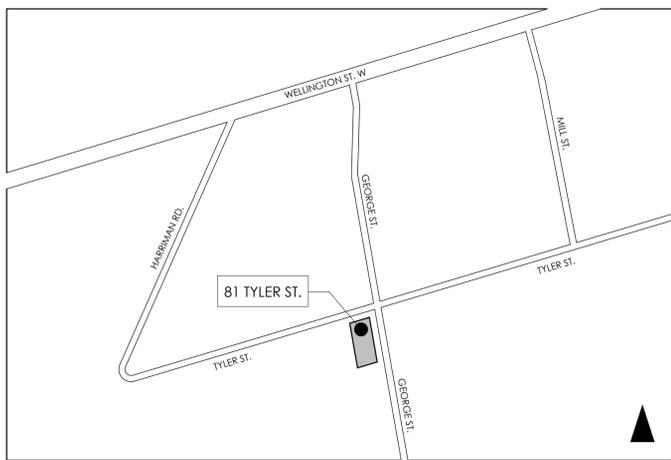




81 TYLER STREET

ACCESSORY DWELLING UNIT
81 TYLER STREET, AURORA, ON

DAVID AND CHRISTINE BUTLER
AURORA, ON



CONTEXT PLAN
1 : 2000

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION

PERMIT NO.: PR20241060 **DATE:** Sept. 19, 2024

APPROVED BY: *Taylor Cole*
PRELIMINARY ZONING REVIEW

SHEET LIST

A001	COVER SHEET
A002	GENERAL NOTES
A003	OBC MATRIX & LEGENDS
A004	SURVEY
A005	SITE PLAN
A006	WALL, DOOR AND WINDOW SCHEDULE
A101	GROUND FLOOR PLAN
A102	SECOND FLOOR PLAN
A104	ROOF PLAN
A201	ELEVATION - FRONT - EAST
A202	ELEVATIONS - NORTH SIDE
A203	ELEVATIONS - SOUTH SIDE
A204	ELEVATION - REAR - WEST
A301	SECTION - 01
A302	SECTION - 02
A501	DETAILS
A502	DETAILS
A901	3D RENDERINGS
A902	3D RENDERINGS
A903	3D RENDERINGS

CONSULTING TEAM

ARCHITECT
CSPACE ARCHITECTURE
85-8841 GEORGE BOLTON PKWY
BOLTON, ONTARIO L7E 2X8
T: 647.588.1784 | info@cspace.ca

PLANNERS
NAME OF THE FIRM
ADDRESS LINE 1
ADDRESS LINE 2
PHONE AND EMAIL

STRUCTURAL ENGINEER
NAME OF THE FIRM
ADDRESS LINE 1
ADDRESS LINE 2
PHONE AND EMAIL

MECHANICAL ENGINEER
NAME OF THE FIRM
ADDRESS LINE 1
ADDRESS LINE 2
PHONE AND EMAIL

ELECTRICAL ENGINEER
NAME OF THE FIRM
ADDRESS LINE 1
ADDRESS LINE 2
PHONE AND EMAIL

No.	Description	Date
2	REV. FOR PZR	24.09.18
1	OWNER REVIEW	24.08.26

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

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NORTH	
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
COVER SHEET

SCALE 1 : 2000	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

DRAWING NO.

A001

REGISTERED LOT 17 PLAN 30 LOT 15 LOT 16 LOT 14 PART 2, PLAN 65R-7867

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PART OF LOT 37
 REGISTERED PLAN 30
 TOWN OF AURORA
 REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 200
 METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT PART 2 - REPORT SUMMARY	
SURVEY PREPARED FOR DAVID BUTLER	
DESCRIPTION OF LAND PART OF LOT 37, REGISTERED PLAN 30 (KNOWN AS 81 TYLER STREET)	
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS NONE REGISTERED ON TITLE	
ENCROACHMENTS NOTE THE LOCATION OF THE ASPHALT, FENCES, HEDGES, AND FIRE HYDRANT AT THE PROPERTY LIMITS	
COMPLIANCE WITH MUNICIPAL ZONING BY-LAW NOT CERTIFIED BY THIS REPORT	
ADDITIONAL REMARKS (FURTHER INFORMATION CONTAINED IN THE SURVEY REPORT TO BE READ IN CONJUNCTION WITH THIS PLAN)	

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- ⊕ DENOTES ROUND IRON BAR
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- OU DENOTES ORIGINAL UNKNOWN
- WIT DENOTES WITNESS
- 882 DENOTES J. C. MOORE, O.L.S.
- 1110 DENOTES R. D. TOMLINSON, O.L.S.
- 1574 DENOTES DELPH & JENKINS NORTH LTD., O.L.S.
- P1 DENOTES PLAN OF SURVEY BY V. RAIEND, O.L.S. DATED APRIL 28, 1981
- P2 DENOTES PLAN 65R-38354
- P3 DENOTES PLAN OF SURVEY BY J.R. SNEATH, O.L.S. DATED JUNE 13, 1963
- P4 DENOTES REGISTERED PLAN 30
- BF DENOTES BOARD FENCE
- CB DENOTES CATCH BASIN
- FH DENOTES FIRE HYDRANT
- FS DENOTES FLAG STONE
- GM DENOTES GAS METER
- GW DENOTES GUY WIRE
- HP DENOTES HYDRO POLE
- ICV DENOTES IRRIGATION CONTROL VALVE
- SANMH DENOTES SANITARY MANHOLE
- STMMH DENOTES STORM MANHOLE
- TS DENOTES TRAFFIC SIGN
- WF DENOTES WOODEN FENCE
- WV DENOTES WATER VALVE
- N.E.S.W DENOTES NORTH, EAST, SOUTH, WEST
- O/W- DENOTES OVERHEAD WIRE
- ⊕ DENOTES DECIDUOUS TREE
- * DENOTES CONIFEROUS TREE

BENCHMARK

ELEVATIONS SHOWN HEREON ARE GEODETIC AND DETERMINED BY REALTIME CAN-NET NETWORK OBSERVATIONS (CGVD 1928, 1978 ADJUSTMENT)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 12th DAY OF APRIL, 2024.

APRIL 16, 2024 DATE G. K. Jenkins G. K. JENKINS - ONTARIO LAND SURVEYOR

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3)

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-66170

NOTE: THIS REPORT CAN BE UPDATED BY THIS OFFICE, HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED, SUBSEQUENT TO THE DATE OF CERTIFICATION.

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Delph & Jenkins North Ltd. Ontario Land Surveyors 24234-1

2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

No.	Description	Date

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NORTH

PROJECT
 ACCESSORY DWELLING
 81 TYLER STREET, AURORA

DRAWING TITLE
 SURVEY

SCALE 1 : 150 PROJECT NO. 24-1889

DRAWN BY -- APPROVED -- DATE 24.09.18

DRAWING NO.

A004

NOTE
 ALL BUILDING TIES ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED. PROPERTY LINES ARE UNFENCED UNLESS OTHERWISE NOTED.

BEARINGS SHOWN HEREON ARE UTM GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS ① AND ② BY REAL TIME CANNET NETWORK OBSERVATIONS AND REFERRED TO THE 6° UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE (NAD 83, CSRS 2010).

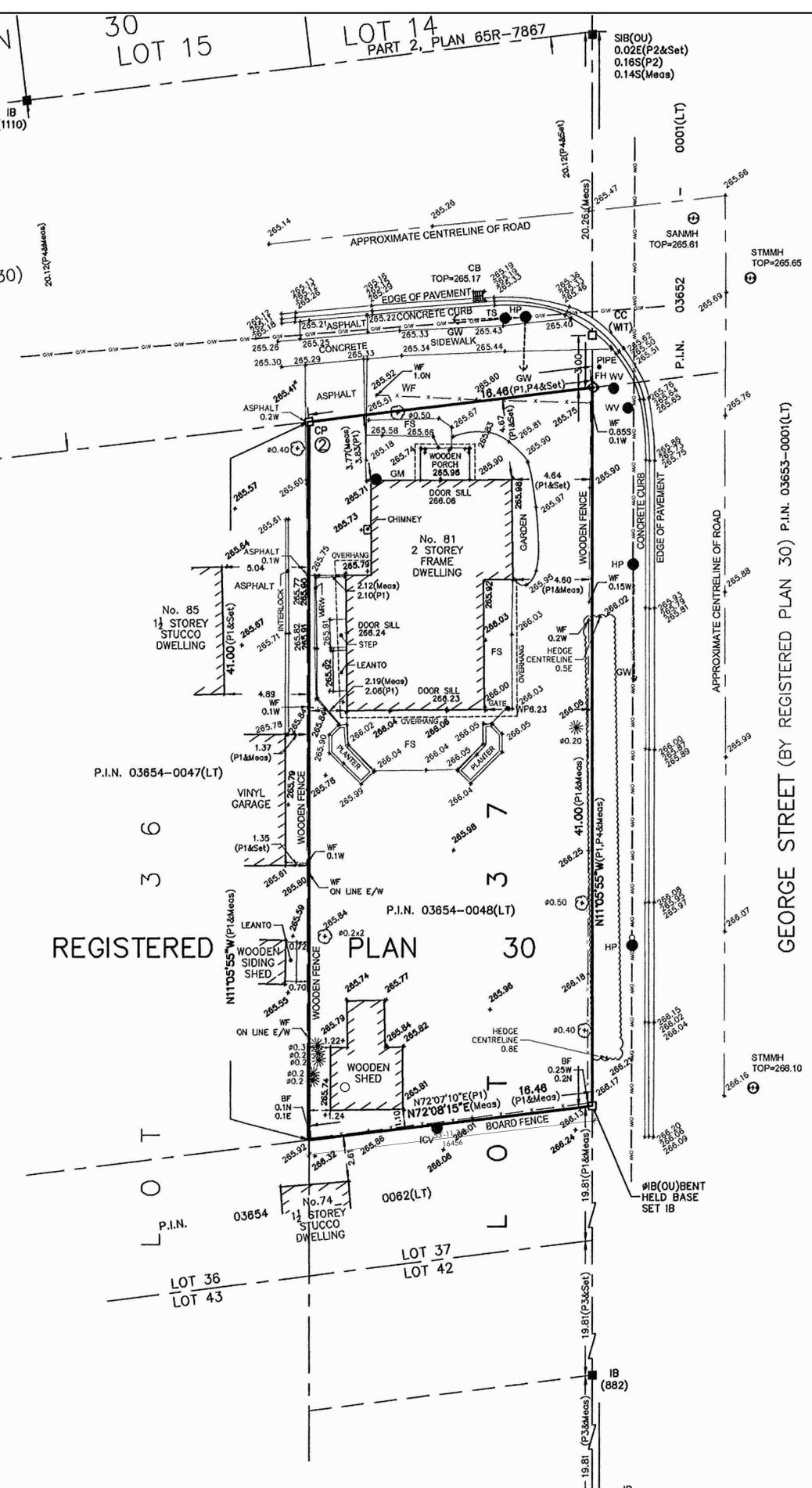
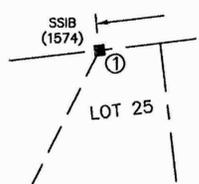
DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES, AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING THE DISTANCE BY COMBINED SCALE FACTOR 0.9997484.

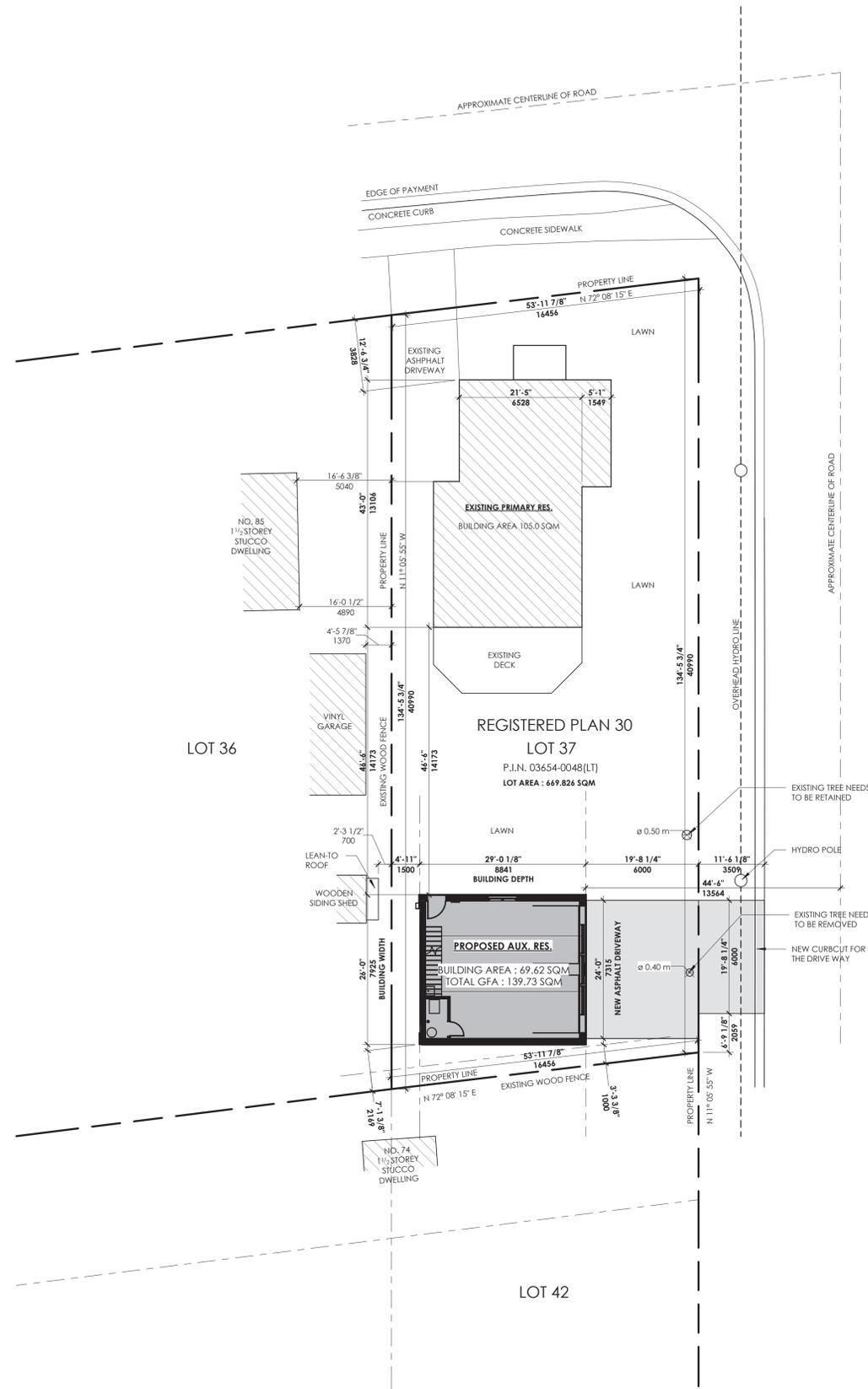
FOR BEARINGS COMPARISONS, THE FOLLOWING ROTATION WAS APPLIED.
 P1 - 2°05'55" COUNTER CLOCKWISE

THE COORDINATES SHOWN ON THIS PLAN, IN THEMSELVES, CANNOT BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

COORDINATES SHOWN ON THIS PLAN ARE IN COMPLIANCE WITH THE SURVEYORS ACT, URBAN ACCURACY PER O.REG. 216/10, SECTION 14(2).

OBSERVED REFERENCE POINTS UTM(NAD83, CSRS 2010)		
PLAN COORDINATES	NORTHING	EASTING
1	4872556.128	622289.299
2	4872615.478	622473.484





02 SITE PLAN
1 : 150

SITE STATISTICS				
LOT 37, REGISTERED PLAN 30 TOWN OF AURORA, REGION MUNICIPALITY OF YORK				
ZONING BY-LAW #6000-17				
TOTAL LOT AREA	534.5 sqm			
CURRENT ZONE	R3 DETACHED THIRD DENSITY RESIDENTIAL			
4.1. ACCESSORY BUILDINGS AND USES				
	REQUIRED	PROVIDED	COMPLIANCE	COMMENTS
4.1.1 LOCATION	1.0 m to the rear lot line	1.0 m	YES	
4.1.2.b HEIGHT	4.5 m	5.3 m	NO	MV Required
4.1.3.b LOT COVERAGE	15%	13%	YES	
4.20 YARD ENCROACHMENTS PERMITTED				
	Sills, belt courses, cornices, gutters chimneys, pilasters, leaves, parapets or canopies	Any yard		0.7 m
	Window Bays, with or without foundation up to 3m	Front yard, rear yard, and exterior side yard		1.0 m
	Open porches, uncovered terraces and decks (3.2 m in height or less)	Front & Exterior Side Yards		2.5 m In no case shall be 4.5 m from the Front Lot Line, 3 m from the Exterior Side Yard Lot line.
	Balconies	Rear yards		3.7 m In no case shall be closer than 3.8 m from the Rear Lot Line
	Steps, Landings	Front and Exterior Side Yards for all residential buildings		2.0 m
		Rear Yards for all residential buildings		2.5 m
		All yards		2.0 m In no case shall be closer than 4.5 m from the Front Lot Line and 2.1 m from the Exterior Side Lot Line In no case shall be closer than 0.3 m from the Interior Side Lot Line.
4.20.1 PRIVACY SCREEN OR FENCE Where a deck is located closer than 1.2 metres to a Side Lot Line, and is higher than 0.6 metres, a privacy screen with a minimum height of 1.5 metres shall be provided along the full extent of the deck abutting the Side Lot Line.				
7.1.1 RESIDENTIAL PERMITTED USES R3 Detached third density residential, Dwelling Detached, Dwelling, second suite (1), Home occupation (1)				
(1) Subject to Section 4.6 of this By-law (2) Subject to R3 Zone Requirements of this By-law (3) Subject to R6 Zone Requirements of this By-law (4) A maximum of one (1) second suite dwelling unit shall be permitted per Lot and shall be in accordance with Section 7.5.4 of this By-law. (5) Shall be in accordance with Section 7.5.5 of this By-law. (6) Shall only be permitted in a Link Dwelling (7) Shall only be permitted in a Detached Dwelling or Semi-Detached Dwelling				
7.2. R3 RESIDENTIAL ZONE REQUIREMENTS				
	REQUIRED	PROVIDED	COMPLIANCE	COMMENTS
MIN. LOT AREA	460 SQM (1)(1)	669.83 sqm	YES	
MIN. LOT FRONTAGE	15.0 M	16.46 M	YES	
MIN. FRONT YARD	6.0 M	6.0 M	YES	
MIN. INT. SIDE YARD (S)	1.5 M (1)	1.5 M	YES	
MIN. INT. SIDE YARD (N)	1.5 M (1)	14.15 M	YES	
MIN. REAR YARD	7.5 M	14.15 M	YES	
MAX. BUILDING HEIGHT	10.0 M	10.0 M	YES	
MAX. LOT COVERAGE	35.0% (234.440 SQM)	26% (174.62 SQM)	YES	
ADDITIONAL REQUIREMENTS TO 7-2 (1) To the Main Building (2) To the Garage (3) To the Garage accessed over an Exterior Side lot line (4) One Side (5) Other Side (6) Interior Side Yards for One Storey buildings (7) Interior Side Yards for Two Storey buildings (8) Along a Common Lot Line (9) In no case shall the garage extend beyond the front wall of the main building or porch face. On a corner lot, in no case shall the garage extend beyond the face of the main building or porch face into the front yard or exterior side yard. (10) For lands containing a Multi-Unit Development that fronts onto a private road, the following provisions shall apply: A minimum width of 6.0 metres for a Private Road A minimum setback of 1.8 metres for any wall of a residential use building to a Private Road A minimum setback of 5.3 metres for any garage or carport entrance from a Private Road A minimum distance separation of 1.2 metres between buildings				

No.	Description	Date
3	REV. FOR MV	24.09.27
2	REV. FOR PZR	24.09.18
1	OWNER REVIEW	24.08.26

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NORTH

ONTARIO ASSOCIATION OF ARCHITECTS
CHRISTOPHER CLARKE PRETTOTTO LICENSE 6706

PROJECT
ACCESSORY DWELLING
81 TYLER STREET, AURORA

DRAWING TITLE
SITE PLAN

SCALE
As indicated

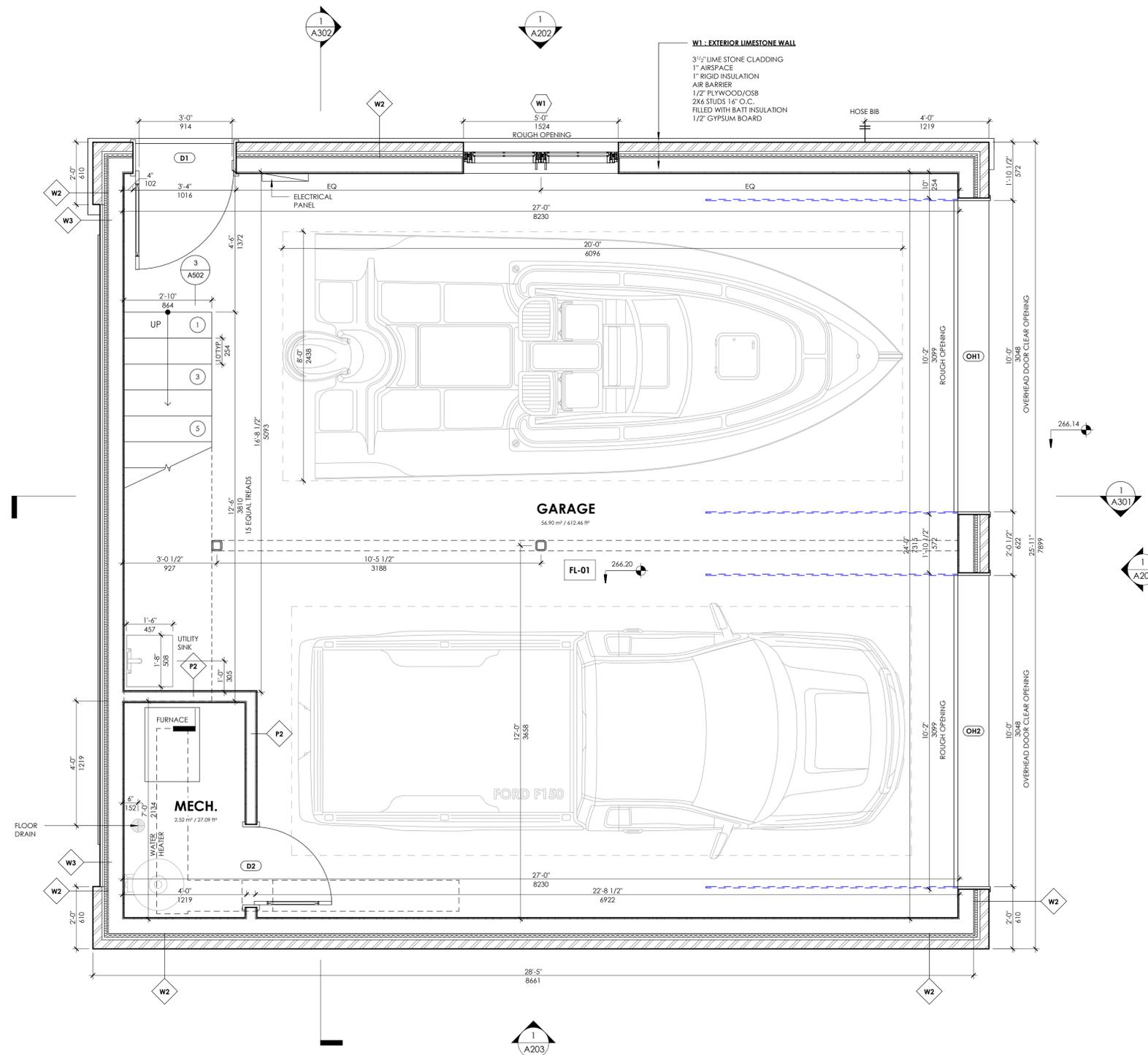
PROJECT NO.
24-1889

DRAWN BY
SE

APPROVED
CP

DATE
24.09.27

DRAWING NO.
A005



PARTITION PLAN GENERAL NOTES

LOCATE ALL DOOR JAMBS 4" FROM CORNER WALL, UNLESS NOTED OTHERWISE.

UNLESS OTHERWISE INDICATED, DIMENSIONS FOR ALL NEW PARTITIONS ARE MEASURED TO THE EDGE OF WALL STUDS.

UNLESS OTHERWISE INDICATED, DIMENSIONS FOR ALL EXISTING PARTITIONS ARE TO THE FINISHED FACE.

GENERAL CONTRACTOR TO BECOME FAMILIAR WITH ALL SITE CONDITIONS AFFECTING CONSTRUCTION.

PRIOR TO PRICING, ANY ELEMENTS IN CONFLICT WITH THE WORKING DRAWINGS ARE TO BE VERIFIED WITH THE DESIGNER.

CONTRACTOR TO PROTECT ALL EXISTING FINISHES TO REMAIN FROM DAMAGE DURING NEW CONSTRUCTION.

COORDINATE ALL DOOR ROUGH OPENINGS WITH DOOR FRAME SCHEDULE AND REVIEWED SHOP DRAWINGS. REFER TO DOOR FRAME & HARDWARE SCHEDULES FOR DOOR DETAIL REFERENCES.

ALL PARTITIONS ARE TO BE CHALKED ON SITE AND APPROVED BY DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

ALL PARTITIONS ARE TO BE FINISHED DOWN TO FLOOR LINE TO ENSURE SMOOTH AND EVEN APPLICATION OF WALL BASE.

APPLY CEMENT BOARD WHERE NOTED ON DWGS. AND ON WALLS ADJACENT TO SINKS IN WASHROOMS.

PROVIDE BLOCKING FOR ANY AND ALL MILLWORK, CEILING, SUSPENDED ITEMS AND WHERE APPARENT LOADING IS PRESENT AND/OR AS REQUIRED TO COMPLETE THE WORK.

UNLESS OTHERWISE SHOWN, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES TO THE BASE BUILDING GRID.

PROVIDE SOUND INSULATION WITHIN INDUCTION UNITS WHERE PARTITIONS MEET WINDOW MULLIONS.

ALL NEW DOOR OPENERS SHALL BE LEVER TYPE OPENERS. ALL NEW DOOR SELF-CLOSERS SHALL BE LOW FORCE AND SLOW TYPE.

ALL CABINET MILLWORK TO BE SHOP FINISHED. MILLWORK BY OTHERS.

SUBMIT 3 SETS OF SHOP DRAWINGS SHOWING CONSTRUCTION/ASSEMBLY DETAILS FOR ALL DOORS AND FRAMES TO DESIGN CONSULTANT FOR REVIEW PRIOR TO FABRICATION AND ORDERING OF MATERIALS.

DURING CONSTRUCTION, GENERAL CONTRACTOR MUST ENSURE ACCESS TO ALL SERVICE DOORS AT ALL TIMES FOR LANDLORD STAFF. DOORS MAY NOT BE BLOCKED.

PARTITION PLAN LEGEND

- XXX DENOTES ROOM OR AREA NUMBER
- BB DENOTES 'BASE BUILDING'
- CCD DENOTES 'CRITICAL CLEAR DIMENSION' REQUIRED
- AFF DENOTES 'ABOVE FINISHED FLOOR'
- JSM DENOTES 'JOB SITE MEASUREMENT'
- GWB DENOTES 'GYPSUM WALLBOARD'
- SIM DENOTES 'SIMILAR'
- MIN DENOTES 'MINIMUM'
- A DENOTES 'ALIGN'
- F DENOTES 'FLUSH'
- ==== DENOTES EXISTING PARTITION TO REMAIN
- ==== DENOTES NEW PARTITION
- ==== DENOTES LOCATION OF BLOCKING IN PARTITION
- XXX DENOTES DOOR NUMBER
- EXXX DENOTES EXISTING DOOR NUMBER
- XX DENOTES WALL/CURTAIN WALL TYPE
- XX DENOTES GLAZING PANEL, FRAME AND DETAIL NUMBER

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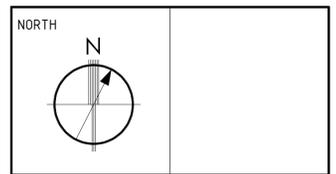
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PROJECT
ACCESSORY DWELLING

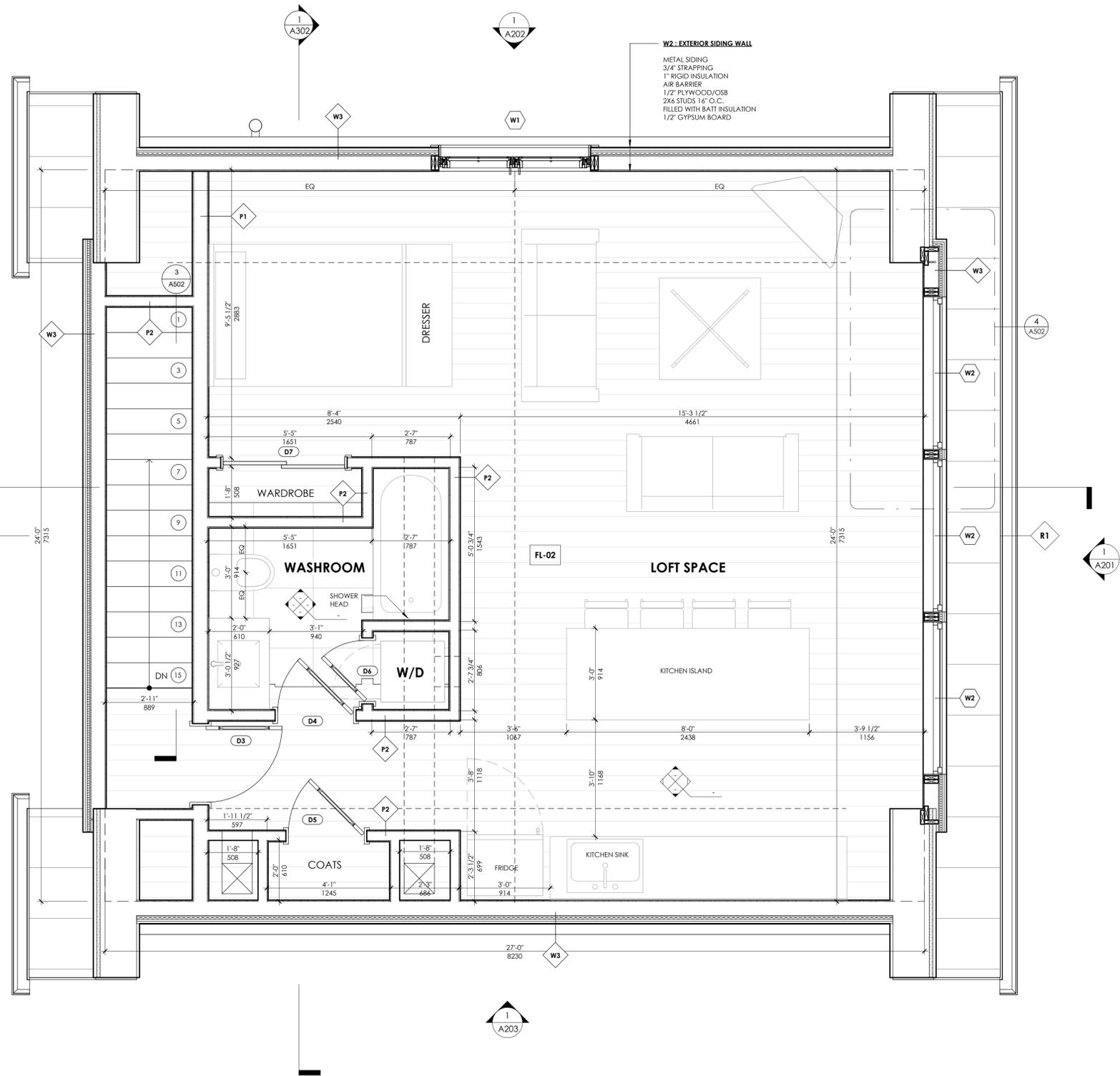
81 TYLER STREET, AURORA

DRAWING TITLE
GROUND FLOOR PLAN

SCALE As indicated	PROJECT NO. 24-1889
DRAWN BY SE	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A101

04 GROUND FLOOR PLAN
1/2" = 1'-0"



05 SECOND FLOOR PLAN
 1/2" = 1'-0"

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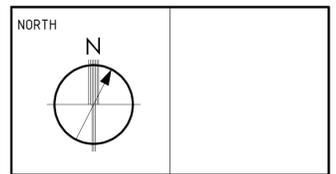
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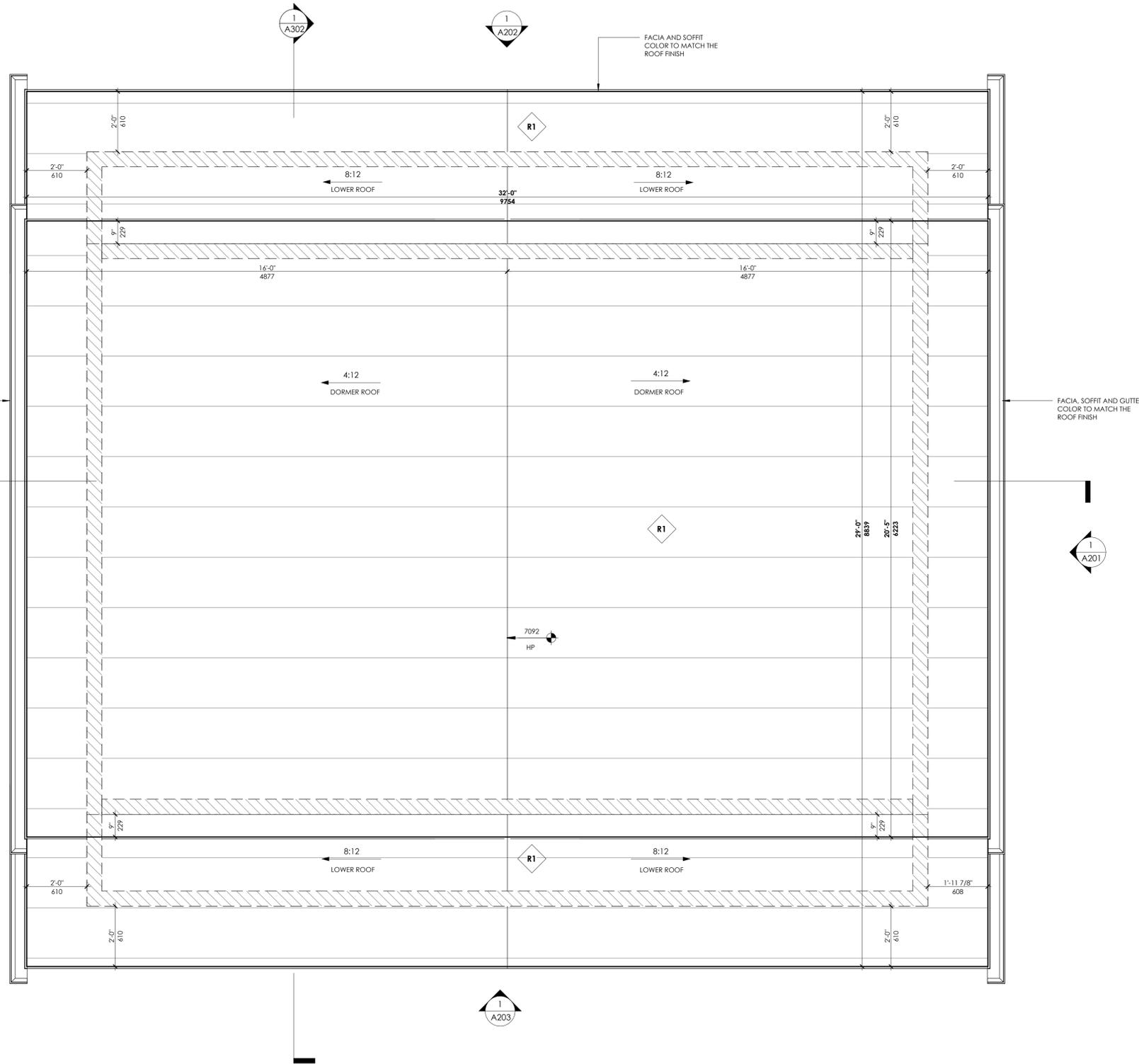


PROJECT
ACCESSORY DWELLING
 81 TYLER STREET, AURORA

DRAWING TITLE
SECOND FLOOR PLAN

SCALE 1/2" = 1'-0"	PROJECT NO. 24-1889
DRAWN BY SE	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A102



06 ROOF PLAN
1/2" = 1'-0"

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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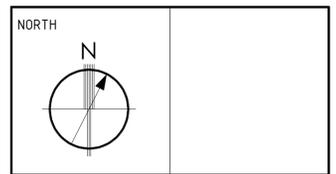
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ROOF PLAN

SCALE
1/2" = 1'-0"

PROJECT NO.
24-1889

DRAWN BY
JK

APPROVED
CP

DATE
24.09.18

DRAWING NO.

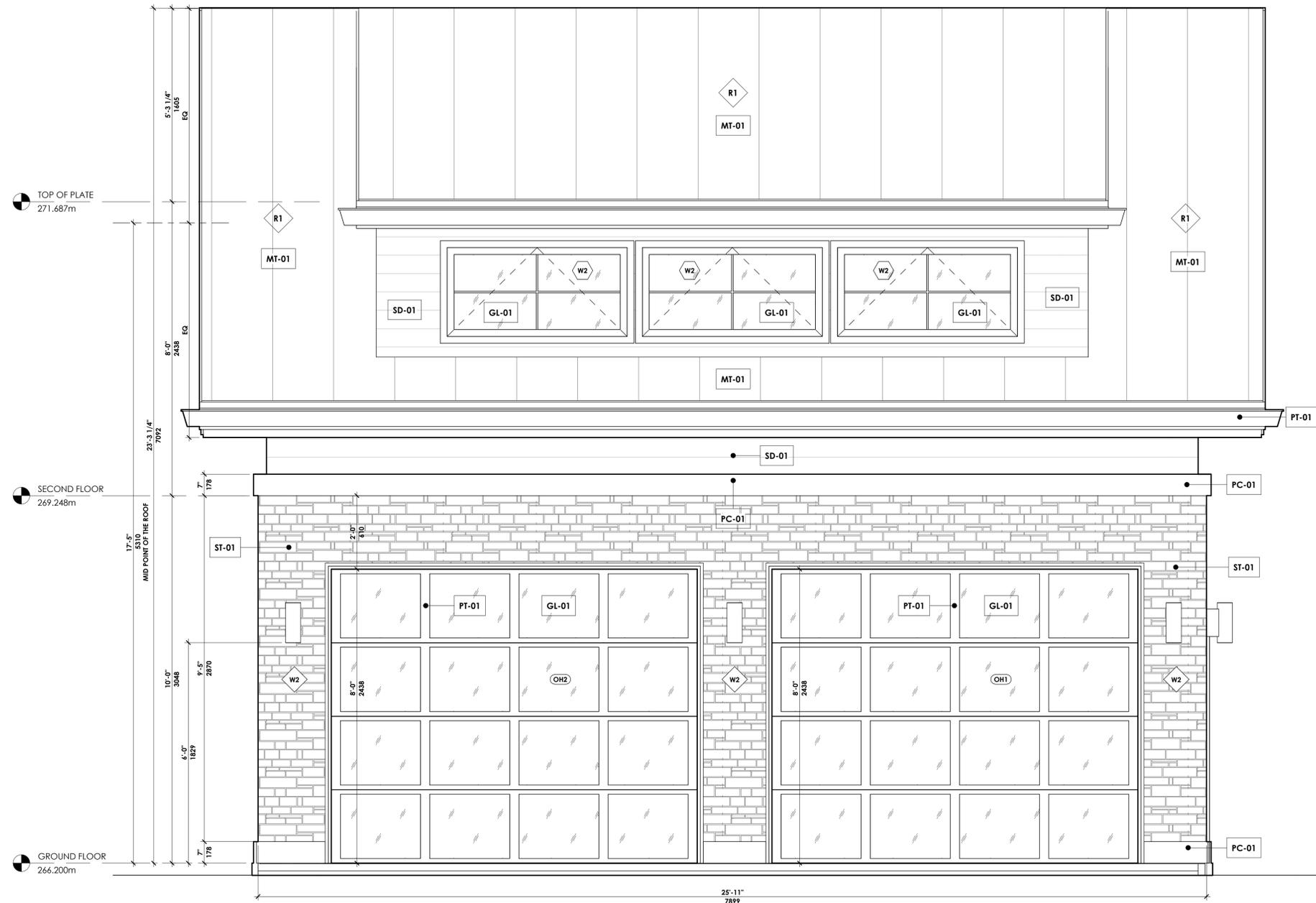
A104

EAST ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 41.08 SQM
7.9(L) X 6.8(H)	: 1.1 : 1
LIMITING DISTANCE	: 13.5 M
UNPROTECTED OPENINGS	: 19.32 SQM
% OF UNPROTECTED OPENINGS	: 47.0%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 100%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF - VIC. WEST PRESTEGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



FRONT ELEVATION - EAST
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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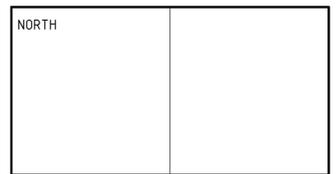
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATION - FRONT - EAST

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A201

NORTH ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 59.84 SQM
8.8(L) X 6.8(H)	: 1.3 : 1
LIMITING DISTANCE	: 14.1 M
UNPROTECTED OPENINGS	: 5.5 SQM
% OF UNPROTECTED OPENINGS	: 9.1%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 100%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF, VIC WEST PRESTIGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



SIDE ELEVATION - PRIM. RES. - NORTH
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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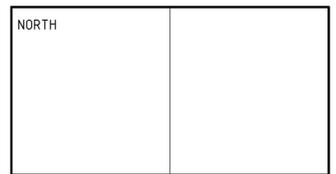
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATIONS - NORTH SIDE

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

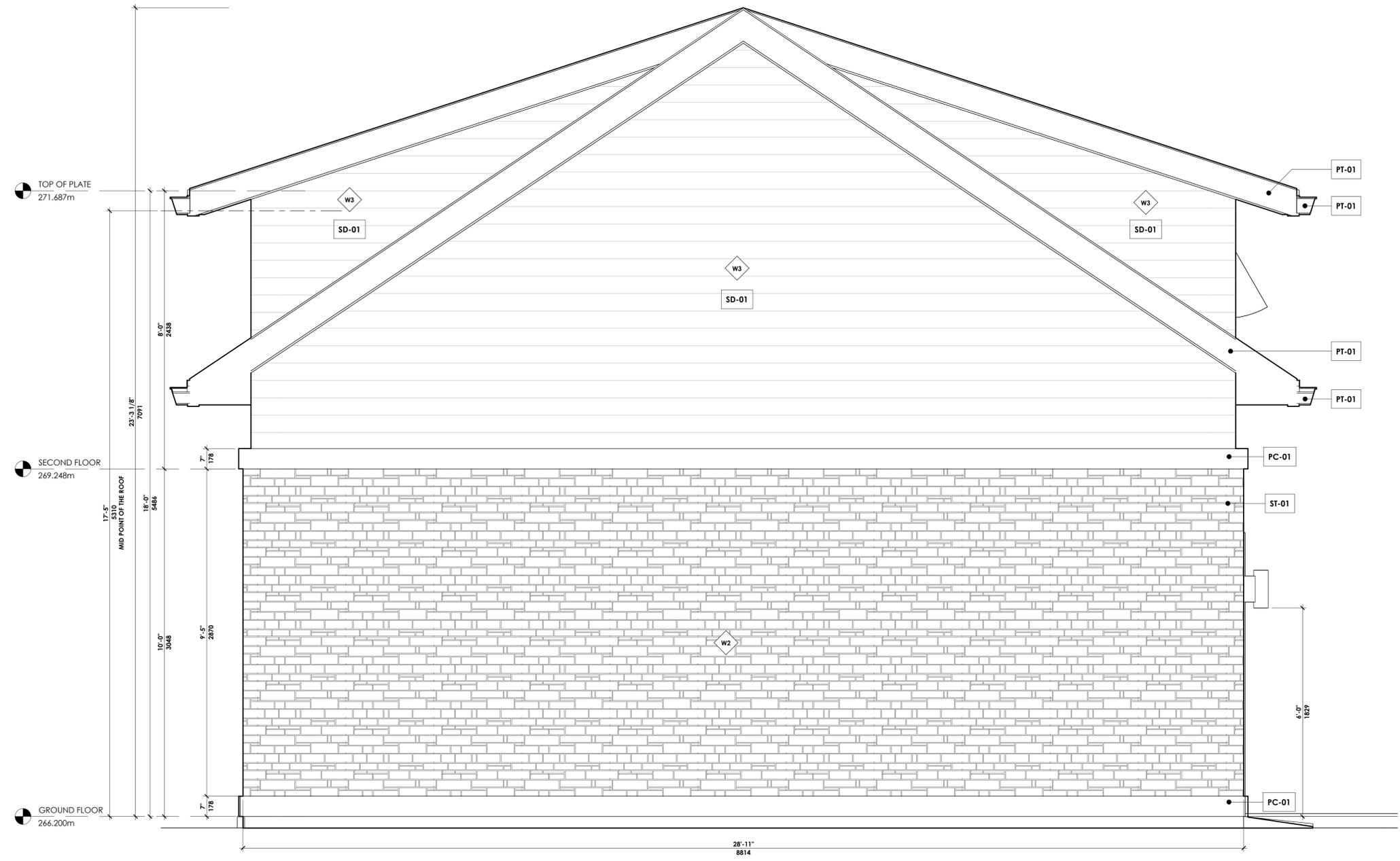
DRAWING NO.
A202

NORTH ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 59.84 SQM
8.8(L) X 6.8(H)	: 1.3 : 1
LIMITING DISTANCE	: 1.5 M
UNPROTECTED OPENINGS	: 0.0 SQM
% OF UNPROTECTED OPENINGS	: 0.0%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 8.0%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF - VIC WEST PRESTIGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



SIDE ELEVATION - EXT. SIDE - SOUTH
1 : 20

No.	Description	Date
2	REV. FOR PZR	24.09.18
1	OWNER REVIEW	24.08.26

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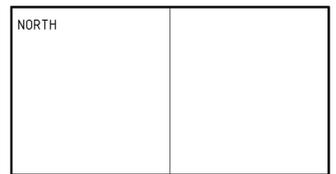
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATIONS - SOUTH SIDE

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

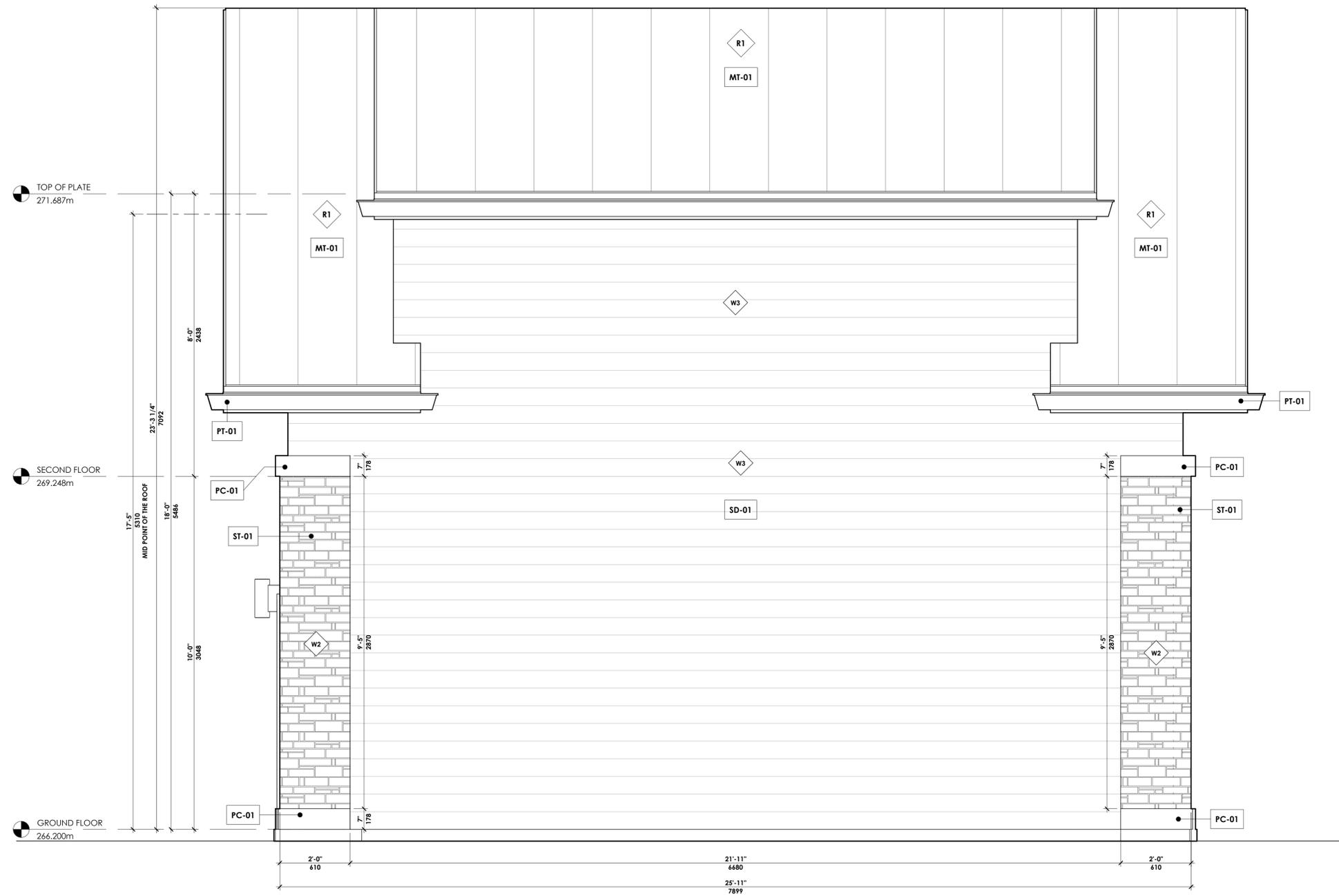
DRAWING NO.
A203

EAST ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 41.08 SQM
7.9'(L) X 6.8'(H)	: 1.1 : 1
LIMITING DISTANCE	: 1.5 M
UNPROTECTED OPENINGS	: 0.0 SQM
% OF UNPROTECTED OPENINGS	: 0.0%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 8%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF, VIC. WEST PRESTIGE OR APPROVED EQUIV. - CHARCOAL - S6072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



REAR ELEVATION - WEST
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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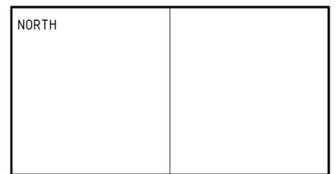
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PROJECT
ACCESSORY DWELLING

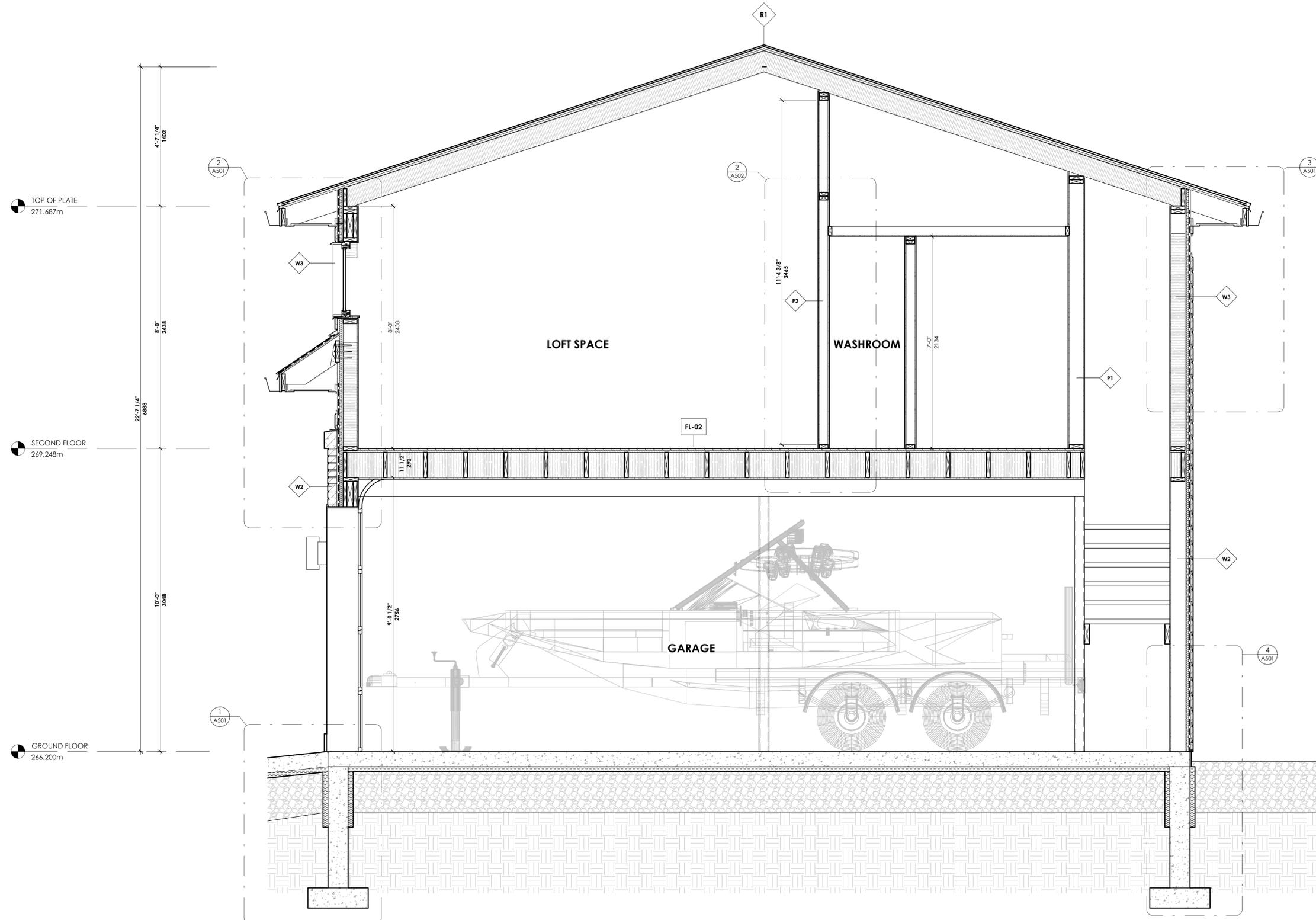
81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATION - REAR - WEST

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

DRAWING NO.

A204



SECTION 01
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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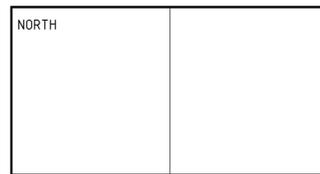
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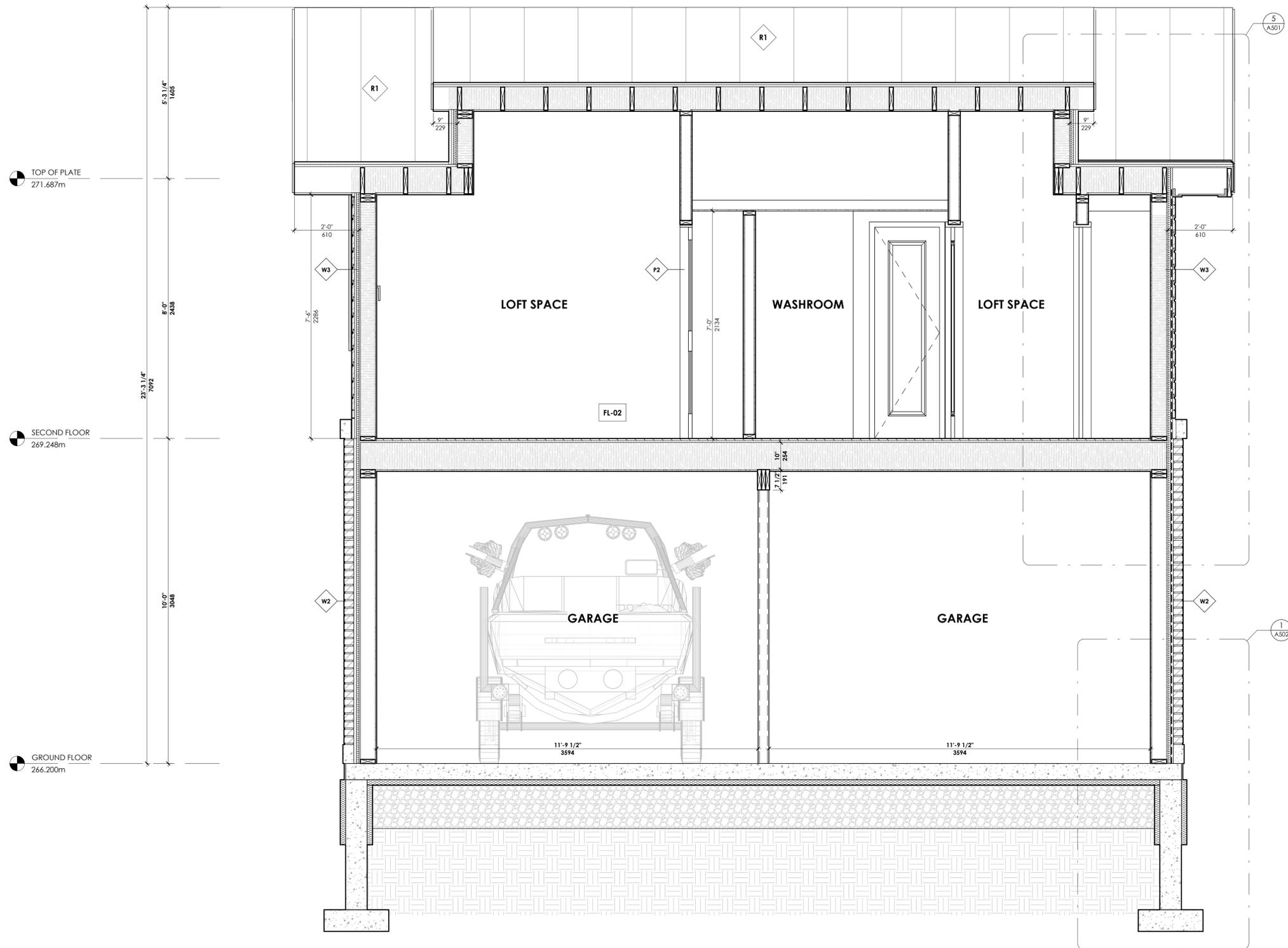


PROJECT
ACCESSORY DWELLING
81 TYLER STREET, AURORA

DRAWING TITLE
SECTION - 01

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A301



SECTION 02
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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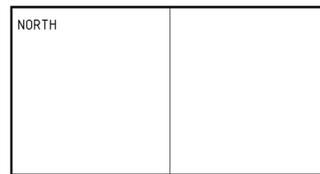
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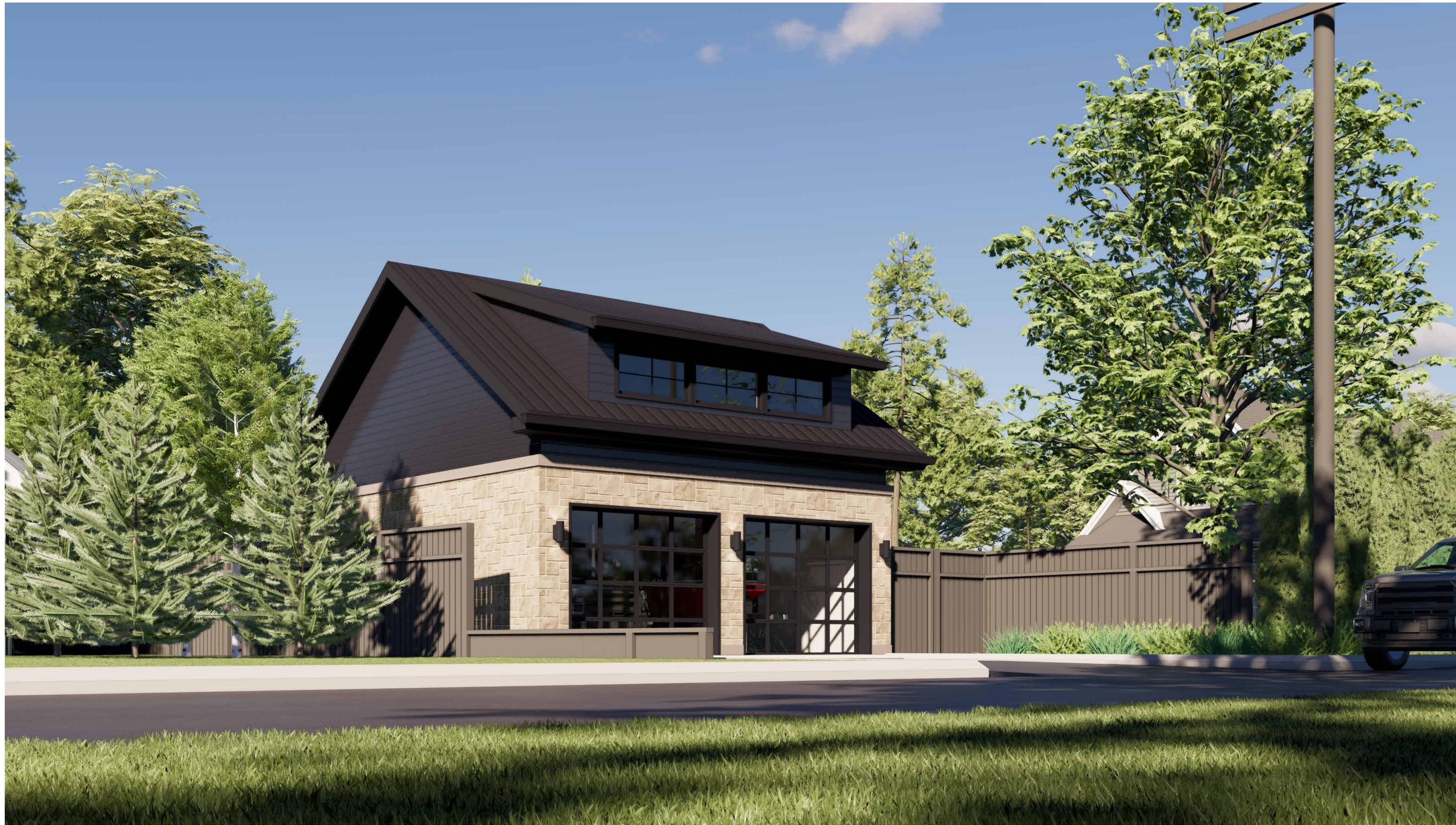


PROJECT
ACCESSORY DWELLING
81 TYLER STREET, AURORA

DRAWING TITLE
SECTION - 02

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A302



No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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NORTH

PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
3D RENDERINGS

SCALE PROJECT NO.
24-1889

DRAWN BY SE	APPROVED CCP	DATE 24.09.18
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DRAWING NO.

A901



No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
3D RENDERINGS

SCALE PROJECT NO.
24-1889

DRAWN BY SE	APPROVED CCP	DATE 24.09.18
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DRAWING NO.

A902



No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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NORTH

PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
3D RENDERINGS

SCALE PROJECT NO.
24-1889

DRAWN BY APPROVED DATE
SE CCP 24.09.18

DRAWING NO.
A903



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at pfan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771