



**Accessibility  
Advisory Committee  
Meeting Agenda**

**Wednesday, November 13, 2019  
7 p.m.**

**Holland Room  
Aurora Town Hall**

Public Release  
November 6, 2019



**Town of Aurora  
Accessibility Advisory Committee  
Meeting Agenda**

**Date:** Wednesday, November 13, 2019

**Time and Location:** 7 p.m., Holland Room, Aurora Town Hall

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**1. Approval of the Agenda**

**Recommended:**

That the agenda as circulated by Legislative Services be approved.

**2. Declarations of Pecuniary Interest and General Nature Thereof**

**3. Receipt of the Minutes**

**Accessibility Advisory Committee Meeting Minutes of October 2, 2019**

**Recommended:**

That the Accessibility Advisory Committee meeting minutes of October 2, 2019, be received for information.

**4. Delegations**

## **5. Matters for Consideration**

### **1. Memorandum from Planner**

**Re: Site Plan Application**

**Regional Municipality of York**

**242 St. John's Sideroad East, Aurora**

**Con 1 Pt Lot 86 RS65R2500 Part of Part 1 EXP 288904 Part 1**

**File Number: SP-2019-06**

(Full-size drawings will be available at the meeting.)

#### **Recommended:**

1. That the memorandum regarding Site Plan Application, Regional Municipality of York, 242 St. John's Sideroad East, Aurora, Con 1 Pt Lot 86 RS65R2500 Part of Part 1 EXP 288904 Part 1, File Number: SP-2019-06 be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Site Plan Application.

### **2. Memorandum from Planner**

**Re: Site Plan Application (1<sup>st</sup> Submission)**

**New Industrial Building w/Office Space**

**320 Industrial Parkway South**

**Lot 25, Plan M-2012**

**File Number: SP-2019-07**

(Full-size drawings will be available at the meeting.)

#### **Recommended:**

1. That the memorandum regarding Site Plan Application (1<sup>st</sup> Submission), New Industrial Building w/Office Space, 320 Industrial Parkway South, Lot 25, Plan M-2012, File Number: SP-2019-07 be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Site Plan Application (1<sup>st</sup> Submission).

**3. Memorandum from Planner**

**Re: Site Plan Amendment Application (1<sup>st</sup> Submission)  
16015 Bayview Avenue  
Part 1, Plan 65R-32530  
File Number: SP-2019-08**

(Full-size drawings will be available at the meeting.)

**Recommended:**

1. That the memorandum regarding Site Plan Amendment Application (1<sup>st</sup> Submission), 16015 Bayview Avenue, Part 1, Plan 65R-32530, File Number: SP-2019-08 be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Site Plan Amendment Application (1<sup>st</sup> Submission).

**4. Memorandum from Accessibility Advisor**

**Re: Accessibility Review Checklist – Site Plan**

**Recommended:**

1. That the memorandum regarding Accessibility Review Checklist – Site Plan be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Accessibility Review Checklist – Site Plan.

**5. Memorandum from Accessibility Advisor**

**Re: Special Events Sensory Room/Space**

**Recommended:**

1. That the memorandum regarding Special Events Sensory Room/Space be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Special Events Sensory Room/Space.

**6. Round Table Discussion**

**Re: Town of Aurora Accessibility Plan 2018 to 2024**

**[\(Link to Accessibility Plan\)](#)**

**Recommended:**

1. That the comments and suggestions regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and action as appropriate.

**6. Informational Items**

**7. Adjournment**



**Town of Aurora  
Accessibility Advisory Committee  
Meeting Minutes**

**Date:** Wednesday, October 2, 2019

**Time and Location:** 7 p.m., Holland Room, Aurora Town Hall

**Committee Members:** John Lenchak (Chair), Hailey Reiss (Vice Chair) (arrived 7:16 p.m.), Matthew Abas, Max Le Moine, Jo-anne Spitzer, Councillor Rachel Gilliland

**Members Absent:** Gordon Barnes

**Other Attendees:** Ivy Henriksen, Manager, Customer Service, Terence Wong, Senior Plans Examiner, Gary Greidanus, Senior Landscape Architect, Linda Bottos, Council/Committee Coordinator

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The Chair called the meeting to order at 7:07 p.m.

**1. Approval of the Agenda**

**Moved by Jo-anne Spitzer  
Seconded by Max Le Moine**

That the agenda as circulated by Legislative Services be approved.

**Carried**

**2. Declarations of Pecuniary Interest and General Nature Thereof**

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act, R.S.O. 1990, c. M.50.*

**3. Receipt of the Minutes**

**Accessibility Advisory Committee Meeting Minutes of September 4, 2019**

Accessibility Advisory Committee Meeting Minutes  
Wednesday, October 2, 2019

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**Moved by Jo-anne Spitzer  
Seconded by Max Le Moine**

That the Accessibility Advisory Committee meeting minutes of September 4, 2019, be received for information.

**Carried**

#### **4. Delegations**

None

#### **5. Matters for Consideration**

##### **1. Memorandum from Planner**

**Re: Zoning By-law Amendment Application, L & B Aurora Inc., N/E  
Corner of Wellington Street East and John West Way, Part of Lot 81,  
Concession 1, File Number: ZBA-2019-01**

Staff provided an overview of the application and comments previously submitted to the Planner by the Accessibility Advisor on behalf of the Committee regarding accessibility standards to be considered as part of the Zoning By-law amendment application. The Committee reviewed the site plan and inquired about the proposed sidewalk on John West Way, and staff confirmed that the sidewalk would be paved.

**Moved by Matthew Abas  
Seconded by Max Le Moine**

1. That the memorandum regarding Zoning By-law Amendment Application, L & B Aurora Inc., N/E Corner of Wellington Street East and John West Way, Part of Lot 81, Concession 1, File Number: ZBA-2019-01, be received; and
2. That the Accessibility Advisory Committee supports the comments previously submitted by the Accessibility Advisor regarding the Zoning By-law Amendment Application.

**Carried**

Accessibility Advisory Committee Meeting Minutes  
Wednesday, October 2, 2019

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**2. Memorandum from Planner**

**Re: Application for Site Plan Amendment, Smart Centres – Whitwell Developments Ltd., 157 First Commerce Drive, Part of Block 2, Plan 65M3819, Parts 1 to 9 on RP 65R31257, File Number: SP-2019-04**

Staff provided an overview of the application and comments previously submitted to the Planner by the Accessibility Advisor on behalf of the Committee regarding accessibility standards to be considered as part of the site plan amendment.

**Moved by Matthew Abas**

**Seconded by Max Le Moine**

1. That the memorandum regarding Application for Site Plan Amendment, Smart Centres – Whitwell Developments Ltd., 157 First Commerce Drive, Part of Block 2, Plan 65M3819, Parts 1 to 9 on RP 65R31257, File Number: SP-2019-04, be received for information.

**Carried**

**3. Memorandum from Senior Planner**

**Re: Site Plan Application – 2<sup>nd</sup> submission, 2450290 Ontario Inc., 32 Don Hillock Drive, Part of Lot 2, Registered Plan 65M-3974, File Number: SP-2016-02**

Staff provided an overview of the application, and the Committee reviewed the site plan and discussed the accessibility standards to be considered as part of the site plan application.

**Moved by Max Le Moine**

**Seconded by Matthew Abas**

1. That the memorandum regarding Site Plan Application – 2<sup>nd</sup> submission, 2450290 Ontario Inc., 32 Don Hillock Drive, Part of Lot 2, Registered Plan 65M-3974, File Number: SP-2016-02, be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Application – 2<sup>nd</sup> submission be considered by staff:

- (a) Request for ramp access at ground floor main entrance instead of stairs (in addition to the ramp access to landing indicated between two accessible parking spaces); and
- (b) Request for relocation of the two accessible, barrier-free underground parking spaces to be closer to the elevator to prevent persons with disabilities from having to cross an active traffic laneway; and
- (c) Request for installation of a sidewalk in the parking lot; and
- (d) Request for installation of automatic door openers at all public access entry points; and
- (e) Request for review of curb ramps.

**Carried**

**4. Memorandum from Senior Landscape Architect  
Re: St. Andrew's College Boardwalk Accessibility Review**

Staff gave an overview of the memorandum and proposed trail connection, including boardwalk and ramps, from the existing Willow Farm Trail to the intersection of St. John's Sideroad and Yonge Street. The Committee reviewed the concept drawings and discussed the accessibility standards to be considered including vertical versus horizontal ramp handrail detail, ramp elevation, width between chicanes at entry points to allow mobility devices, trail surface, and drainage.

**Moved by Jo-anne Spitzer  
Seconded by Matthew Abas**

1. That the memorandum regarding St. Andrew's College Boardwalk Accessibility Review be received; and
2. That the Accessibility Advisory Committee comments and suggestions regarding the St. Andrew's College Boardwalk Accessibility Review be received and referred to staff for consideration and action as appropriate.

**Carried**

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**5. Round Table Discussion**

**Re: Town of Aurora Accessibility Plan 2018 to 2024**

No comments were submitted by the Committee.

**6. Informational Items**

**6. Memorandum from Accessibility Advisor**

**Re: Information and Communications Standards Development  
Committee's Initial Recommendations Report**

Staff provided an overview of the memorandum and encouraged the Committee to participate in the online Phase 1 and Phase 2 surveys by October 15, 2019, and/or contact the Accessibility Advisor with any feedback. Staff also advised the Committee of the Town's current projects and ongoing initiatives toward improving the accessibility of Town document templates and its internal/external websites.

**Moved by Max Le Moine**

**Seconded by Jo-anne Spitzer**

1. That the memorandum regarding Information and Communications Standards Development Committee's Initial Recommendations Report be received for information.

**Carried**

**7. Adjournment**

**Moved by Jo-anne Spitzer**

**Seconded by Max Le Moine**

That the meeting be adjourned at 8:28 p.m.

**Carried**



100 John West Way, Box 1000  
Aurora, ON L4G 6J1  
**Phone:** 905-727-3123 Ext. 4349  
**Email:** Ctsang@aurora.ca  
**www.aurora.ca**

**Planning and Development Services**

## INTERNAL MEMORANDUM

**DATE:** October 17<sup>th</sup>, 2019

**TO:** B. Butler, Planning and Development Services  
M. Bat, Engineering and Capital Delivery  
Sam Sample, Building Division  
G. Greidanus, Operational Services  
J. McDonald, Central York Fire Services  
M. Zawada, Accessibility Advisory Committee  
P. De Sario, Corporate Services

**FROM:** Carlson Tsang, Planning and Development Services

**Re: Site Plan Application**  
**Regional Municipality of York**  
**242 St. John's Sideroad East, Aurora**  
**CON 1 PT LOT 86 RS65R2500 PART OF PART 1 EXP 288904 PART 1**  
**File Number: SP-2019-06**

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A Site Plan application has been submitted to the Planning and Development Services department for review. The purpose of the project is to increase the capacity of the Aurora Sewage Pumping Station at the above noted property by converting the existing buried equalization tank (overflow tank) into a wet-well/valve chamber. The proposed work will include structural retrofitting of the existing chamber such as adding walls to partition out the wet well area and installing a new buried vale chamber above the wet well area.

I would appreciate receiving your comments by **November 15<sup>th</sup>, 2019**. If we have not received your comments by the specified time frame, we will assume you have no comments or concerns.

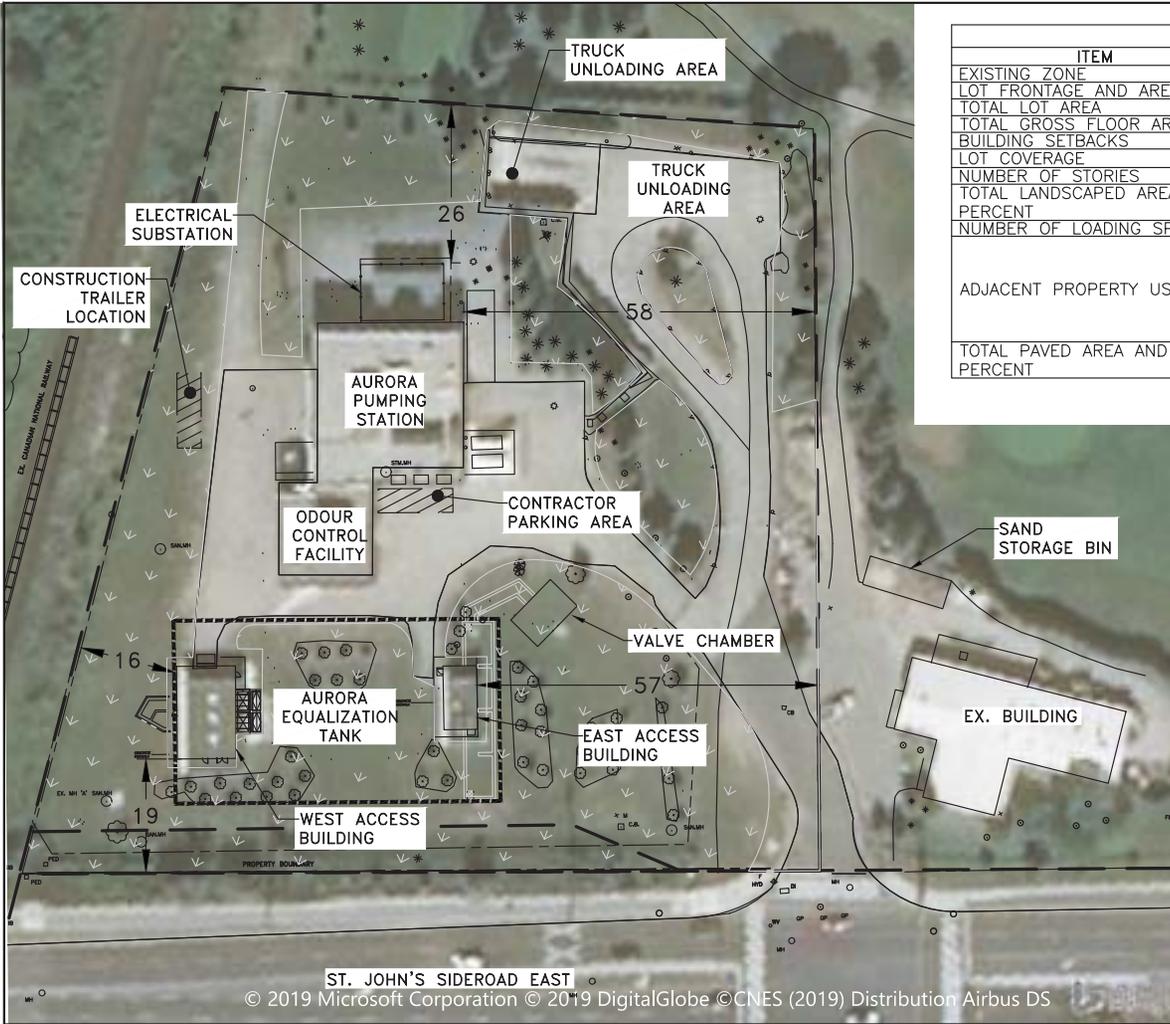
Should you have any questions regarding the above noted proposal, please feel free to contact me at extension 4349.

Regards,

A handwritten signature in blue ink, appearing to read "Carlson Tsang".

Carlson Tsang  
Planner, Planning and Development Services  
Town of Aurora  
Phone: 905-727-3123, ext. 4349  
[Ctsang@aurora.ca](mailto:Ctsang@aurora.ca)

SITE PLAN DETAILS		
ITEM	COMMENT	COMPLIANT
EXISTING ZONE	RU	Y
LOT FRONTAGE AND AREA	910m <sup>2</sup>	180m
TOTAL LOT AREA	14609m <sup>2</sup>	
TOTAL GROSS FLOOR AREA	1188m <sup>2</sup>	Y
BUILDING SETBACKS	AS SHOWN ON PLAN	Y
LOT COVERAGE	1188m <sup>2</sup> / 8%	20%
NUMBER OF STORIES	1	Y
TOTAL LANDSCAPED AREA & PERCENT	7729m <sup>2</sup> / 53%	Y
NUMBER OF LOADING SPACES	3*	Y
ADJACENT PROPERTY USES	NE : PRIVATE OPEN SPACE	Y
	W: RURAL, ENVIRONMENT PROTECTION	
	E: PRIVATE OPEN SPACE	
	S: PUBLIC OPEN SPACE, ENVIRONMENT PROTECTION	
TOTAL PAVED AREA AND PERCENT	4048m <sup>2</sup> / 28%	Y



YORK REGION  
 AURORA INTERIM SEWAGE SERVICING SOLUTION  
 EXISTING CONDITIONS & SITE PREPARATION PLAN  
 EXISTING CONDITIONS & SITE PREPARATION PLAN  
 - SITE PLAN APPROVAL APPLICATION

11176321  
 Sep 12, 2019

FIGURE 1

CAD File: I:\CAD\Drawings\11176321\11176321-REPORTS\11176321-20\10\11176321-20\10\C111176321-00\008\CH-WA005.dwg

METRIC

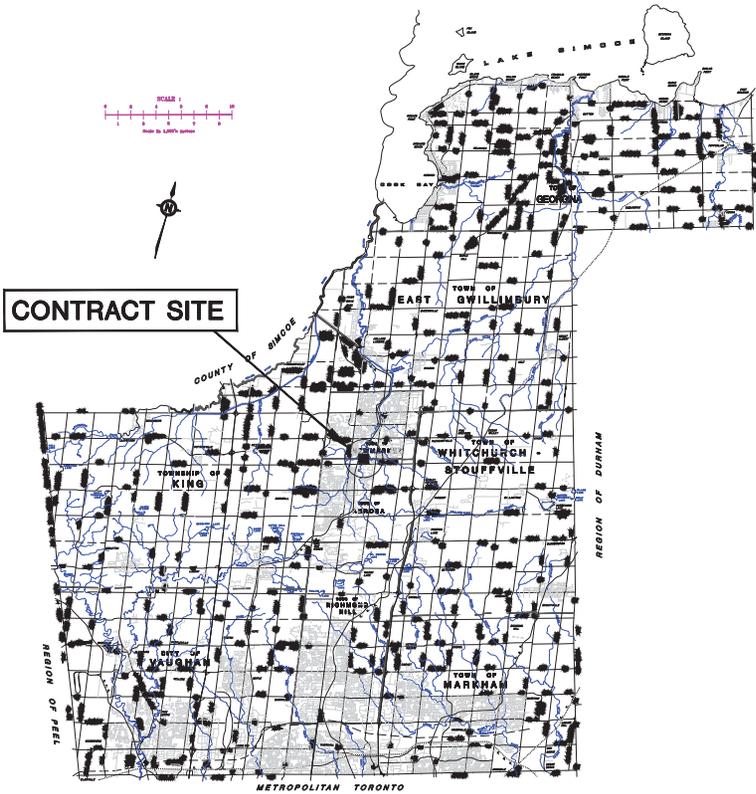


Environmental Services

CONTRACT T-19-236

**AURORA INTERIM SEWAGE  
SERVICING SOLUTION  
242 ST JOHN'S SIDEROAD,  
AURORA**

**ISSUED FOR TENDER**



**W. EMMERSON**

REGIONAL CHAIR

**ERIN MAHONEY, M.Eng**

COMMISSIONER OF ENVIRONMENTAL SERVICES



METRIC

DWG_NO	TITLE
<b>GENERAL</b>	
G-01	COVER PAGE
G-02	DRAWING INDEX
G-03	CIVIL, STRUCTURAL AND ARCHITECTURAL LEGEND
G-04	MECHANICAL LEGEND
G-05	INSTRUMENTATION AND CONTROL LEGEND
G-06	ELECTRICAL LEGEND
G-07	EQUALIZATION TANK HAZARDOUS AREA ZONES AT 250.00
G-08	EQUALIZATION TANK HAZARDOUS AREA PLAN AT 244.40
G-09	EQUALIZATION TANK HAZARDOUS AREAS SECTIONAL VIEW 1 OF 2
G-10	EQUALIZATION TANK HAZARDOUS AREAS SECTIONAL VIEW 2 OF 2
G-11	PROJECT NOTES
<b>CIVIL</b>	
C-01	EXISTING CONDITIONS
C-02	REMOVALS AND SITE PREPARATION PLAN
C-03	PROPOSED SITE PLAN
C-04	PROPOSED PIPE REALIGNMENT PLAN & PROFILE
C-05	CIVIL DETAILS
<b>STRUCTURAL</b>	
S-01	OBC MATRIX AND SCHEDULES
S-02	STRUCTURAL NOTES
S-03	STRUCTURAL REMOVALS
S-04	STRUCTURAL PLAN AT 250.850
S-05	NEW WEST VALVE CHAMBER AND TANK PLANS
S-06	NEW WEST VALVE CHAMBER AND TANK SECTIONS
S-07	NEW WEST VALVE CHAMBER AND TANK SECTION AND DETAILS
S-08	NEW TANK WEIR WALL PLAN AND SECTIONS
S-09	EXISTING EAST VALVE CHAMBER PLAN AND SECTION
S-10	EQUALIZATION TANK WEST ACCESS BLDG PLAN, SECTION, AND DETAILS
S-11	NEW VALVE CHAMBER STAIR DETAILS
S-12	STRUCTURAL DETAILS 1 OF 8
S-13	STRUCTURAL DETAILS 2 OF 8
S-14	STRUCTURAL DETAILS 3 OF 8
S-15	STRUCTURAL DETAILS 4 OF 8
S-16	STRUCTURAL DETAILS 5 OF 8
S-17	STRUCTURAL DETAILS 6 OF 8
S-18	STRUCTURAL DETAILS 7 OF 8
S-19	STRUCTURAL DETAILS 8 OF 8
S-20	EXISTING VALVE CHAMBER STAIR RESTORATION
<b>MECHANICAL</b>	
MR-01	MECHANICAL REMOVALS
M-01	MECHANICAL PLAN AT 244.500
M-02	MECHANICAL SECTION 1 OF 2
M-03	MECHANICAL SECTION 2 OF 2
M-04	MECHANICAL ENLARGED PLAN
M-05	FLUSHING VALVE ROOM PLAN AND SECTIONS
M-06	MECHANICAL DETAILS 1 OF 2
M-07	MECHANICAL DETAILS 2 OF 2
M-08	HVAC SCHEMATIC
M-09	WEST ACCESS BLDG HVAC PLAN
M-10	WEST ACCESS BLDG HVAC SECTIONS
M-11	HVAC SCHEDULE

DWG_NO	TITLE
<b>INSTRUMENTATION</b>	
I-01	TYPICAL P&ID SYMBOLS LEGEND 1
I-02	TYPICAL P&ID SYMBOLS LEGEND 2
I-03	TYPICAL P&ID SYMBOLS LEGEND 3
I-04	P&ID 1 OF 3
I-05	P&ID 2 OF 3
I-06	P&ID 3 OF 3
I-07	HYDRAULIC PROFILE
<b>P&amp;C CONTROL PANEL</b>	
11-01	COVER PAGE
11-02	DRAWING INDEX
11-03	SYMBOLS LEGENDS
11-04	FLOOR PLAN
11-05	FLOOR PLAN
11-06	EXTERIOR LAYOUT
11-07	INTERIOR LAYOUT
11-08	I/O TERMINAL BLOCK DETAILS
11-09	120VAC & 24VDC POWER RAIL DETAILS
11-10	BILL OF MATERIALS
12-01	NETWORK DIAGRAM & PORT ASSIGNMENTS
13-01	120VAC POWER WIRING DIAGRAM 1
13-02	120VAC POWER WIRING DIAGRAM 2
13-03	120VAC POWER WIRING DIAGRAM 3
13-04	24VDC POWER WIRING DIAGRAM 1
13-05	24VDC POWER WIRING DIAGRAM 2
13-06	CONTROLLOGIX RACK 0 SLOT 0-1 CPU & ETHERNET CARD
13-07	CONTROLLOGIX RACK 0 SLOT 2-3 ETHERNET CARD & SPARE SLOT
13-08	CONTROLLOGIX RACK 0 SLOT 4-5 DIGITAL INPUT CARDS
13-09	CONTROLLOGIX RACK 0 SLOT 6-7 DIGITAL INPUT CARDS
13-10	CONTROLLOGIX RACK 0 SLOT 8-9 SPARE SLOTS
13-11	CONTROLLOGIX RACK 0 SLOT 10 DIGITAL OUTPUT CARDS
13-12	CONTROLLOGIX RACK 0 SLOT 11 DIGITAL OUTPUT CARDS
13-13	CONTROLLOGIX RACK 0 SLOT 12 ANALOG INPUT CARDS
13-14	CONTROLLOGIX RACK 0 SLOT 13 ANALOG INPUT CARDS
13-15	CONTROLLOGIX RACK 0 SLOT 14 SPARE SLOT
13-16	CONTROLLOGIX RACK 0 SLOT 15-16 SPARE SLOTS
13-17	CONTROLLOGIX RACK 1 SLOT 0-1 ETHERNET CARD & SPARE SLOT
13-18	CONTROLLOGIX RACK 1 SLOT 2-3 DIGITAL INPUT CARDS
13-19	CONTROLLOGIX RACK 1 SLOT 4-5 DIGITAL INPUT CARDS
13-20	CONTROLLOGIX RACK 1 SLOT 6-7 DIGITAL INPUT CARDS
13-21	CONTROLLOGIX RACK 1 SLOT 8-9 DIGITAL OUTPUT CARD & SPARE SLOT
13-22	CONTROLLOGIX RACK 1 SLOT 10 DIGITAL OUTPUT CARDS
13-23	CONTROLLOGIX RACK 1 SLOT 11 SPARE SLOT
13-24	CONTROLLOGIX RACK 1 SLOT 12 ANALOG INPUT CARDS
13-25	CONTROLLOGIX RACK 1 SLOT 13-14 SPARE SLOTS
13-26	CONTROLLOGIX RACK 1 SLOT 15-16 SPARE SLOTS
13-27	120VAC POWER WIRING DIAGRAM 4
13-28	120VAC POWER WIRING DIAGRAM 5

DWG_NO	TITLE
<b>ELECTRICAL</b>	
ER-01	EQ TANK WEST ACCESS BLDG ELECTRICAL REMOVAL PLAN AT 250.00
ER-02	NETWORK ARCHITECTURE REMOVAL PLAN
E-01	ELECTRICAL SITE PLAN
E-02	SITE WIDE ELECTRICAL SINGLE LINE DIAGRAM
E-03	EQ TANK SINGLE LINE DIAGRAM
E-04	MCC-6 ELEVATION AND PANEL SCHEDULES
E-05	SWITCHGEAR ELEVATION AND MODIFICATIONS
E-06	SWITCHGEAR COMMUNICATIONS PLAN MODIFICATIONS
E-07	PUMPING STATION EQUIPMENT AND SERVICES LAYOUT AT 252.00
E-08	EQ TANK WEST ACCESS BLDG ELECTRICAL EQUIPMENT LAYOUT AT 250.00
E-09	NEW VFD ELECTRICAL ROOM SERVICES PLAN AT 250.00
E-10	EQ TANK WEST ACCESS BLDG ELECTRICAL EQUIPMENT LAYOUT AT 244.40
E-11	WEST VALVE CHAMBER SERVICES PLAN AT 244.40
E-12	EAST VALVE CHAMBER EQUIPMENT AND SERVICES LAYOUT AT 244.40
E-13	MOTOR PROTECTION RELAY SCHEMATICS
E-14	PUMP 1 MOTOR CONTROL SCHEMATIC
E-15	PUMP 2 MOTOR CONTROL SCHEMATIC
E-16	ODOUR CONTROL UNIT EXHAUST FAN 1 (EF-1) MOTOR CONTROL SCHEMATIC
E-17	ODOUR CONTROL UNIT SUPPLY FAN 4 (SF-4) MOTOR CONTROL SCHEMATIC
E-18	VFD ELECTRICAL ROOM EXHAUST FAN MOTOR CONTROL SCHEMATICS
E-19	TYPICAL CONTROL SCHEMATICS
E-20	EQ TANK ISB PANEL LAYOUT
E-21	EQ TANK ISB PANEL WIRING SCHEMATICS
E-22	REMOTE SWITCHGEAR HMI PANEL LAYOUT AND SCHEMATIC
E-23	EQ TANK WEST ACCESS BLDG ELECTRICAL ROOM SECURITY LAYOUT AT 250.00
E-24	NETWORK DIAGRAM
E-25	ELECTRICAL DETAILS 1 OF 3
E-26	ELECTRICAL DETAILS 2 OF 3
E-27	ELECTRICAL DETAILS 3 OF 3

File: N:\CAD\InDesign\Layout\CAD\Drawings\117802\117802-117802-REPORT\117802-117802-000001\117802-117802-000001.dwg, Layout: C-02 Date: Sep 05, 2019 4:40pm, ERI:By: jcompton

No.	DATE	REVISIONS	BY
1	04/31/2018	ISSUED FOR 90% REVIEW	D.B.
2	06/28/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.
3	08/06/2018	ISSUED FOR 100% REVIEW	D.B.
4	08/08/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.
5	09/05/2018	ISSUED FOR TENDER	D.B.

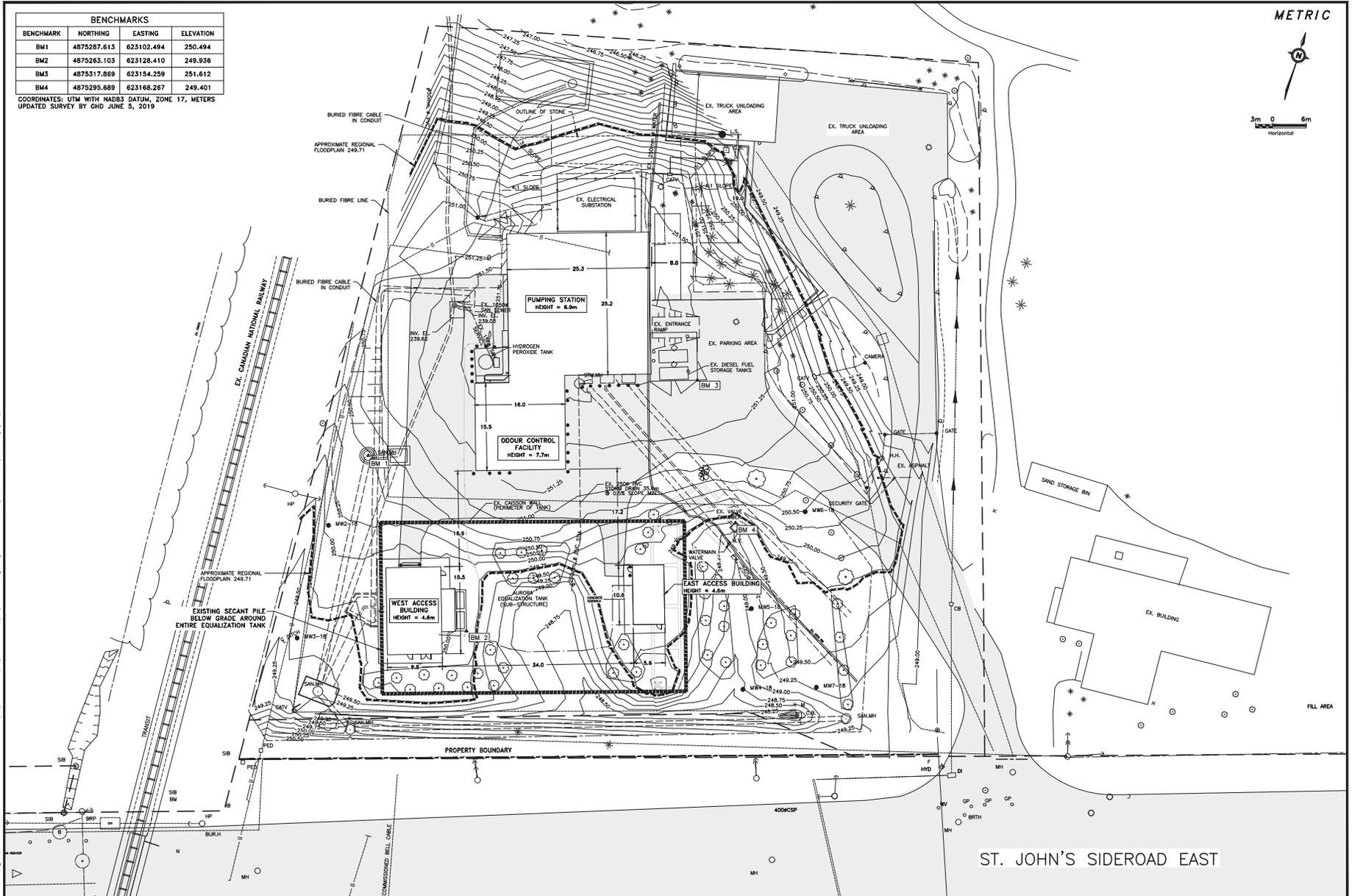


DESIGN	AURORA INTERIM SEWAGE SERVICING SOLUTION	DWG. NO. G-02
DRAWN	DRAWING INDEX	CONT. NO. T-19-236
J.COMPTON		SHEET NO. 2 OF 123
CHECKED		

TOPOGRAPHICAL	MUNICIPAL SYMBOLS	GEOLOGIC & HYDROGEOLOGIC SECTIONS	MATERIAL METRIC
<p><b>PROPERTY BOUNDARY</b></p> <p><b>SITE BOUNDARY</b></p> <p><b>FENCE</b></p> <p><b>DITCH, SWALE</b></p> <p><b>GROUND CONTOUR</b></p> <p><b>GROUNDWATER ELEVATION CONTOUR (PIEZOMETRIC OR POTENTIOMETRIC SURFACE)</b></p> <p><b>SOIL EXCAVATION CONTOUR</b></p> <p><b>FINAL CONTOUR</b></p> <p><b>LIMIT OF REFUSE DISPOSAL</b></p> <p><b>SLOPED SURFACE (TOP OF BANK)</b></p> <p><b>BUILDING</b></p> <p><b>RAILWAY</b></p> <p><b>SHORELINE</b></p> <p><b>ACCESS ROAD</b></p> <p><b>WATERMAIN</b></p> <p><b>SANITARY SEWER</b></p> <p><b>STORM SEWER</b></p> <p><b>GAS MAIN</b></p> <p><b>TELEPHONE LINE</b></p> <p><b>CABLE TELEVISION</b></p> <p><b>ELECTRIC CABLE</b></p> <p><b>UNDERGROUND CONDUIT</b></p> <p><b>OVERHEAD CABLE, WIRE</b></p>	<p><b>STANDARD IRON BAR</b></p> <p><b>IRON BAR</b></p> <p><b>ROUND IRON BAR</b></p> <p><b>MONUMENT/BENCHMARK</b></p> <p><b>CUT CROSS</b></p> <p><b>IRON PIPE</b></p> <p><b>NAIL/CONTROL</b></p> <p><b>SANITARY MANHOLE</b></p> <p><b>STORM MANHOLE</b></p> <p><b>CATCHBASIN</b></p> <p><b>DOUBLE CATCHBASIN</b></p> <p><b>WATER VALVE</b></p> <p><b>VALVE CHAMBER</b></p> <p><b>CURB STOP</b></p> <p><b>HYDRANT</b></p> <p><b>DITCH INLET CATCHBASIN</b></p> <p><b>PROPOSED MUNICIPAL SYMBOLS</b></p> <p><b>PROPOSED SANITARY MANHOLE</b></p> <p><b>PROPOSED STORM MANHOLE</b></p> <p><b>PROPOSED CATCHBASIN</b></p> <p><b>PROPOSED WATER VALVE</b></p> <p><b>VEGETATION TO BE REMOVED</b></p> <p><b>BOREHOLE</b></p> <p><b>SURFACE SOIL SAMPLE</b></p> <p><b>STANDPIPE</b></p> <p><b>OBSERVATION/MONITORING WELL</b></p> <p><b>SURFACE WATER MONITORING LOCATION</b></p> <p><b>WATER SUPPLY WELL</b></p> <p><b>PIEZOMETER</b></p> <p><b>BUNDLE PIEZOMETER</b></p> <p><b>EXTRACTION WELL</b></p> <p><b>PROPOSED BOREHOLE</b></p> <p><b>PROPOSED SURFACE SOIL SAMPLE</b></p> <p><b>PROPOSED STANDPIPE</b></p> <p><b>PROPOSED OBSERVATION/MONITORING WELL</b></p> <p><b>PROPOSED SURFACE WATER MONITORING LOCATION</b></p> <p><b>PROPOSED WATER SUPPLY WELL</b></p> <p><b>PROPOSED PIEZOMETER</b></p> <p><b>PROPOSED BUNDLE PIEZOMETER</b></p> <p><b>PROPOSED EXTRACTION WELL</b></p> <p><b>ROAD SIGN</b></p> <p><b>UTILITY POLE</b></p> <p><b>GUY ANCHOR</b></p> <p><b>GAS VALVE</b></p> <p><b>TELEPHONE PEDESTAL</b></p> <p><b>TELEPHONE CHAMBER</b></p> <p><b>HAND HOLE</b></p> <p><b>ELECTRICAL MANHOLE</b></p> <p><b>LIGHT STANDARD</b></p> <p><b>DECIDUOUS TREE AND DIAMETER</b></p> <p><b>CONIFEROUS TREE AND DIAMETER</b></p> <p><b>SHRUB AND DIAMETER</b></p> <p><b>TREE STUMP AND DIAMETER</b></p> <p><b>DECIDUOUS CLUMP TREES AND DIAMETER</b></p> <p><b>CONIFEROUS CLUMP TREES NUMBER AND DIAMETER</b></p> <p><b>PROPOSED VALVE CHAMBER</b></p> <p><b>PROPOSED HYDRANT</b></p> <p><b>PROPOSED DOUBLE CATCHBASIN</b></p> <p><b>PROPOSED UTILITY POLE</b></p> <p><b>TEST PIT</b></p> <p><b>INJECTION WELL</b></p> <p><b>GAS PROBE</b></p> <p><b>GAS VENT</b></p> <p><b>HAND AUGER BORING LOCATION</b></p> <p><b>MULTI-PHASE EXTRACTION WELL</b></p> <p><b>VAPOR EXTRACTION WELL</b></p> <p><b>AIR SPARGING WELL</b></p> <p><b>OUTFALL LOCATION</b></p> <p><b>PROPOSED TEST PIT</b></p> <p><b>PROPOSED INJECTION WELL</b></p> <p><b>PROPOSED GAS PROBE</b></p> <p><b>PROPOSED GAS VENT</b></p> <p><b>PROPOSED HAND AUGER BORING LOCATION</b></p> <p><b>PROPOSED MULTI-PHASE EXTRACTION WELL</b></p> <p><b>PROPOSED VAPOR EXTRACTION WELL</b></p> <p><b>PROPOSED AIR SPARGING WELL</b></p> <p><b>PROPOSED OUTFALL LOCATION</b></p>	<p><b>TYPICAL WELL INSTALLATION</b></p> <p><b>MEASURED WATER LEVEL</b></p> <p><b>MONITORING OR SAMPLING LOCATION</b></p> <p><b>MEASURED CHEMICAL CONCENTRATION</b></p> <p><b>SOIL CLASSIFICATIONS</b></p>	<p><b>CLAY</b></p> <p><b>SILT</b></p> <p><b>SAND</b></p> <p><b>SEDIMENT</b></p> <p><b>SAND AND GRAVEL</b></p> <p><b>CRUSHED STONE</b></p> <p><b>FILL</b></p> <p><b>WASTE, REFUSE</b></p> <p><b>RIPRAP</b></p> <p><b>BEDROCK</b></p> <p><b>SWAMP</b></p> <p><b>TOPSOIL</b></p> <p><b>ASPHALT</b></p> <p><b>FULL ASPHALT REMOVAL</b></p> <p><b>PARTIAL ASPHALT REMOVAL</b></p> <p><b>CONCRETE</b></p> <p><b>CONCRETE MASONRY UNITS</b></p> <p><b>BRICK MASONRY</b></p> <p><b>RIGID INSULATION</b></p> <p><b>BATT INSULATION</b></p> <p><b>WOOD, ROUGH NON-CONTINUOUS</b></p> <p><b>ROCK SURFACE</b></p> <p><b>EARTH SURFACE</b></p> <p><b>GRATING</b></p> <p><b>ARCHITECTURAL</b></p> <p><b>MISCELLANEOUS</b></p>

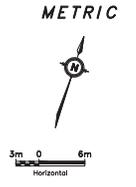
<p style="font-size: 8px;">GHD Limited 455 Pelly Street Wheatley, Ontario M5S 1Y7 Canada T 519 884 0519 F 519 884 0525 W www.ghd.com</p>		<table border="1" style="font-size: 8px;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>REVISIONS</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>04/31/2018</td> <td>ISSUED FOR 90% REVIEW</td> <td>D.B.</td> </tr> <tr> <td>3</td> <td>06/28/2018</td> <td>ISSUED FOR MECP ECA (SEWAGE) APPLICATION</td> <td>D.B.</td> </tr> <tr> <td>4</td> <td>08/05/2018</td> <td>ISSUED FOR 100% REVIEW</td> <td>D.B.</td> </tr> <tr> <td>5</td> <td>08/08/2018</td> <td>ISSUED FOR MECP ECA (SEWAGE) APPLICATION</td> <td>D.B.</td> </tr> <tr> <td>6</td> <td>09/05/2018</td> <td>ISSUED FOR TENDER</td> <td>D.B.</td> </tr> </tbody> </table>	No.	DATE	REVISIONS	BY	2	04/31/2018	ISSUED FOR 90% REVIEW	D.B.	3	06/28/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.	4	08/05/2018	ISSUED FOR 100% REVIEW	D.B.	5	08/08/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.	6	09/05/2018	ISSUED FOR TENDER	D.B.		<table border="1" style="font-size: 8px;"> <tr> <td>DESIGN</td> <td>-</td> </tr> <tr> <td>DRAWN</td> <td>J.COMPTON</td> </tr> <tr> <td>CHECKED</td> <td>-</td> </tr> </table>	DESIGN	-	DRAWN	J.COMPTON	CHECKED	-	<p style="font-size: 8px;">AURORA INTERIM SEWAGE SERVICING SOLUTION</p> <p style="font-size: 10px; font-weight: bold;">CIVIL, STRUCTURAL AND ARCHITECTURAL LEGEND</p>	<table border="1" style="font-size: 8px;"> <tr> <td>DWG. NO.</td> <td>G-03</td> </tr> <tr> <td>CONT. NO.</td> <td>T-19-236</td> </tr> <tr> <td>SHEET NO.</td> <td>3 OF 123</td> </tr> </table>	DWG. NO.	G-03	CONT. NO.	T-19-236	SHEET NO.	3 OF 123
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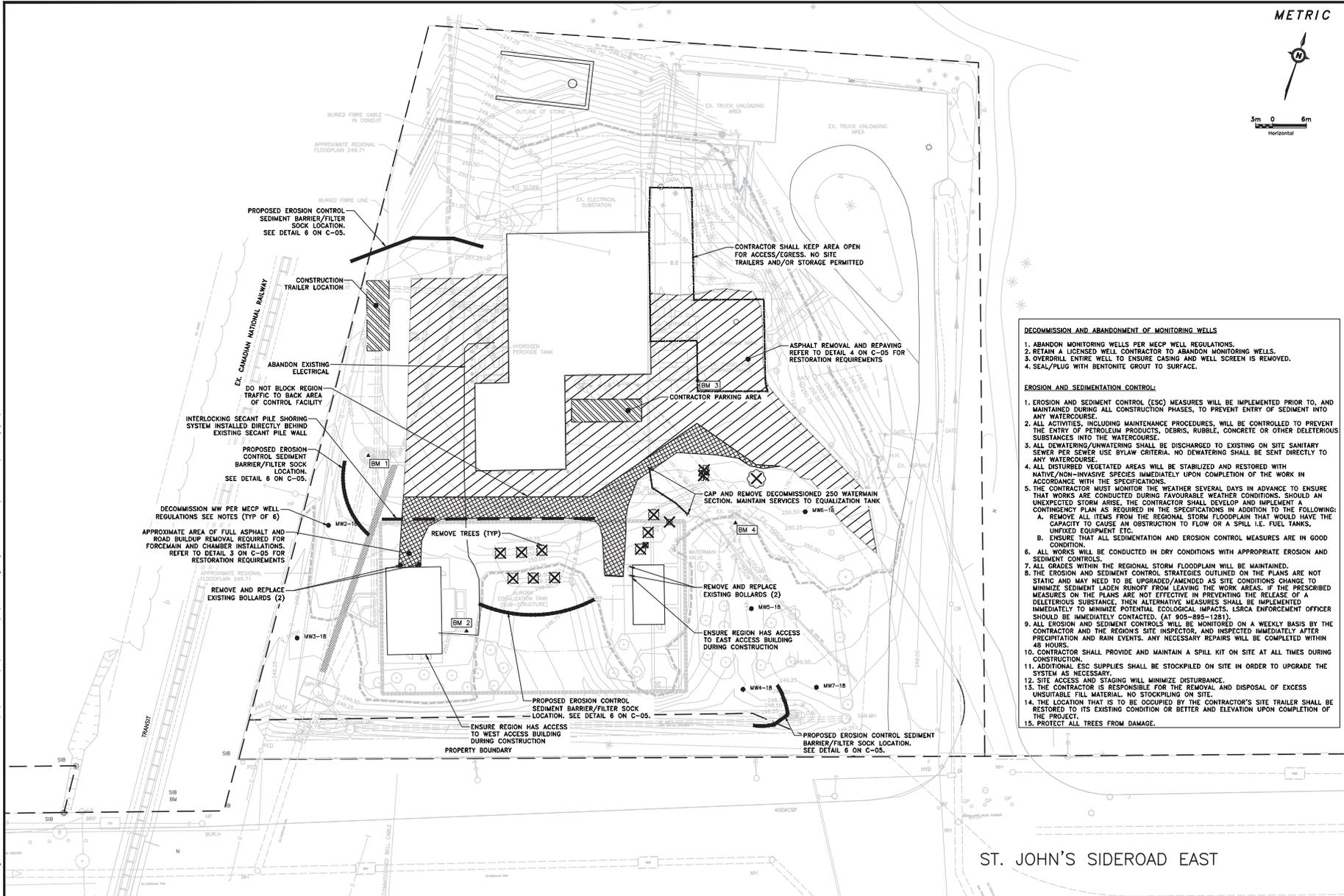
BENCHMARKS			
BENCHMARK	NORTHING	EASTING	ELEVATION
BM1	4875287.613	623102.494	250.494
BM2	4875263.103	623128.410	249.936
BM3	4875317.869	623154.259	251.612
BM4	4875295.689	623168.267	249.401

COORDINATES: UTM WITH NAD83 DATUM, ZONE 17, METERS  
 UPDATED SURVEY BY GHD JUNE 5, 2019



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<p>GHD Limited                  455 Pelly Street                  Waterloo, Ontario N2L 2Y2 Canada                  T 519 884 0519 F 519 884 0525 W www.ghd.com</p>		No.	DATE	REVISIONS	BY	<p><b>Environmental Services</b></p>	DESIGN	AURORA INTERIM SEWAGE SERVICING SOLUTION EXISTING CONDITIONS	DWG. NO.
		5	08/08/2018	ISSUED FOR 100% REVIEW	D.B.		M.HERTZBERGER		C-01
	6	08/08/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.	M.HERTZBERGER		CONT. NO.		
	7	08/13/2018	ISSUED FOR SITE PLAN REVIEW	D.B.			T-19-236		
	8	08/14/2018	ISSUED FOR LSRC APPROVAL	D.B.			SHEET NO.		
	9	09/06/2018	ISSUED FOR TENDER	D.B.			12 OF 123		



- DECOMMISSION AND ABANDONMENT OF MONITORING WELLS**
1. ABANDON MONITORING WELLS PER MECP WELL REGULATIONS.
  2. RETAIN A LICENSED WELL CONTRACTOR TO ABANDON MONITORING WELLS.
  3. OVERDRILL ENTIRE WELL TO ENSURE CASING AND WELL SCREEN IS REMOVED.
  4. SEAL/PLUG WITH BENTONITE GROUT TO SURFACE.
- EROSION AND SEDIMENTATION CONTROL:**
1. EROSION AND SEDIMENT CONTROL (ESC) MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING ALL CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO ANY WATERCOURSE.
  2. ALL ACTIVITIES, INCLUDING MAINTENANCE PROCEDURES, WILL BE CONTROLLED TO PREVENT THE ENTRY OF PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE OR OTHER DELETERIOUS SUBSTANCES INTO THE WATERCOURSE.
  3. ALL DEWATERING/UNWATERING SHALL BE EXISTING ON SITE SANITARY SEWER PER SEWER USE BYLAW CRITERIA. NO DEWATERING SHALL BE SENT DIRECTLY TO ANY WATERCOURSE.
  4. ALL DISTURBED VEGETATED AREAS WILL BE STABILIZED AND RESTORED WITH NATIVE/NON-INVASIVE SPECIES IMMEDIATELY UPON COMPLETION OF THE WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
  5. THE CONTRACTOR MUST MONITOR THE WEATHER SEVERAL DAYS IN ADVANCE TO ENSURE THAT WORKS ARE CONDUCTED DURING FAVOURABLE WEATHER CONDITIONS. SHOULD AN UNEXPECTED STORM ARISE, THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A CONTINGENCY PLAN AS REQUIRED IN THE SPECIFICATIONS IN ADDITION TO THE FOLLOWING:
    - A. REMOVE ALL ITEMS FROM THE REGIONAL STORM FLOODPLAIN THAT WOULD HAVE THE CAPACITY TO CAUSE AN OBSTRUCTION TO FLOW OR A SPILL I.E. FUEL TANKS, UNFIXED EQUIPMENT ETC.
    - B. ENSURE THAT ALL SEDIMENTATION AND EROSION CONTROL MEASURES ARE IN GOOD CONDITION
  6. ALL WORKS WILL BE CONDUCTED IN DRY CONDITIONS WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.
  7. ALL GRADES WITHIN THE REGIONAL STORM FLOODPLAIN WILL BE MAINTAINED.
  8. THE EROSION AND SEDIMENT CONTROL STRATEGIES OUTLINED ON THE PLANS ARE NOT STATIC AND MAY NEED TO BE UPGRADED/AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LAIDN RUNOFF FROM LEAVING THE WORK AREAS. IF THE PRESCRIBED MEASURES ON THE PLANS ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A DELETERIOUS SUBSTANCE, THEN ALTERNATIVE MEASURES SHALL BE IMPLEMENTED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS. LSRA ENFORCEMENT OFFICER SHOULD BE IMMEDIATELY CONTACTED. (AT 905-895-1281).
  9. ALL EROSION AND SEDIMENT CONTROLS WILL BE MONITORED ON A WEEKLY BASIS BY THE CONTRACTOR AND THE REGION'S SITE INSPECTOR, AND INSPECTED IMMEDIATELY AFTER PRECIPITATION AND RAIN EVENTS, ANY NECESSARY REPAIRS WILL BE COMPLETED WITHIN 48 HOURS.
  10. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SPILL KIT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  11. ADDITIONAL ESC SUPPLIES SHALL BE STOCKPILED ON SITE IN ORDER TO UPGRADE THE SYSTEM AS NECESSARY.
  12. SITE ACCESS AND STAGING WILL MINIMIZE DISTURBANCE.
  13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF EXCESS UNSUITABLE FILL MATERIAL, NO STOCKPILING ON SITE.
  14. THE LOCATION THAT IS TO BE OCCUPIED BY THE CONTRACTOR'S SITE TRAILER SHALL BE RESTORED TO ITS EXISTING CONDITION OR BETTER AND ELEVATION UPON COMPLETION OF THE PROJECT.
  15. PROTECT ALL TREES FROM DAMAGE.

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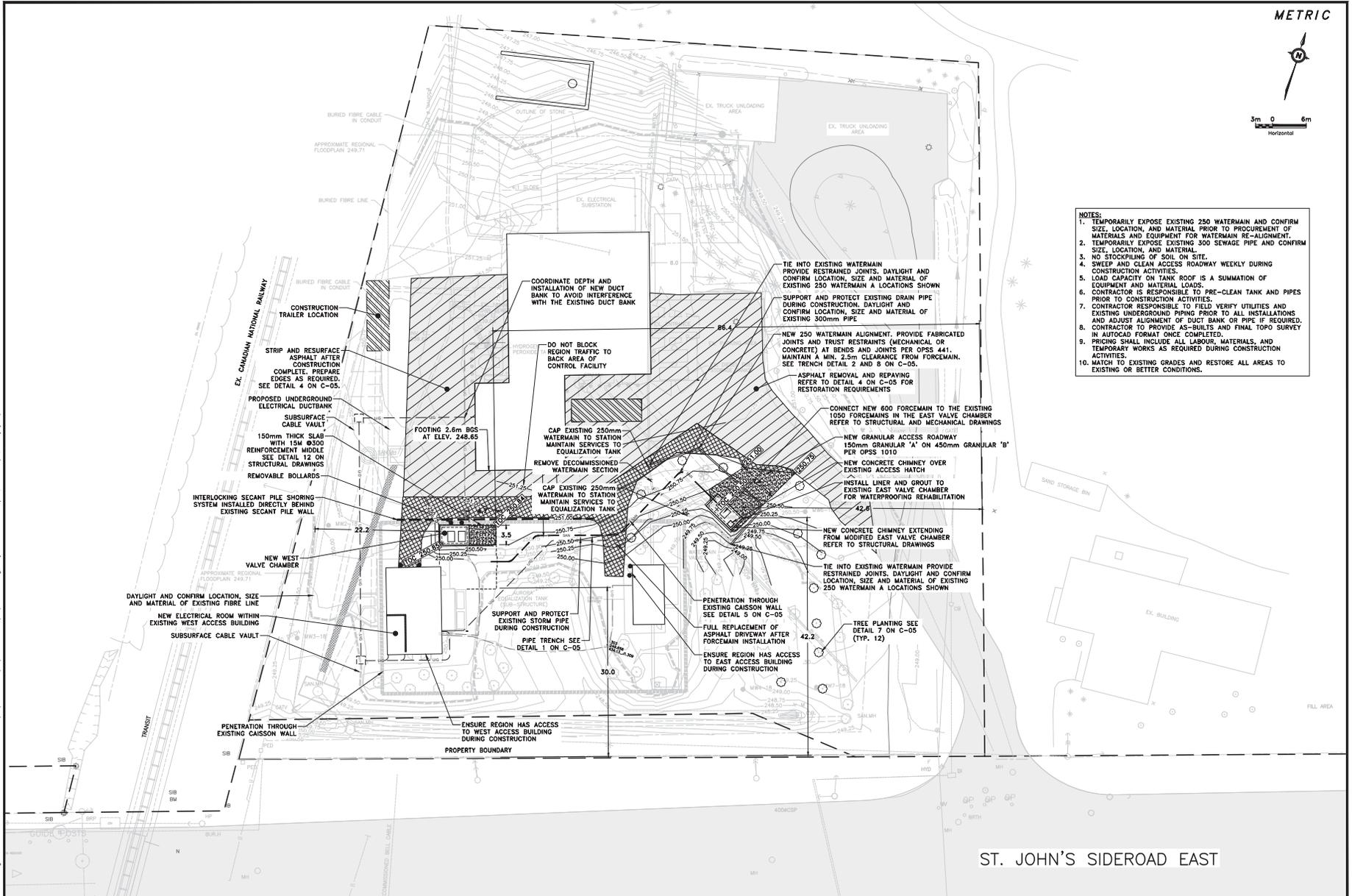
No.	DATE	REVISIONS	BY
5	08/08/2018	ISSUED FOR 100% REVIEW	D.B.
6	08/08/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.
7	08/13/2018	ISSUED FOR SITE PLAN REVIEW	D.B.
8	08/14/2018	ISSUED FOR LSRA APPROVAL	D.B.
9	09/06/2018	ISSUED FOR TENDER	D.B.



DESIGN	M.HERTZBERGER
DRAWN	M.HERTZBERGER
CHECKED	D.PAYNTER

AURORA INTERIM SEWAGE  
 SERVICING SOLUTION  
**REMOVALS AND  
 SITE PREPARATION PLAN**

DWG. NO.	C-02
CONT. NO.	T-19-236
SHEET NO.	13 OF 123



- NOTES:**
1. TEMPORARILY EXPOSE EXISTING 250 WATERMAIN AND CONFIRM SIZE, LOCATION, AND MATERIAL PRIOR TO PROCUREMENT OF MATERIALS AND EQUIPMENT FOR WATERMAIN RE-ALIGNMENT.
  2. TEMPORARILY EXPOSE EXISTING 300 SEWAGE PIPE AND CONFIRM SIZE, LOCATION, AND MATERIAL.
  3. NO STOCKPILING OF SOIL ON SITE.
  4. SWEEP AND CLEAN ACCESS ROADWAY WEEKLY DURING CONSTRUCTION ACTIVITIES.
  5. LOAD CAPACITY ON TANK ROOF IS A SUMMATION OF EQUIPMENT AND MATERIAL LOADS.
  6. CONTRACTOR IS RESPONSIBLE TO PRE-CLEAN TANK AND PIPES PRIOR TO CONSTRUCTION ACTIVITIES.
  7. CONTRACTOR RESPONSIBLE TO FIELD VERIFY UTILITIES AND EXISTING UNDERGROUND PIPING PRIOR TO ALL INSTALLATIONS AND ADJUST ALIGNMENT OF DUCT BANK OR PIPE IF REQUIRED.
  8. CONTRACTOR TO PROVIDE AS-BUILTS AND FINAL TOPO SURVEY IN AUTOCAD FORMAT ONCE COMPLETED.
  9. PRICING SHALL INCLUDE ALL LABOUR, MATERIALS, AND TEMPORARY WORKS AS REQUIRED DURING CONSTRUCTION ACTIVITIES.
  10. MATCH TO EXISTING GRADES AND RESTORE ALL AREAS TO EXISTING OR BETTER CONDITIONS.

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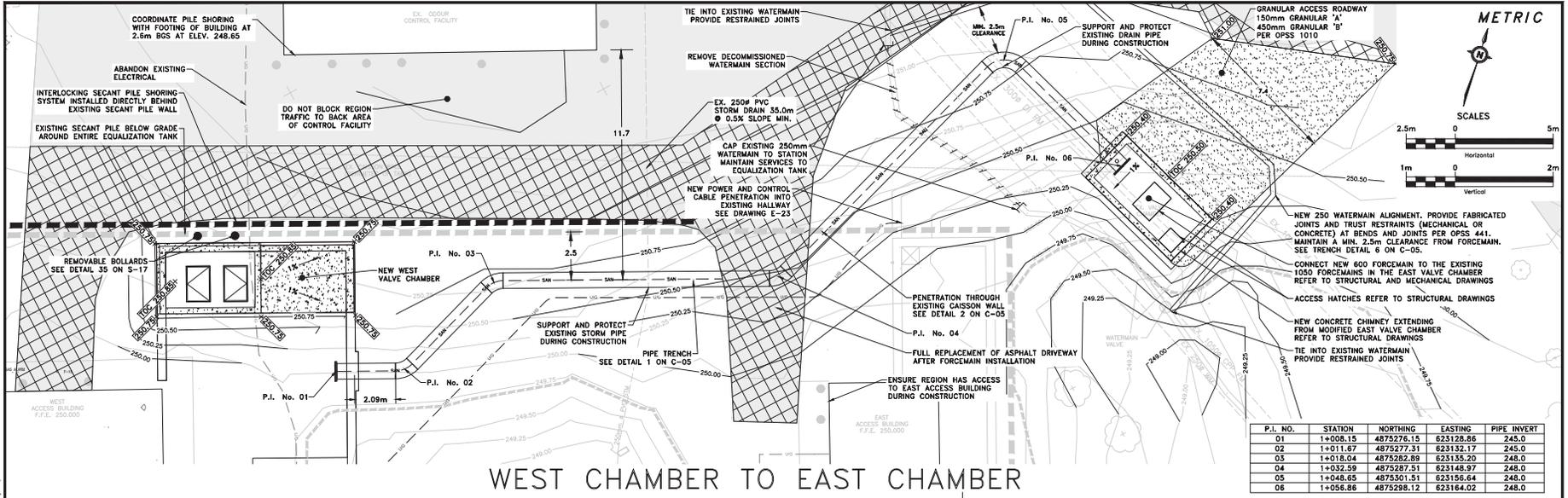
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7	08/14/2018	ISSUED FOR LSRCA APPROVAL	D.B.
8	09/07/2018	ISSUED FOR TENDER	D.B.



DESIGN	M.HERTZBERGER
DRAWN	M.HERTZBERGER
CHECKED	D.PAYNTER

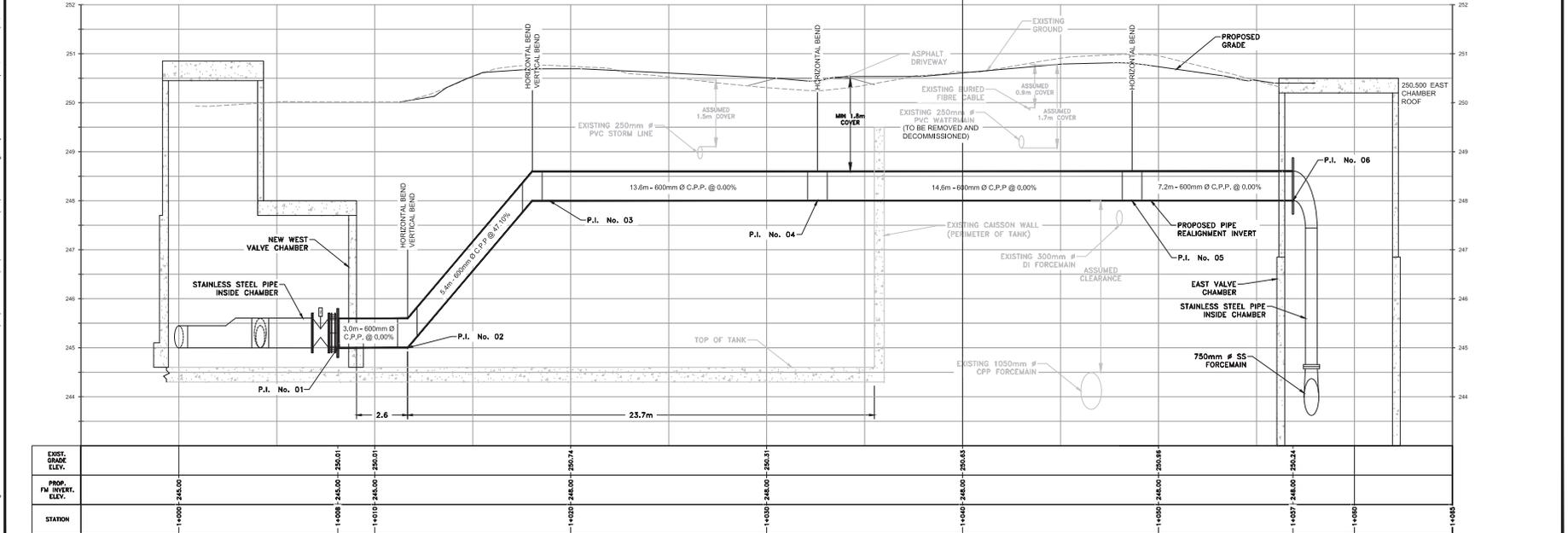
AURORA INTERIM SEWAGE  
 SERVICING SOLUTION  
**PROPOSED SITE PLAN**

DWC. NO.	C-03
CONT. NO.	T-19-236
SHEET NO.	14 OF 123



P.I. NO.	STATION	NORTHING	EASTING	PIPE INVERT
01	1+006.15	4875276.15	623128.66	245.0
02	1+011.67	4875277.31	623132.17	245.0
03	1+018.04	4875282.89	623135.20	248.0
04	1+032.59	4875287.51	623146.97	248.0
05	1+048.65	4875301.51	623156.64	248.0
06	1+056.86	4875298.12	623164.02	248.0

WEST CHAMBER TO EAST CHAMBER



STATION	EXIST. GRADE ELEV.	PROP. FM INVERT ELEV.
1+000	245.00	245.00
1+008	245.00	250.01
1+010	245.00	250.01
1+020	245.00	250.71
1+030	245.00	250.71
1+040	245.00	250.65
1+050	245.00	250.65
1+057	245.00	250.24

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES APPROXIMATE ONLY, TO BE VERIFIED IN FIELD BY CONTRACTOR.



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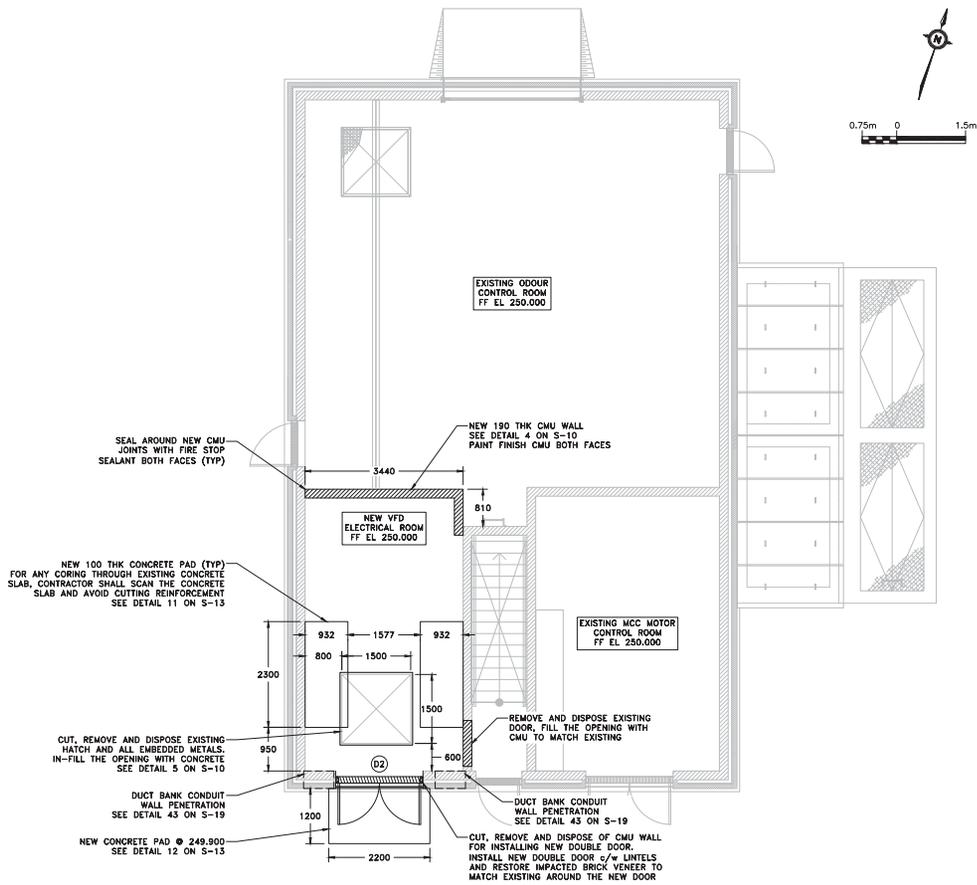


DESIGN M.HERTZBERGER	AURORA INTERIM SEWAGE SERVICING SOLUTION <b>PROPOSED PIPE REALIGNMENT PLAN &amp; PROFILE</b> STATION 0+995 TO 1+065	DWC. NO. C-04
DRAWN K.SEGUIN		CONT. NO. T-19-236
CHECKED D.PAYNTER		SHEET NO. 15 OF 123

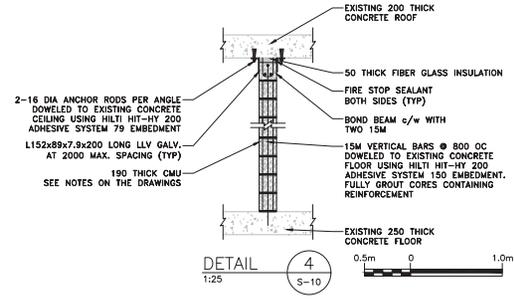
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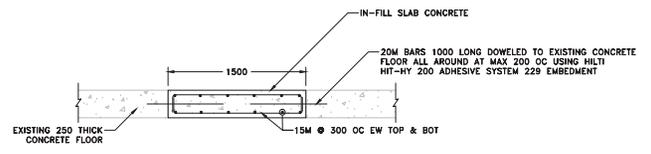
METRIC



EQUALIZATION WEST ACCESS BUILDING MAIN FLOOR  
 1:50



DETAIL 4  
 1:25  
 S-10



DETAIL 5  
 1:25  
 S-10

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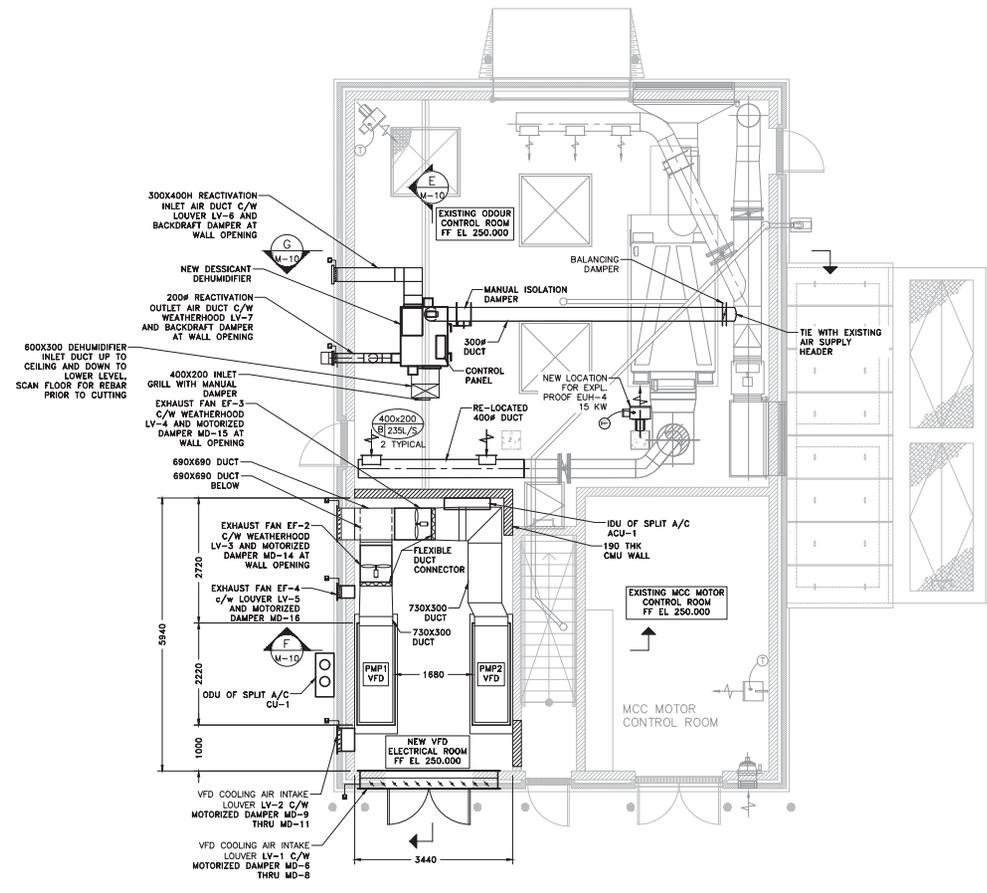
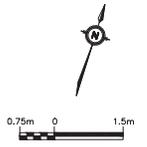


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6	09/09/2019	ISSUED FOR TENDER	D.B.



DESIGN A.AMEEN	AURORA INTERIM SEWAGE SERVICING SOLUTION <b>EQUALIZATION TANK WEST ACCESS BLDG PLAN, SECTION, AND DETAILS</b>	DWG. NO. S-10
DRAWN J.COMPTON		CONT. NO. T-19-236
CHECKED T.MORRISON		SHEET NO. 26 OF 123

METRIC



WEST ACCESS BUILDING MAIN FLOOR  
 1:50

NOTES:  
 1. CONDENSATE DRAIN FROM AC UNIT SHALL BE ROUTED TO THE NEAREST DRAIN OUTSIDE BUILDING

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3	08/08/2018	ISSUED FOR 100% REVIEW	D.B.
4	09/09/2018	ISSUED FOR MECP ECA (SEWAGE) APPLICATION	D.B.
5	08/13/2019	ISSUED FOR SITE PLAN REVIEW	D.B.
6	09/09/2019	ISSUED FOR TENDER	D.B.



DESIGN R.HANKE
DRAWN K.AGYBY
CHECKED I.SCOTT

AURORA INTERIM SEWAGE SERVICING SOLUTION  
 WEST ACCESS BLDG  
 HVAC PLAN

DWG. NO. M-09
CONT. NO. T-19-236
SHEET NO. 46 OF 123





100 John West Way,  
Box 1000,  
Aurora, ON L4G 6J1  
**Phone:** 905-727-3123 Ext. 4346  
**Email:** [slapenna@aurora.ca](mailto:slapenna@aurora.ca)  
[www.aurora.ca](http://www.aurora.ca)

**Planning and Development Services**

## **INTERNAL MEMORANDUM**

**DATE:** October 15, 2019

**TO:** Bill Butler, Planning & Development Services Engineer  
G. Greidanus, Operations – Parks  
S. Sample, Building Division  
M. Bat, Engineering & Capital Delivery  
M. Zawada, Accessibility Advisor  
G. Zinck, Waste/Recycling Coordinator

**FROM:** Sean Lapenna, Planning and Development Services

**RE:** **Site Plan Application – New Industrial Building w/Office Space**  
**320 Industrial Parkway South**  
**Lot 25, Plan M-2012**  
**File Number: SP-2019-07**  
**1<sup>st</sup> Submission**

---

A 1<sup>st</sup> submission has been made to the Planning and Development Services Department for the above noted Site Plan application. The application was submitted in order to accommodate a newly proposed Industrial Building with Office Space.

Please find attached supporting documents for the above noted application.

I would appreciate receiving your comments by **November 13, 2019**. If I have not received your comments by the specified time frame, I will assume you have no comments or concerns.

Should you have any questions regarding the above noted proposal, please feel free to contact me.

Regards,

A handwritten signature in blue ink that reads "Sean Lapenna".

Sean Lapenna  
Planner  
Town of Aurora  
Planning and Development Services  
Tel: 905-727-3123, ext. 4346  
[slapenna@aurora.ca](mailto:slapenna@aurora.ca)



No.	ISSUED	DATE
1	ISSUED FOR REVIEW	APRIL 29, 2019
2	ISSUED FOR SITE PLAN APPROVAL	OCT. 3 2019

No.	REVISION	DATE
-----	----------	------

**BALDASSARRA**  
 Architects Inc.

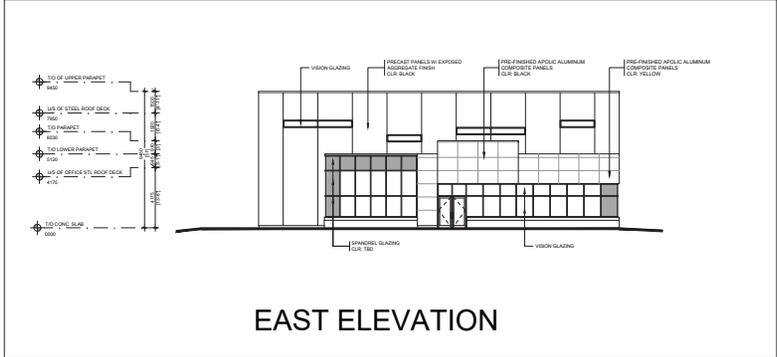
200-7800 Jane St | Vaughan ON | L4K 4R0  
 T: 905-660-0722 | www.baldassarra.ca

OWNERS INFORMATION

320 INDUSTRIAL PARKWAY SOUTH  
 AURORA, ON

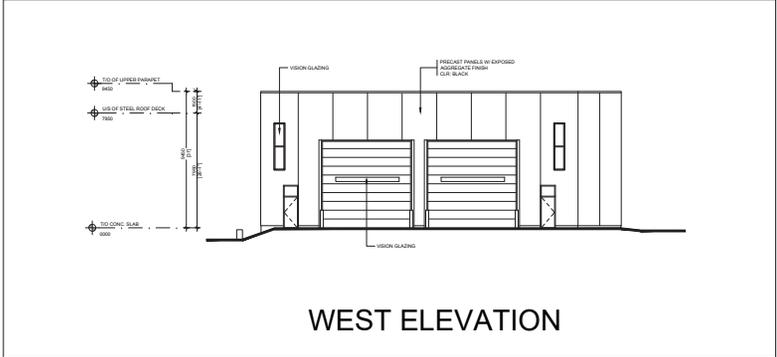
**ELEVATIONS**

DATE:	DRAWN BY:	CHECKED:	SCALE:
APR. 2019	HP	HP	1:150
PROJECT NO.:		DRAWING NO.:	
O: 1933		A-3.0	



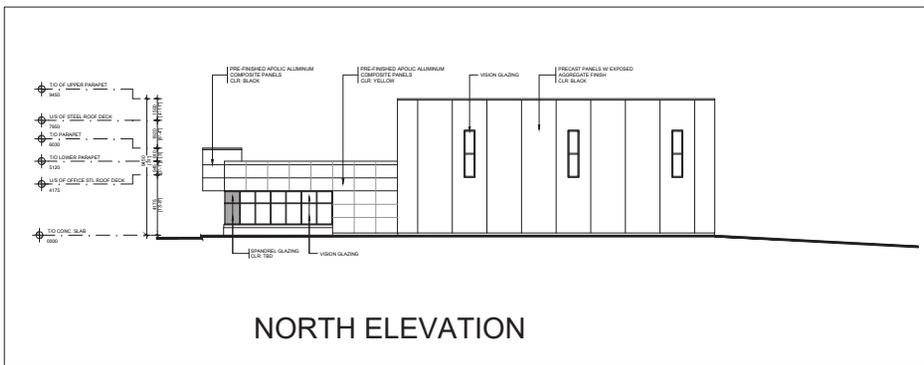
**EAST ELEVATION**

**1 East Elevation**  
 A-3.0 1:150



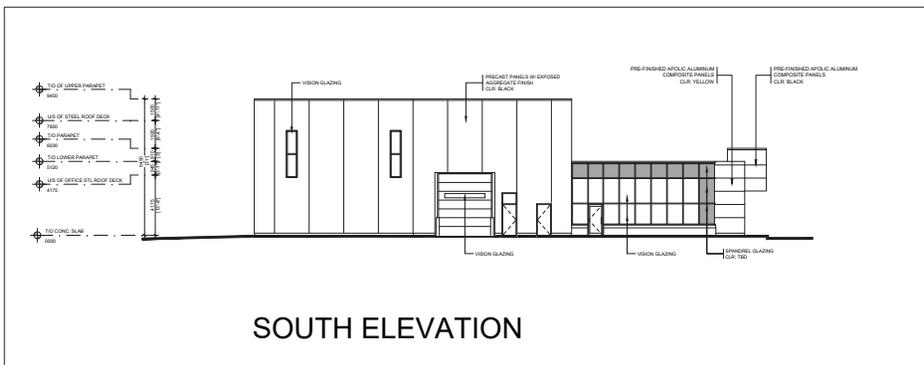
**WEST ELEVATION**

**2 West Elevation**  
 A-3.0 1:150



**NORTH ELEVATION**

**3 North Elevation**  
 A-3.0 1:150



**SOUTH ELEVATION**

**4 South Elevation**  
 A-3.0 1:150

320 Industrial Parkway South, Aurora, Ontario L4K 4R0



100 John West Way,  
Box 1000,  
Aurora, ON L4G 6J1  
**Phone:** 905-727-3123 Ext. 4346  
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**www.aurora.ca**

**Planning and Development Services**

**INTERNAL MEMORANDUM**

**DATE:** October 15, 2019

**TO:** B. Butler, Planning & Development Services Engineer  
G. Greidanus, Operations – Parks  
S. Sample, Building Division  
M. Bat, Engineering & Capital Delivery  
M. Zawada, Accessibility Advisor  
G. Zinck, Waste/Recycling Coordinator

**FROM:** Sean Lapenna, Planning and Development Services

**RE:** **Site Plan Amendment Application**  
**16015 Bayview Avenue**  
**Part 1, Plan 65R-32530**  
**File Number: SP-2019-08**  
**1<sup>st</sup> Submission**

---

A 1<sup>st</sup> submission has been made to the Planning and Development Services Department for the above noted Site Plan amendment application (Building B).

The application was submitted in order to propose an alternative building orientation and subsequent parking configuration for Building B, located on site. Site Plan approval had previously been issued for this building (SP-2017-01) and the original site plan from 2017 has been attached.

Please find attached supporting documents for the above noted application. Hard copy material will also be delivered to you.

I would appreciate receiving your comments by **November 5, 2019**. If I have not received your comments by the specified time frame, I will assume you have no comments or concerns.

Should you have any questions regarding the above noted proposal, please feel free to contact me.

Regards,

A handwritten signature in blue ink that reads "Sean Lapenna".

Sean Lapenna  
Planner  
Town of Aurora  
Planning and Development Services  
Tel: 905-727-3123, ext. 4346  
[slapenna@aurora.ca](mailto:slapenna@aurora.ca)

**TURNER FLEISCHER**  
 TURNER FLEISCHER ARCHITECTS INC.  
 40 LEXINGTON ROAD, SUITE 1000, NEW YORK, NY 10017  
 PH: (212) 692-1100 FAX: (212) 692-1101  
 WWW.TFARCHITECTS.COM

PLAN OF SURVEY OF PART OF LOT 28 CONSERVACY, GEOGRAPHIC TOWNSHIP OF WHITECLOUD REGIONAL MUNICIPALITY OF YORK

**LEGEND**  
 PROPOSED RETAINED AREA  
 PROPOSED FEE AVENUE  
 PROPOSED FEE FRONT  
 PROPOSED BARBER CONNECTION  
 PROPOSED SIDE  
 PROPOSED FEE FENCE (SEE DETAIL NO. 8)  
 PROPOSED FEE FENCE (SEE DETAIL NO. 8)

THE **PLANNED** PROJECT OF THIS Design Center Project  
 I, the undersigned, hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed Professional Engineer in the State of New York.  
 My Commission No. 14,783,037  
 My Expiration Date 12/31/2021  
 My Signature: Paul Hines

DATE: 11/13/19  
 TIME: 10:00 AM  
 LOCATION: 800 ST. JOHN'S SIDEROAD EAST  
 JOURNAL: 000000  
 SHEET NO.: 11 OF 11  
 PROJECT NO.: A1-68

**800 ST. JOHN'S SIDEROAD EAST**  
 JOURNAL: 000000  
 SHEET NO.: 11 OF 11  
 PROJECT NO.: A1-68

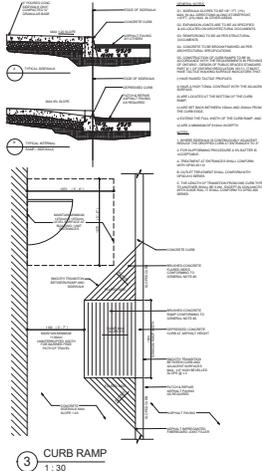
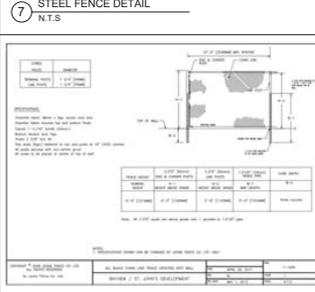
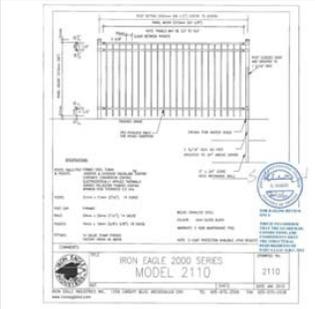
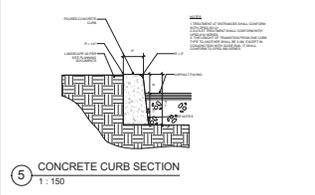
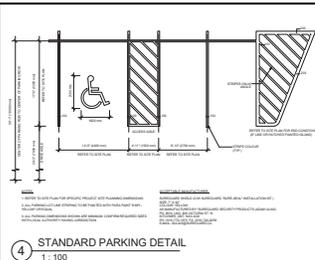
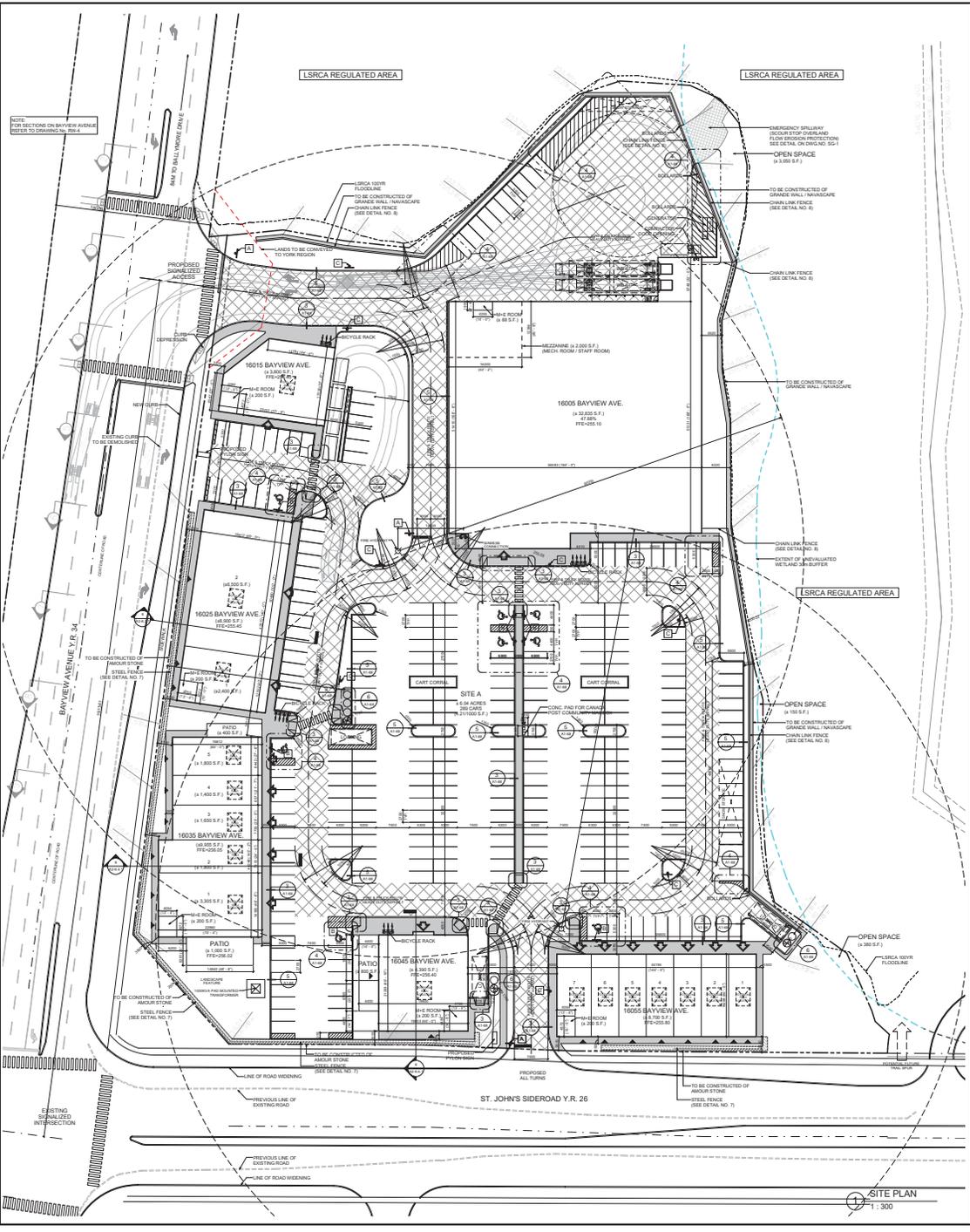
**800 ST. JOHN'S SIDEROAD EAST**  
 JOURNAL: 000000  
 SHEET NO.: 11 OF 11  
 PROJECT NO.: A1-68

**800 ST. JOHN'S SIDEROAD EAST**  
 JOURNAL: 000000  
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 PROJECT NO.: A1-68

**800 ST. JOHN'S SIDEROAD EAST**  
 JOURNAL: 000000  
 SHEET NO.: 11 OF 11  
 PROJECT NO.: A1-68



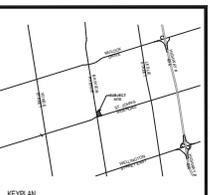
**ZONING REQUIREMENT**

PROVISIONS	REQUIRED	PROVIDED
LOT AREA (MIN.)	5,000 S.M.	± 24,700 S.M.
LOT FRONTAGE (MIN.)	30.0 M	145.9 M
SETBACK		
FRONT YARD (MIN.)	3.0 M	3.0 M
EXTERIOR SIDE YARD (MIN.)	3.0 M	3.0 M
SIDE YARD (MIN.)	3.0 M	3.0 M
REAR YARD (MIN.)	3.0 M	3.0 M
LOT COVERAGE	35 %	28.27 %
BUILDING HEIGHT (MAX.)	10.0 M	7.3 M
LOADING SPACES	3 SPACES	5 SPACES

**STATISTICS**

	REQUIRED	PROVIDED
SITE A AREA	± 6.04 ACRES	± 2.44 HA
OPEN SPACE AREA	± 0.08 ACRES	± 0.02 HA
LAND TO BE CONVEYED TO YORK REGION	± 0.06 ACRES	± 0.02 HA
TOTAL SITE AREA	± 6.18 ACRES	± 2.50 HA
16005 BAYVIEW AVE. (47.88%)	± 32,835 S.F.	± 3,050 S.M.
16015 BAYVIEW AVE.	± 3,200 S.F.	± 303 S.M.
16025 BAYVIEW AVE.	± 8,900 S.F.	± 827 S.M.
16035 BAYVIEW AVE.	± 9,955 S.F.	± 925 S.M.
16045 BAYVIEW AVE.	± 5,350 S.F.	± 498 S.M.
16055 BAYVIEW AVE.	± 8,700 S.F.	± 808 S.M.
M&E ROOMS AREA	± 8,100 S.F.	± 756 S.M.
TOTAL RETAIL AREA	± 68,580 S.F.	± 6,371 S.M.
TOTAL BUILDING AREA	± 69,380 S.F.	± 6,446 S.M.
PARKING REQUIRED (4,50100 S.M.)	287 CARS	287 CARS
PARKING PROVIDED	4,211,000 S.F.	4,501,000 S.M.
ACCESSIBLE PARKING REQUIRED		3 CARS
ACCESSIBLE PARKING PROVIDED (INCL. IN TOTAL PARKING)		8 CARS
LANDSCAPE COVERAGE	± 1.15 ACRES	21.68 %
LOT COVERAGE		26.42 %





KEY PLAN  
 A1.1  
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**LEGEND**

- PROPOSED BUILDING ENTRANCE
- PROPOSED BUILDING EXIT
- PROPOSED FIRE HYDRANT
- PROPOSED BI-PHASE CONNECTION
- PROPOSED SIGN
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- RETAINING WALL
- CONCRETE WALKWAY
- UNIT PAVER
- PERENNIALS
- DECIDUOUS TREES
- CONIFEROUS TREES
- SHRUBS
- RIVERSTONE
- SOD AREA
- ORNAMENTAL METAL FENCE

REV	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	02/04/2019	MS
2	ISSUED FOR CLIENT REVIEW	04/10/2019	MS
3	ISSUED	04/10/2019	MS



**SCHOLLEN & Company Inc.**  
 33 Westbank Court, Unit 15  
 Richmond Hill, Ontario L4B 1R9  
 T: 289-695-0000  
 F: 289-695-0010  
 E: design@schollenandcompany.com  
 www.schollenandcompany.com

Project Name: **COMMERCIAL DEVELOPMENT**  
**BAYVIEW AVENUE & ST. JOHN'S SIDEROAD**  
**BUILDING B**

Client: **RCG Aurora North Limited Partnership**  
 Project Location: **AURORA, ONTARIO**

Drawing Title: **LANDSCAPE PLAN**

Scale:	Project No.:	Drawing No.:
1:250	19045	19045
Author:	Checker:	Scale:
AN	MS	MS
Date:	03/10/2019	

S:\Projects\RCG Aurora N. S. John's Building B\19045\permitted\permitted 2 LANDSCAPE PLAN.dwg

**PLANT LIST**

**TREES**

Key	Qty	Botanical Name	Common Name	Size	Root	Remarks
F5	6	Fagus sylvatica 'Dawyck Purple'	Dawyck Purple Beech	150 cm ht	BBC	4.5 m OC

**PERENNIALS**

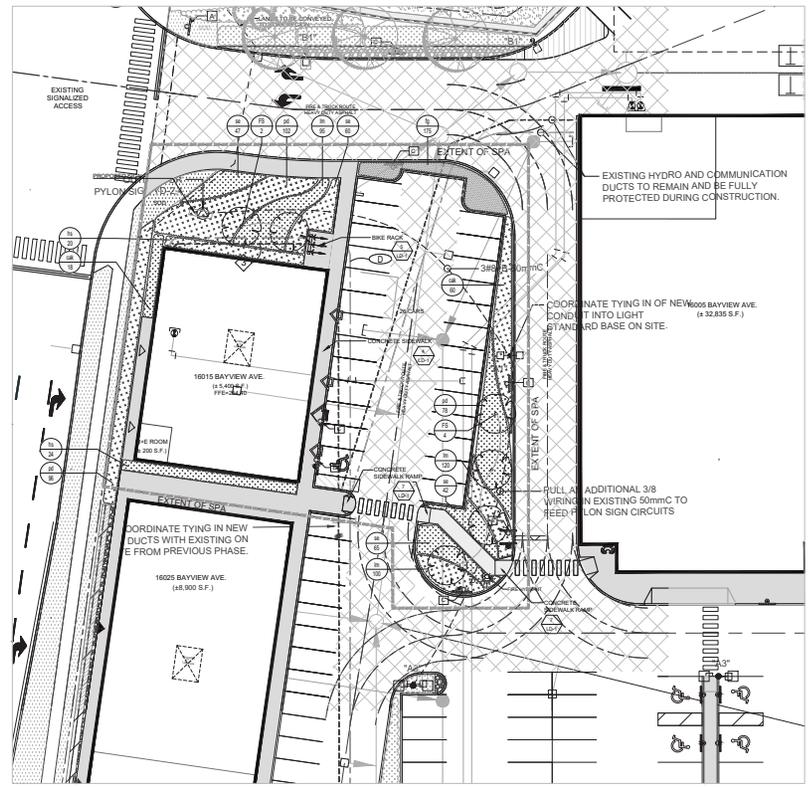
Key	Qty	Botanical Name	Common Name	Size	Root	Remarks
ns	44	Hosta sieboldiana 'Frances Williams'	Frances Williams Hosta	40cm	9cm pot	0.9m circ
ss	214	Sedum Autumn Joy	Autumn Joy Sedum	40cm	9cm pot	0.6m circ

**GRASSES**

Key	Qty	Botanical Name	Common Name	Size	Root	Remarks
clsk	75	Calamagrostis alba 'Salt Princess'	K.F. Feather Reed Grass	80cm ht	1 gal pot	1m circ
fg	175	Festuca glauca 'Elja Blue'	Elja Blue Fescue	50cm ht	1 gal pot	0.4m circ
lm	315	Liriope muscari 'Big Blue'	Great Lily Turf	50cm ht	1 gal pot	0.4m circ
pd	270	Poa annua 'Dewey's Classics'	Compact Ribbon Grass	50cm ht	1 gal pot	0.6m circ

NOTE: ALL BOULEVARD TURF THAT IS DAMAGED OR MISSING DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION WITH MINIMUM 150mm TOPSOIL AND SOD AT THE CONTRACTOR'S EXPENSE.

NOTE: REFER TO DRAWING LD-1 FOR DETAILS  
 REFER TO DRAWING LD-2 FOR PLANTING NOTES









100 John West Way  
Box 1000  
Aurora, Ontario  
L4G 6J1  
**Phone:** 905-727-3123 ext. 4212  
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[www.aurora.ca](http://www.aurora.ca)

**Town of Aurora  
Corporate Services**

## **Memorandum**

**Date:** November 13, 2019  
**To:** Accessibility Advisory Committee  
**From:** Mat Zawada, Accessibility Advisor  
**Re:** **Accessibility Review Checklist – Site Plan**

---

### **Recommendation**

- 1. That the memorandum regarding Accessibility Review Checklist – Site plan be received; and**
- 2. That the Accessibility Advisory Committee provide comments regarding the Accessibility Review Checklist – Site Plan.**

### **Background**

The *Accessibility for Ontarians with Disabilities Act, 2005* (AODA) establishes the goal of an accessible Ontario by 2025. This will be achieved through the implementation of mandatory accessibility standards relating to customer service, transportation, information and communications, employment and the built environment. As a part of the standards, Municipalities must provide site plans and drawings from developers to the accessibility advisory committee in a timely manner to be reviewed.

The accessibility review checklist has been developed to identify elements and provide the committee with a systematic approach to review site development applications in order to ensure that the built environment represents barrier-free design that implements the goals and objectives of the AODA, Town of Aurora policies and Town of Aurora accessibility plan. The checklist covers 7 specific target areas:

- Parking areas;
- Entrance areas;
- Walkways and pedestrian circulation;

Accessibility Review Checklist – Site plan  
November 13, 2019

Page 2 of 2

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- Ramps and stairways
- Signage;
- Lighting; and,
- Outdoor furniture.

### **Attachments**

None



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[www.aurora.ca](http://www.aurora.ca)

**Town of Aurora  
Corporate Services**

## **Memorandum**

**Date:** November 13, 2019  
**To:** Accessibility Advisory Committee  
**From:** Mat Zawada, Accessibility Advisor  
**Re:** **Special events sensory room/space**

---

### **Recommendation**

- 1. That the memorandum regarding Special events sensory room/space be received; and**
- 2. That the Accessibility Advisory Committee provide comments regarding the Special events sensory room/space.**

### **Background**

As directed by the Accessibility Advisory Committee at its meeting on September 4, 2019, this memorandum provides information on the proposed sensory rooms/spaces to be provided at future Town of Aurora special events.

The Town of Aurora offers many family-friendly events annually, such as the Multicultural Festival, Haunted Forest and Aurora's Christmas Market. For most, going to an event is a thrill, but for some individuals with sensory processing issues, noisy events may present a challenge. Sensory issues can involve both hyper-sensitive (over-responsiveness) and hypo-sensitive (under-responsive) to a wide range of stimuli.

These can involve:

- Sights;
- Sounds;
- Smells;
- Tastes;
- Touch;

Special events sensory room/space  
November 13, 2019

Page 2 of 2

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- Balance; and
- Body Awareness (Proprioception).

A sensory room is a space designed to help an individual with sensory issues learn to regulate their brain's negative reactions to external stimuli by developing coping skills for these experiences. The Accessibility Advisor is working with the Special Events team on providing accommodations for those with sensory needs or who may be experiencing a sensory overload. In an effort to provide an accommodation at upcoming events during 2019, there will be designated rooms offered to the public during events to be used as a quiet space.

Staff will work with organizations, such as Kerry's Place Autism Services, in upcoming months to establish what would be required to create a more comprehensive multi-sensory room for 2020. The focus of meeting with organizations will be to gather information on what items or methods could be used at designated quiet spaces that require little to no supervision, and can easily be transported to be used at various locations. All recommendations will be brought back to the Accessibility Advisory Committee for final comment.

## **Attachments**

None