



**Heritage
Advisory Committee
Meeting Agenda**

**Monday, March 6, 2017
7 p.m.**

**Holland Room
Aurora Town Hall**

Public Release
March 2, 2017



Town of Aurora Heritage Advisory Committee Meeting Agenda

Date: Monday, March 6, 2017

Time and Location: 7 p.m., Holland Room, Aurora Town Hall

1. Approval of the Agenda

Recommended:

That the agenda as circulated by Legislative Services be approved.

2. Declarations of Pecuniary Interest and General Nature Thereof

3. Receipt of the Minutes

Heritage Advisory Committee Meeting Minutes of February 13, 2017

Recommended:

That the Heritage Advisory Committee meeting minutes of February 13, 2017, be received for information.

4. Delegations

5. Matters for Consideration

**1. HAC17-003 – Heritage Permit Application
41 Centre Street
File: NE-HCD-HPA-17-01**

Recommended:

1. That Report No. HAC17-003 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That Heritage Permit Application NE-HCD-HPA-17-01 be approved for the demolition of the existing structure; and
 - (b) That the submitted plans and building elevations be approved to permit the construction of a 308m² structure; and
 - (c) That the owner be encouraged to incorporate Landscaping in keeping with Section 9.7 of the District Plan.

**2. HAC17-006 – Heritage Permit Application
82 Catherine Avenue
File: NE-HCD-HPA-17-04**

Recommended:

1. That Report No. HAC17-006 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That the demolition of the existing 11.6m² rear addition be approved; and
 - (b) That Heritage Permit Application NE-HCD-HPA-17-04 be approved to permit the construction of a 60m² rear addition and expansion of the front dormer as shown on the submitted plans; and
 - (c) That the existing side door be retained.

**3. HAC17-005 – Heritage Permit Application
36 Mark Street
File: NE-HCD-HPA-17-02**

Recommended:

1. That Report No. HAC17-005 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That Heritage Permit Application NE-HCD-HPA-17-02 be approved for the demolition of the existing structure; and
 - (b) That the Owner submit revised elevations that demonstrate greater conformity with the Northeast Old Aurora Heritage Conservation District Plan; and
 - (c) That the revised plans be reviewed by the Heritage Advisory Committee at a future meeting.

6. Informational Items

**4. Extract from Council Meeting of February 14, 2017
Re: Memorandum from Mayor Dawe, Re: Correspondence from The
Honourable Peter Van Loan, MP, York-Simcoe – Proposed Private
Member's Bill C-323**

Recommended:

1. That the Extract from Council Meeting of February 14, 2017, regarding the Memorandum from Mayor Dawe, Re: Correspondence from The Honourable Peter Van Loan, MP, York-Simcoe – Proposed Private Member's Bill C-323, be received for information.

7. New Business

8. Adjournment



**Town of Aurora
Heritage Advisory Committee
Meeting Minutes**

Date:	Monday, February 13, 2017
Time and Location:	7 p.m., Leksand Room, Aurora Town Hall
Committee Members:	Councillor Wendy Gaertner (Chair), Councillor Jeff Thom (Vice Chair), Neil Asselin, Barry Bridgeford, Carol Gravelle, James Hoyes, and John Kazilis, Bob McRoberts (Honourary Member)
Member(s) Absent:	Martin Paivio
Other Attendees:	Marco Ramunno, Director of Planning and Building Services, Jeff Healey, Planner, and Samantha Kong, Council/Committee Secretary

The Chair called the meeting to order at 7:05 p.m.

1. Declaration of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act*.

2. Approval of the Agenda

**Moved by Bob McRoberts
Seconded by Councillor Thom**

That the agenda as circulated by Legislative Services, with the following addition, be approved:

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- Additional Information to Item 4 – Memorandum from Planner, Re:
Additional Information – Proposed Demolition of Existing Rear Addition and
Accessory Structure to a Listed Heritage Building, 23 Mosley Street
Re: Drawings for Addition to 23 Mosley Street

Carried as amended

3. Receipt of the Minutes

Heritage Advisory Committee Meeting Minutes of December 12, 2016

**Moved by Carol Gravelle
Seconded by John Kazilis**

That the Heritage Advisory Committee meeting minutes of December 12, 2016, be received for information.

Carried

4. Delegations

- (a) **Kent Taylor, Taylor Design Group Inc.**
**Re: Item 1 – HAC17-001 – Request to Demolish a Property on the Aurora
Register of Properties of Cultural Heritage Value or Interest, 14574
Leslie Street**

Mr. Taylor was present to answer any questions of the Committee.

**Moved by Carole Gravelle
Seconded by John Kazilis**

That the comments of the delegation be received and referred to Item 1.

Carried

- (b) **Larry Dekkema, Ballymore Building (South Aurora) Corp.**
**Re: Item 2 – HAC17-002 – Request to Remove a Property from the Aurora
Register of Properties of Cultural Heritage Value or Interest, 14452
Yonge Street**

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Mr. Dekkema provided information regarding the condition of the building located at 14452 Yonge Street.

**Moved by Barry Bridgeford
Seconded by John Kazilis**

That the comments of the delegation be received and referred to Item 2.

Carried

5. Matters for Consideration

1. HAC17-001 – Request to Demolish a Property on the Aurora Register of Properties of Cultural Heritage Value or Interest 14574 Leslie Street

Staff presented an overview of the property and background information regarding the request. The Committee inquired about the Town's salvage program.

**Moved by James Hoyes
Seconded by John Kazilis**

1. That Report No. HAC17-001 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That the property located at 14574 Leslie Street be removed from the Aurora Registrar of Properties of Cultural Heritage Value or Interest; and
 - (b) That a Notice of Withdrawal of Intent to Designate under Part IV of the *Ontario Heritage Act* be served to the Owner, the Ontario Heritage Trust and be published in the local newspapers; and
 - (c) That the Owner hire a professional consultant to report and document the deconstruction of the barn structures and farmhouse for educational purposes and that a copy of this report be provided to staff; and

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- (d) That the Owner donate salvageable windows and doors to the Aurora Architectural Salvage Program; and
- (e) That the Owner preserve the internal laneway from future development; and
- (f) That future building elevations are subject to approval of Planning Staff.

Carried

**2. HAC17-002 – Request to Remove a Property from the Aurora Register of Properties of Cultural Heritage Value or Interest
14452 Yonge Street**

Staff presented a brief overview of the property and indicated that the owner wishes to demolish the structure and construct a new single-detached home on the property. Staff noted that the property is not impacted by the proposed 40-unit plan of subdivision to the west, and recommended conditions derived from the Heritage Impact Assessment offers mitigation methods for the structure and property.

The Committee expressed concerns regarding the integrity of the Heritage Impact Assessment report which may have influenced the evaluation working group score.

**Moved by Bob McRoberts
Seconded by James Hoyes**

- 1. That Report No. HAC17-002 be deferred; and**
- 2. That the Heritage Advisory Committee recommend to Council:**
 - (a) That a structural report and re-evaluation of the property be brought back to a future Heritage Advisory Committee meeting.**

Carried as amended

3. Memorandum from Planner

**Re: Proposed Alterations to an Existing Listed Heritage Property
24 Larmont Street**

Staff presented a brief overview of the proposed alterations to the dwelling located on 24 Larmont Street and requested that the Committee provide any comments for consideration. The Committee expressed support towards the proposed alterations and noted that a lighter shade of colour for the second-storey façade may be more compatible.

**Moved by Councillor Thom
Seconded by Barry Bridgeford**

1. That the memorandum regarding Proposed Alterations to an Existing Listed Heritage Property, 24 Larmont Street, be received for information.

Carried

6. Informational Items

4. Memorandum from Planner

**Re: Additional Information – Proposed Demolition of Existing Rear
Addition and Accessory Structure to a Listed Heritage Building
23 Mosley Street**

Staff indicated that the Committee requested elevations and a structural report for 23 Mosley Street at a previous meeting. The Committee expressed satisfaction towards the additional information and support of the proposals.

**Moved by John Kazilis
Seconded by James Hoyes**

1. That the memorandum regarding Additional Information – Proposed Demolition of Existing Rear Addition and Accessory Structure to a Listed Heritage Building, 23 Mosley Street, be received for information.

Carried

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5. Memorandum from Planner

Re: Doors Open Aurora 2017 – Saturday, August 19, 2017

Staff noted that the date for the annual Doors Open Aurora is set for August 19, 2017, and encouraged members to seek new locations and invite them to be included in the event.

**Moved by Councillor Thom
Seconded by Carol Gravelle**

1. That the memorandum regarding Doors Open Aurora 2017 – Saturday, August 19, 2017, be received for information.

Carried

6. Extracts from Council Meeting of December 13, 2016

**Re: Heritage Advisory Committee Meeting Minutes of November 14, 2016,
and December 12, 2016**

**Moved by Councillor Thom
Seconded by John Kazilis**

1. That the Extracts from Council Meeting of December 13, 2016, regarding the Heritage Advisory Committee meeting minutes of November 14, 2016, and December 12, 2016, be received for information.

Carried

7. New Business

Bob McRoberts expressed concerns regarding the inclusion of Committee minutes on a Council agenda as an additional item, the day after the Committee meeting took place. The Committee indicated that there would be insufficient time for other members of Council to review.

Bob McRoberts recommended that staff reports of evaluated properties also include the overall score.

Bob McRoberts expressed concerns regarding the minor variance requests for 74 Centre Street, which were considered by the Committee of Adjustment on February

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9, 2017. He stated that the Committee was under the impression that the Heritage Advisory Committee had no concerns; however, the variance requests had not come to the Heritage Advisory Committee. Staff indicated that the variances referred to the Zoning By-law and did not apply to the Heritage District Plan.

Councillor Thom discussed the merits of Heritage Assessment Reports that are written by a third party and are used when considering requests for demolition or removal from the Register. He suggested that the Committee should be provided with tools to provide these reports in order to make certain recommendations to Council.

8. Adjournment

**Moved by James Hoyes
Seconded by John Kazilis**

That the meeting be adjourned at 9:45 p.m.

Carried

Committee recommendations are not binding on the Town unless otherwise adopted by Council at a later meeting.



**Town of Aurora
Heritage Advisory Committee Report No.HAC17-003**

Subject: Heritage Permit Application
41 Centre Street
File: NE-HCD-HPA-17-01

Prepared by: Jeff Healey, Planner

Department: Planning and Building Services

Date: March 6, 2017

Recommendation

- 1. That Report No. HAC17-003 be received; and**
- 2. That the Heritage Advisory Committee recommend to Council:**
 - a) That Heritage Permit Application NE-HCD-HPA-17-01 be approved for the demolition of the existing structure; and**
 - b) That the submitted plans and building elevations be approved to permit the construction of a 308m² structure; and**
 - c) That the owner be encouraged to incorporate Landscaping in keeping with Section 9.7 of the District Plan.**

Executive Summary

The purpose of this report is to provide Council with direction from the Heritage Advisory Committee regarding Heritage Permit Application NE-HCD-HPA-17-01 regarding a proposed demolition of an existing structure and the construction of a new detached dwelling and accessory structure located at 41 Centre Street, designated under Part V of the *Ontario Heritage Act* as part of the Northeast Old Aurora Heritage Conservation District.

- The existing house on the subject lands was constructed between 1940 and 1954 and is not considered a contributing property within the Heritage District.
- The proposed new dwelling is considered to meet the policies of the Heritage Conservation District Plan.
- The property is a Designated, non-listed property on the Aurora Register of Properties of Cultural Heritage Value or Interest.

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Report No. HAC17-003

Background

The agent representing the owners of the property located at 41 Centre Street submitted Heritage Permit Application NE-HCD-HPA-17-01 on January 6, 2017.

The owners propose to demolish an existing single detached dwelling on the subject lands and replace with a proposed 308m² single detached dwelling.

The subject property was designated in 2006 under Part V of the *Ontario Heritage Act* as part of the Northeast Old Aurora Heritage Conservation District. Section 42 of the *Act* states that,

No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so: "1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property; 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.

The Heritage Permit Application was deemed complete by staff on January 17, 2017. Council has 90 days to respond to the Application or else the Application is automatically approved.

Location

The subject property is located on the south side of Centre Street, located at the southern terminus of Spruce Street (See Attachment 1). The property is a Designated, non-listed property on the Aurora Register of Properties of Cultural Heritage Value or Interest, located within the Northeast Old Aurora Heritage Conservation District.

Analysis

Heritage Features of the Existing Building

The existing building can be described as a 1 storey vernacular bungalow with a front gable roof (see Attachments 2 and 3). Prior to 1927, the lot was originally part of 42 Wellington Street East, with no structure fronting Centre Street. The building was likely constructed in 1954, however another source identifies the structure was constructed as early as 1940. The building is a wood framed structure finished with vinyl siding. The original siding has likely been removed or covered. The front elevation features a wood front door designed in a post WWII design. The façade also features a picture window and a double hung window. A concrete front porch with iron railings is located in front of the building. The front porch is not in keeping within the Heritage District. Double hung windows continue on the side elevations. A rear addition was likely added after the construction of the main building, the construction of the addition is unknown.

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The property once contained two mature trees and hedgerows along the front elevation, but was removed between 2011 and 2014. The building appears to be sited on concrete blocks.

Architectural and Historical Value

The subject dwelling appears to be a late example of a Vernacular Bungalow. The front gable roof is unique from other Vernacular Bungalows in the District Plan, which are typically a side gable or a hipped roof. There are no identifiable heritage features on the building apart from the overall built form of the structure and the double hung windows. There do not appear to be any major alterations to the front elevation of the building based from historical photography of the property taken in 1981.

There is no historical information available for the property.

Neighbourhood Context

The property is located within the Northeast Old Aurora Heritage Conservation District. The existing building is contextually linked to the surrounding residential buildings on Centre Street, forming an important component to the heritage character of the District.

Non-Heritage Buildings within the Northeast Old Aurora Heritage Conservation District Plan

The demolition of non-heritage buildings is identified in Section 4.4.3 of the District Plan, which states that *generally, where non-heritage buildings are supportive of the character of the heritage conservation district, the placement building should also support the district character.*

Proposed Concept Plan

The owner wishes to demolish the designated, non-listed property and construct a new single detached home on the property. The owner has provided elevations for the proposed building (see Attachment # 4). Section 4.5.1 of the District Plan outlines the design approach for new buildings within the Heritage Conservation District.

Policy: The Design of new buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District

The proposed design reflects an Edwardian architectural style, this style is supported along Centre Street.

Policy: New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; having similar setbacks; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.

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The proposed design reflects an Edwardian architectural style, incorporating brick and accented stucco. The windows, doors and front porch have been designed in proportion to and Edwardian structure.

Policy: New residential building construction will respect natural landforms, drainage, and existing mature vegetation.

Approximately 57% of the lot will be used for landscaping and 98 m² of the front yard will be dedicated to landscaping. Plantings have not been identified in the proposed plan. The owner is encouraged to incorporate landscaping which is in keeping with Section 9.7 of the District Plan.

Policy: Larger new residential buildings will have varied massing, to reflect the small and varied scale of the historical built environment.

The proposed building is proportioned to reflect an Edwardian Architectural Style. The building's massing has been reduced beyond 12 metres of building depth in keeping with the Heritage District's guidelines.

Policy: The height of new residential buildings should not be less than lowest heritage building on the same block or higher than the highest heritage building on the same block. Historically appropriate heights for new residential buildings are considered to be 1-½ to 2-½ storeys, subject to an actual height limit of 9 metres to the mid-slope of the roof.

The proposed building is measured at 2 ½ storeys and 8.25 metres in height. The block of heritage homes on the south side of Centre Street, west of Wells Street are not heritage buildings despite being located within the Heritage Conservation District.

Policy: New residential building construction in the District will conform with the guidelines found in Section 9.5.2.

The proposed building meets the setbacks of By-law 2213-78. The front wall of the main building will have a varied front yard setback to adjacent properties. The owner is encouraged to incorporate landscaping which is in keeping with Section 9.7 of the District Plan.

The proposed siting specifications for the building are as follows:

	Existing R5 Residential Zone Requirement	Proposed
Lot Area (minimum)	460 m ²	427 m ²
Lot Frontage (minimum)	15 m	15.4 m

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Front Yard (minimum)	6.0 m	6.0 m
Rear Yard (minimum)	7.5 m	7.5 m
Interior West Side Yard (minimum)	1.5 m	3.7 m
Interior East Side Yard (minimum)	1.5 m	1.5 m
Lot Coverage (maximum)	35%	30.6%
Height (maximum)	10.0 m	8.25 m (to midpoint of roof)

Design Review Panel

The application was reviewed by the Design Review Panel on February 27, 2017. Comments with respect to the application were not available at the time of writing this report.

Financial Implications

There are no financial implications.

Communications Considerations

No Communication Required.

Link to Strategic Plan

The conservation of heritage resources supports the Strategic Plan goal of Supporting an Exceptional Quality of Life for All through its accomplishment in satisfying requirements in objective Celebrating and Promoting our Culture.

Alternatives to the Recommendation

1. Allow the demolition of the house and recommend revisions to the design of the proposed detached dwelling.
2. Deny Heritage Permit Application NE-HCD-HPA-17-01.

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Report No. HAC17-003

Conclusions

The existing home at 41 Centre Street is not considered a contributing property within the District. Staff recommend that the Heritage Advisory Committee approve the request to demolish the existing building located at 41 Centre Street. Furthermore, the proposed building was found to be in keeping with the Northeast Old Aurora Heritage Conservation District Plan.

Staff recommend that the proposed elevation drawings to construct a new 308m² structure be approved and that the owner consider landscaping in keeping with Section 9.7 of the District Plan.

Attachments

Attachment #1 – Location Map

Attachment #2 – Heritage Resource Brief (2017)

Attachment #3 – Photos of Existing Building

Attachment #4 – Proposed Building Elevations and Site Plan

Previous Reports

None.

Pre-submission Review

Agenda Management Team Meeting review on February 23, 2017

Departmental Approval



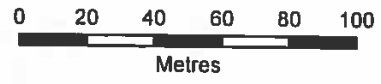
Marco Ramunno
Director, Planning and Building Services



LOCATION PLAN

HAC17-003
41 CENTRE STREET
ATTACHMENT 1


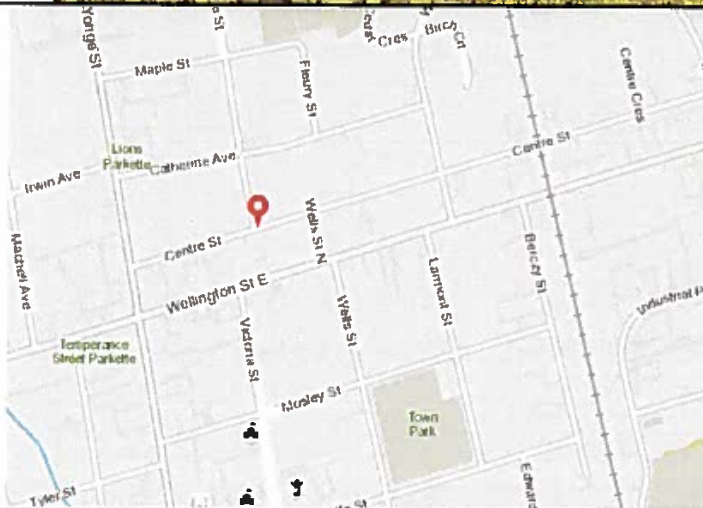
 **SUBJECT LANDS**



Map created by the Town of Aurora Planning and Building Department, February 15, 2017. Base Data Provided by York Region.

Attachment 2

**AURORA REGISTER OF PROPERTIES OF CULTURAL
HERITAGE VALUE OR INTEREST (Updated 2017)**

SITE	<p>Address: 41 Centre St Former Address: Legal Description: PLAN 246 PT LOT 138</p>
STATUS	<p>Current Use: Residence Original use: Residence Heritage Status: Designated Pt V By-law No. & Date: 4804-06.D Official Plan: Stable Neighbourhood Residential Zoning: R5 (Special Mixed Density) HCD: NE old Aurora Plaques:</p>
PHOTOGRAPH	
KEY MAP	

**AURORA REGISTER OF PROPERTIES OF CULTURAL
HERITAGE VALUE OR INTEREST (Updated 2017)**

ARCHITECTURE

GENERAL INFORMATION:

Address: 41 Centre St.
Construction Date: c.1954
Architectural Style:
Heritage Easement:

Builder:
Architect:
Original Owner:
Historical Name:

GENERAL DESCRIPTION:

Floor Plan:
Foundation Materials:
Exterior Wall Materials:
Roof Type:
Entrance:

Storey:

Windows:
Bays:

UNIQUE FEATURES:

Chimney (s):
Dormers:
Roof Trim:
Window Trim:

Special Windows:
Porch/Verandah:
Door Trim:
Other:

HISTORY

Historical Society files include:

Town of Aurora files include:

PHOTOS:

HISTORICAL PHOTO
 Photo date

INVENTORY PHOTO
 Photo date

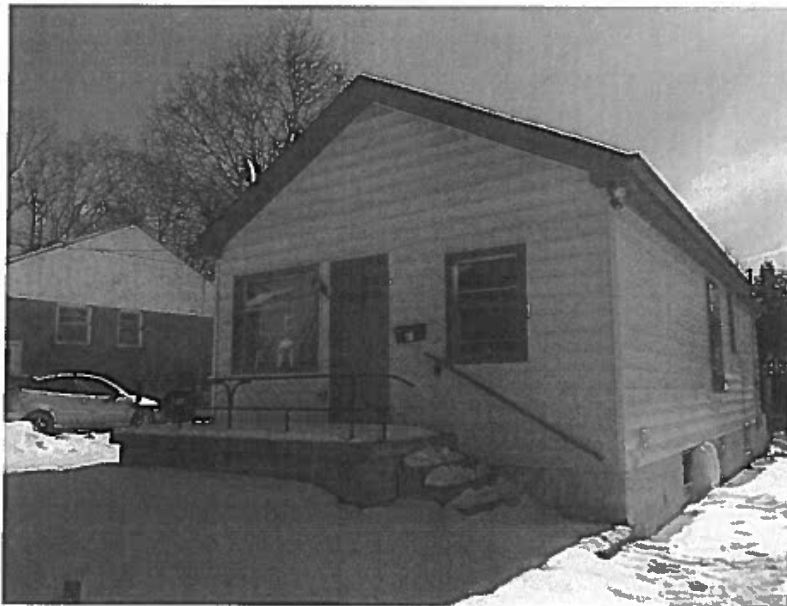
The Aurora Inventory of Heritage Buildings was compiled by the Aurora Heritage Advisory Committee (LACAC) between 1976 and 1981. The completed inventory was adopted by Council and released in 1981. On September 26, 2006 Aurora Council at its meeting No. 06-25, has officially changed the name of the Aurora Inventory of Heritage Building to the "Aurora Register of Property of Cultural Heritage Value or Interest" and all property included in the inventory were transferred to the Register.

Attachment 3

Photos- 41 Centre Street- February 2017



41 Centre Street, View from Centre Street




41 Centre Street

Attachment 3



41 Centre Street circa 2010, hidden behind mature vegetation.

	<h1>RESIDENCE</h1>	<p>ALL DIMENSIONS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON RECEIPT TO THE PROJECT ARCHITECT. SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORWARDED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.</p> <p>DO NOT SCALE DRAWINGS</p> <p>CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.</p> <p>THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE DESIGNER</p> <table border="1" style="width: 100%;"><thead><tr><th>No.</th><th>Revised</th><th>Date</th><th>By</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>	No.	Revised	Date	By																																
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<h2>41 Centre Street, Aurora</h2>																																						

Sheet List		
Sheet Number	Sheet Name	Current Revision Issued To
A 000	Cover Sheet	12/04/10
A 001	Site Plan and Schedule	12/04/10
A 002	Construction Notes	12/04/10
A 003	Basement and ground Floor Plans	12/04/10
A 004	Second Floor and Attic Floor Plans	12/04/10
A 005	Roof Plan	12/04/10
A 006	North and East Elevations	12/04/10
A 007	South and West Elevations	12/04/10
A 008	Sections	12/04/10
A 009	Details	12/04/10
A 010	Home Garage Drawings	12/04/10

Building Permit Application	
41 Centre Street, Aurora, OH.	
Project Number	P 23-1510020
Drawn	LH
Scale	
Checked	CWW
Date	Jan 2017 @ 10:20 AM
Cover Sheet	
Drawing No.	A 000

IBC MATRIX

ITEM	CONTAINED BUILDING CODE DATA FOR THIS PART 5 DIVISION	IBC REFERENCE																
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SITE STATISTICS (BY LAW 22 (1)-78)

PLAN INCL.	PLAN AREA	LOT AREA	SECTION
PROPOSED	1407.2 sq ft	1407.2 sq ft	11.2.2
REQUIREMENT	1407.2 sq ft	1407.2 sq ft	11.2.2

DESCRIPTION	PROPOSED	REQUIREMENT	SECTION
PROPOSED	1407.2 sq ft	1407.2 sq ft	11.2.2
REQUIREMENT	1407.2 sq ft	1407.2 sq ft	11.2.2

SETBACK	PROPOSED	REQUIREMENT	SECTION
FRONT	1.5 m	1.5 m	11.2.2
REAR	1.5 m	1.5 m	11.2.2
SIDE	1.5 m	1.5 m	11.2.2

Building Permit Application
 41 Centre Street,
 Aurora, ON.

Project number: P2294100006

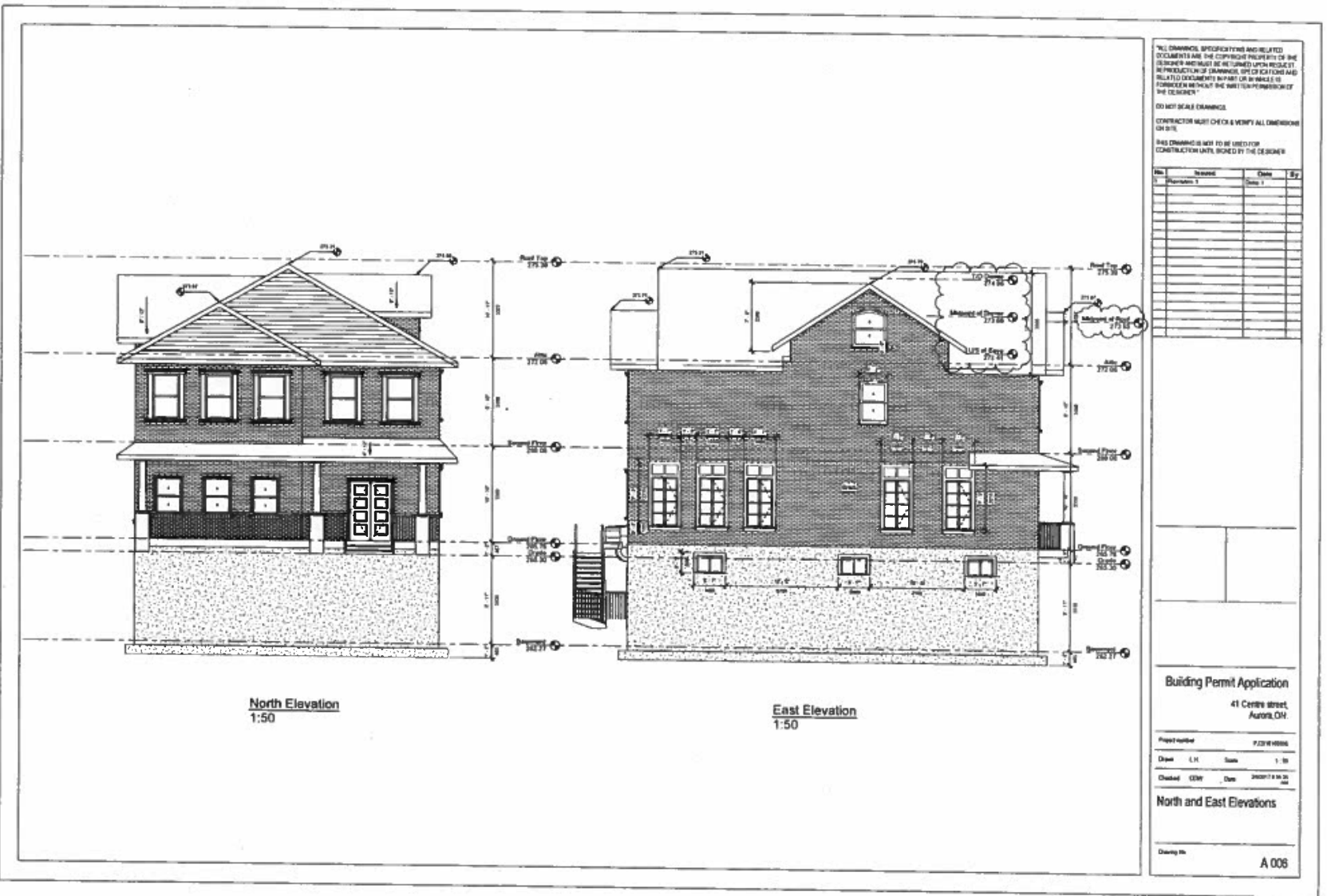
Drawn: L.J. Date: 3/3/2017

Checked: DJW Date: 3/3/2017

Site Plan and Statistics

Drawing No: A 001

REGISTERED
 Site Plan 1:100



West Elevation
1/4"=1'-0"

South Elevation
1/4"=1'-0"

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CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED BY THE DESIGNER.

No.	Revised	Date	By

Building Permit Application

41 Centre Street,
Aurora, ON.

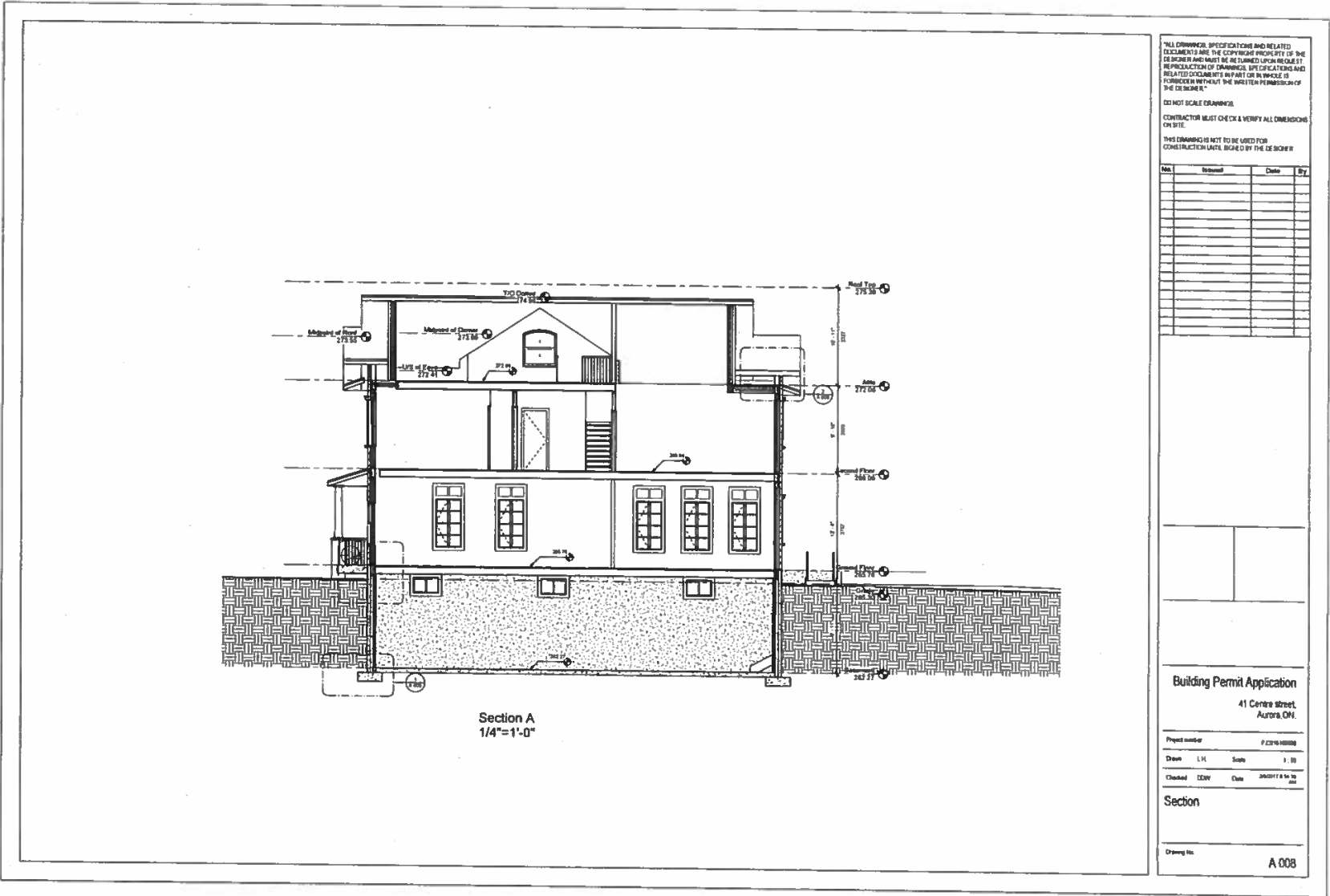
Project number: F-2016-18888

Drawn: L.M. Date: 1-26

Checked: G.D. Date: JANUARY 26 2017

South and West Elevations

Drawing No: A 007



© 2006 [illegible]

1 GARAGE FLOOR PLAN
 1:50

2 GARAGE SECTION
 1:50

3 WALL SECTION
 1:25

4 North Elevation
 1:50

5 East Elevation
 1:50

6 South Elevation
 1:50

7 West Elevation
 1:50

Building Permit Application
 41 Centre Street,
 Aurora, ON.

Project number: P-2017-00008
 Draw: S.P. Scale: As indicated
 Checked: CSM Date: 03/06/17
 Drawing No: A010

Notes:
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 DO NOT SCALE DRAWINGS
 CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.
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**Town of Aurora
Heritage Advisory Committee Report No.HAC17-006**

Subject: Heritage Permit Application
82 Catherine Avenue
File: NE-HCD-HPA-17-04

Prepared by: Jeff Healey, Planner

Department: Planning and Building Services

Date: March 6, 2017

Recommendation

1. That Report No. HAC17-006 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - a) That the demolition of the existing 11.6 m² rear addition be approved; and
 - b) That Heritage Permit Application NE-HCD-HPA-17-04 be approved to permit the construction of a 60m² rear addition and expansion of the front dormer as shown on the submitted plans; and
 - c) That the existing side door be retained.

Executive Summary

The purpose of this report is to provide Council with direction from the Heritage Advisory Committee regarding Heritage Permit Application NE-HCD-HPA-17-04 regarding a proposed demolition of an existing rear addition and the construction of a new rear addition and the expansion of the dormer on the front elevation located at 82 Catherine Avenue, designated under Part V of the *Ontario Heritage Act* as part of the Northeast Old Aurora Heritage Conservation District.

- The house on the subject lands was constructed circa 1924 likely by Frank Underhill.
- The proposal is found to be in keeping with the policies of the Northeast Old Aurora Heritage Conservation District Plan.

March 6, 2017

- 2 -

Report No. HAC17-006

Background

The owner of the property located at 82 Catherine Avenue submitted Heritage Permit Application NE-HCD-HPA-17-04 on February 10, 2017. The house can be described as a one and a half storey, designed in an Arts and Crafts style with a side gable roof.

The subject property was designated in 2006 under Part V of the *Ontario Heritage Act* as part of the Northeast Old Aurora Heritage Conservation District. Section 42 of the *Act* states that,

No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so: "1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property; 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.

The Heritage Permit Application was deemed complete by staff on February 15, 2017. Council has 90 days to respond to the Application or else the Application is automatically approved.

Location

The subject property is located on the north side of Catherine Avenue, midblock between Fleury Street and Walton Drive (See Attachment 1).

Heritage Features of the Existing Building

The existing building can be described as a 1 ½ storey structure with a side gable roof. The first storey is finished with brick cladding and the second storey comprises of stucco. The building features cottage style windows on the first storey (some cases in a box window). The entranceway features an open porch with wood trim and brick columns. The front dormer is pedimented, capped with a front facing gable. The dormer contains four 3 over 1 double hung windows. The dormer is considered a defining feature of the building as part of the Arts and Crafts style of the home. Overall, the building appears to be an excellent example of an Arts and Crafts architecture and is considered a contributing building within the Heritage Conservation District.

Analysis

On February 15 2017, staff issued a Notice of Receipt on behalf of Council as per By-law 5365-11 (being a By-law to delegate certain assigned Council authority under the *Ontario Heritage Act* regarding the power to consent to alterations of designated heritage properties).

According to the Plan for the Northeast Old Aurora Heritage Conservation District, "No. 82 [Catherine Avenue] is a more modest house in a similar [Arts and Crafts] style, with replacement windows downstairs, but originals in the upstairs dormer."

March 6, 2017

- 3 -

Report No. HAC17-006

Photos provided by the applicant identify the rear addition as a one storey wood frame structure, sided with wood board and batten. Unfortunately there are no Fire Insurance Plans to verify the construction date of the addition. It is noted that a new detached garage was constructed on the lands (approved by Heritage Permit) in 2010.

Proposed Concept Plan

The owner proposes to remove the existing 11.6 m² rear addition and construct a new 60m², two storey rear addition. The proposed rear addition is sited on the northwest corner of the home. The owner is also proposing the following additional changes to the home:

- The remaining stucco on the rear and side elevations on the second storey of the building is also proposed in a wood cape-cod siding to match the rear addition
- The front dormer is proposed to be re-constructed. The new front dormer is proposed to be 0.6 metres (2.0 feet) wider than the original.
- An existing side door on the east elevation is proposed to be removed as it currently serves no function to the home.
- Replace the existing front door and first floor windows with similar style
- Construct a rear yard deck and balcony

Since the house is designated under Part V of the *Act* any additions or alterations should be in compliance with the Northeast Old Aurora Heritage Conservation District Plan (the Plan). Several policies were considered in reviewing the Application.

Section 9.1.2.2 of the Plan speaks to rear yard spacing and amenity area. This section of the plan includes important building depth provisions to control overall massing of structures. The building depth of the structure including the proposed rear addition is 12.8 metres. The District Plan also requests , where feasible and reasonable, to include *“an inset of a minimum of 0.3m (1ft) from the side yard and that the roof be set down a minimum of 0.3 metres (1ft) beyond the (building) depth of 12 metres (39’3”)”*. As the proposed addition is 0.8 metres beyond the 12 metre guideline, the 0.3 metre inset and height reduction is not required. The proposal is considered to be meeting the intent of the District Plan policy.

Section 9.2.7 of the Plan speaks to Dormers. The Plan states that *“Care should be taken to use window shapes and glazing appropriate to the architectural style”*. The new front dormer is proposed to be 0.6 metres (2.0 feet) wider than the original. The new dormer is proposed to be clad in wood cape-cod siding to match the new siding on the addition and the side elevation. The roof pitch and dormer style are proposed to remain the same. The owner has proposed to remove and replace the existing four 3 over 1 double hung windows on the dormer. At the time of writing of this report, it is uncertain whether the windows on the front dormer are still the original windows. Given window restoration policies as identified in Section 9.3.4.6 of the Plan, original window frames and sashes should be repaired where possible. If the windows are original, it is requested that the owner repair and restore the 3 over 1 double hung windows and replace only the damaged portions in keeping with Section 9.3.4.7 of the Plan. Should

March 6, 2017

- 4 -

Report No. HAC17-006

the windows not be original, staff will require that the 3 over 1 double hung window style be utilized for windows in the new dormer.

Section 9.3.6 of the Plan identifies guidelines for additions and alterations to heritage buildings in the District. *“New attached additions to heritage buildings should be designed to complement the design of the original building”*. The addition is located in the rear and is not visible from the street. The addition is proposed to be clad in wood clapboard (cape-cod style). The roofline is proposed to be tied into the existing structure and will not exceed the height of the original building.

All mature trees in the rear yard are proposed to be preserved. Section 4.6.2 of the District Plan states that *“mature trees should be preserved to the greatest possible extent, except where removal is necessary due to disease or damage...”*.

With respect to the side door proposed to be removed and infilled, it is noted that Section 9.3.1 of the District plan states that *“new construction should not damage or conceal heritage features”* and *“new construction should consider restoration of heritage features that have been lost or concealed by previous renovations”*. It is recommended that the side door be retained on the property. Although the door does not serve any particular function, the wood door is considered an attribute to the design of the home.

Both decks and balconies not facing the street are generally silent within the Heritage District Plan. The Plan identifies unfinished pressure-treated wood as an inappropriate material within the Heritage District. The rear yard deck will need to be appropriately repainted or stained to maintain a high degree of style and craftsmanship.

Design Review Panel

Not required.

Financial Implications

There are no financial implications.

Communications Considerations

No Communication Required.

Link to Strategic Plan

The conservation of heritage resources supports the Strategic Plan goal of Supporting an Exceptional Quality of Life for All through its accomplishment in satisfying requirements in objective Celebrating and Promoting our Culture.

March 6, 2017

- 5 -

Report No. HAC17-006

Alternatives to the Recommendation

None.

Conclusions

It is recommended that Heritage Application Permit located at 82 Catherine Avenue be approved, for the demolition of the existing rear addition, construction of a proposed 60 m² rear addition and expansion/restoration of the front dormer. The windows on the front dormer should be restored or recreated in keeping with good heritage practice. The side door should also be retained as it contributes to the Arts and Crafts style of the home. Once a Heritage Permit Application is received, Council has ninety (90) days from the date of issuing a Notice of Receipt to: consent to the application with or without terms and conditions, or refuse the application.

Attachments

Attachment #1 – Location Map
Attachment #2 – Heritage Resource Brief (2010)
Attachment #3 – Proposed Elevations

Previous Reports

1. Memorandum from the Program Manager, Heritage Planning Re: 82 Catherine Avenue, dated June 14, 2010

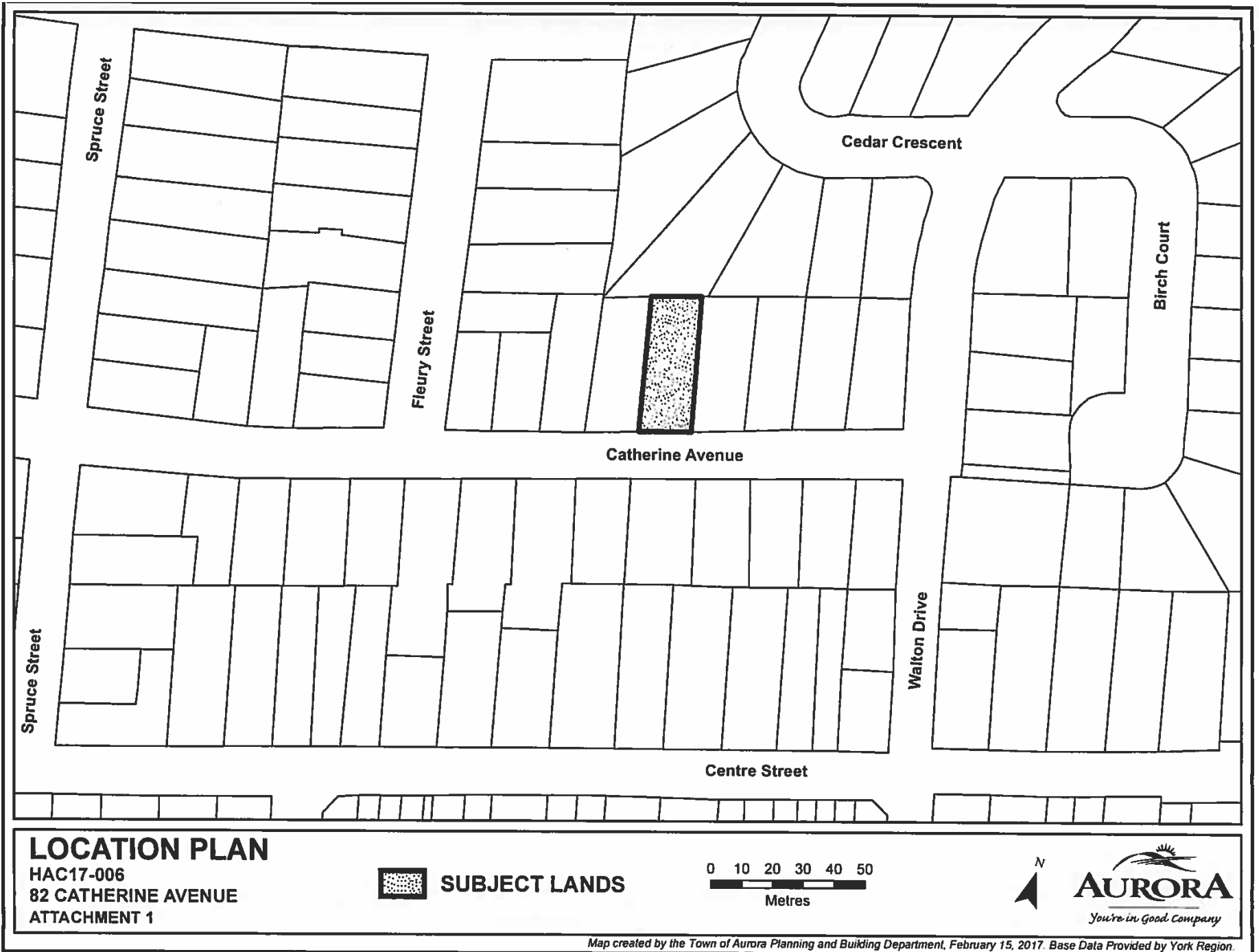
Pre-submission Review

Agenda Management Team Meeting review on February 23, 2017.

Departmental Approval



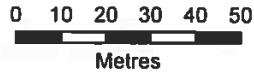
Marco Ramunno
Director, Planning and Building Services



LOCATION PLAN

HAC17-006
82 CATHERINE AVENUE
ATTACHMENT 1


 **SUBJECT LANDS**



Map created by the Town of Aurora Planning and Building Department, February 15, 2017. Base Data Provided by York Region.

Attachment 2

**AURORA REGISTER OF PROPERTIES OF CULTURAL
HERITAGE VALUE OR INTEREST (Updated 2010)**

SITE	<p>Address: 82 Catherine Avenue Former Address: Legal Description: PLAN:246 LOT: 111</p>
STATUS	<p>Current Use: Residence Original use: Residential Heritage Status: Listed & designated Pt V NE Old Aurora By-law No. & Date: 4804-06.D Official Plan: Urban residential Zoning: R5 (Special mixed density) HCD: Plaques:</p>
PHOTOGRAPH	
KEY MAP	<p></p>

**AURORA REGISTER OF PROPERTIES OF CULTURAL
 HERITAGE VALUE OR INTEREST (Updated 2017)**

ARCHITECTURE

GENERAL INFORMATION:

Address:	82 Catherine Avenue	Builder:	Est. Frank Underhill
Construction Date:	c1924	Architect:	
Architectural Style:	Bungalow	Original Owner:	
Heritage Easement:		Historical Name:	

GENERAL DESCRIPTION:

Floor Plan:		Storey:	1 ½
Foundation Materials:			
Exterior Wall Materials:	Brick	Windows:	Box bay windows
Roof Type:	Shed roof	Bays:	
Entrance:			

UNIQUE FEATURES:

Chimney (s):		Special Windows:	
Dormers:	Pedimented	Porch/Verandah:	Porch
Roof Trim:		Door Trim:	
Window Trim:		Other:	

HISTORY

Historical Society files include:

Town of Aurora files include:

PHOTOS:

HISTORICAL PHOTO

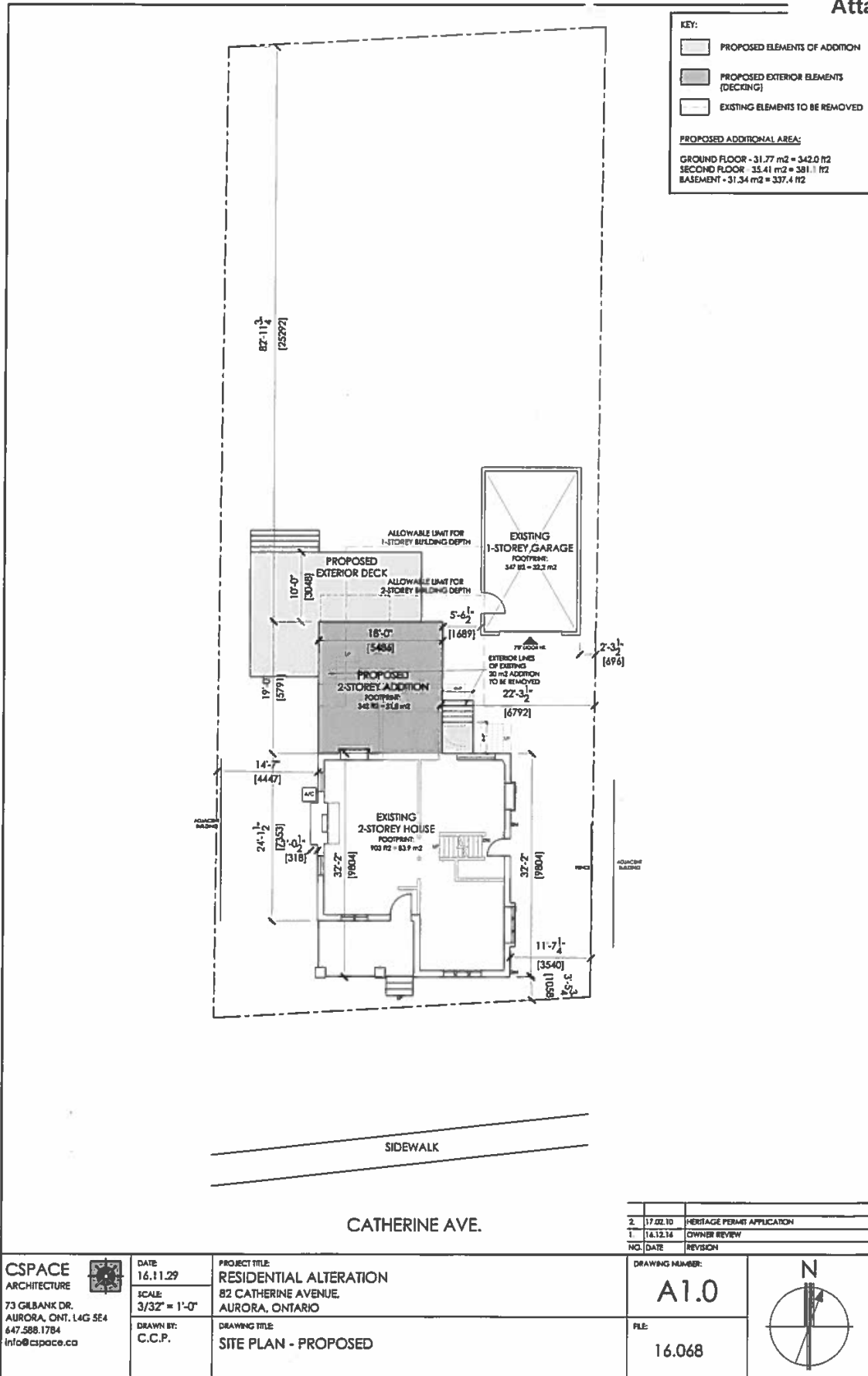
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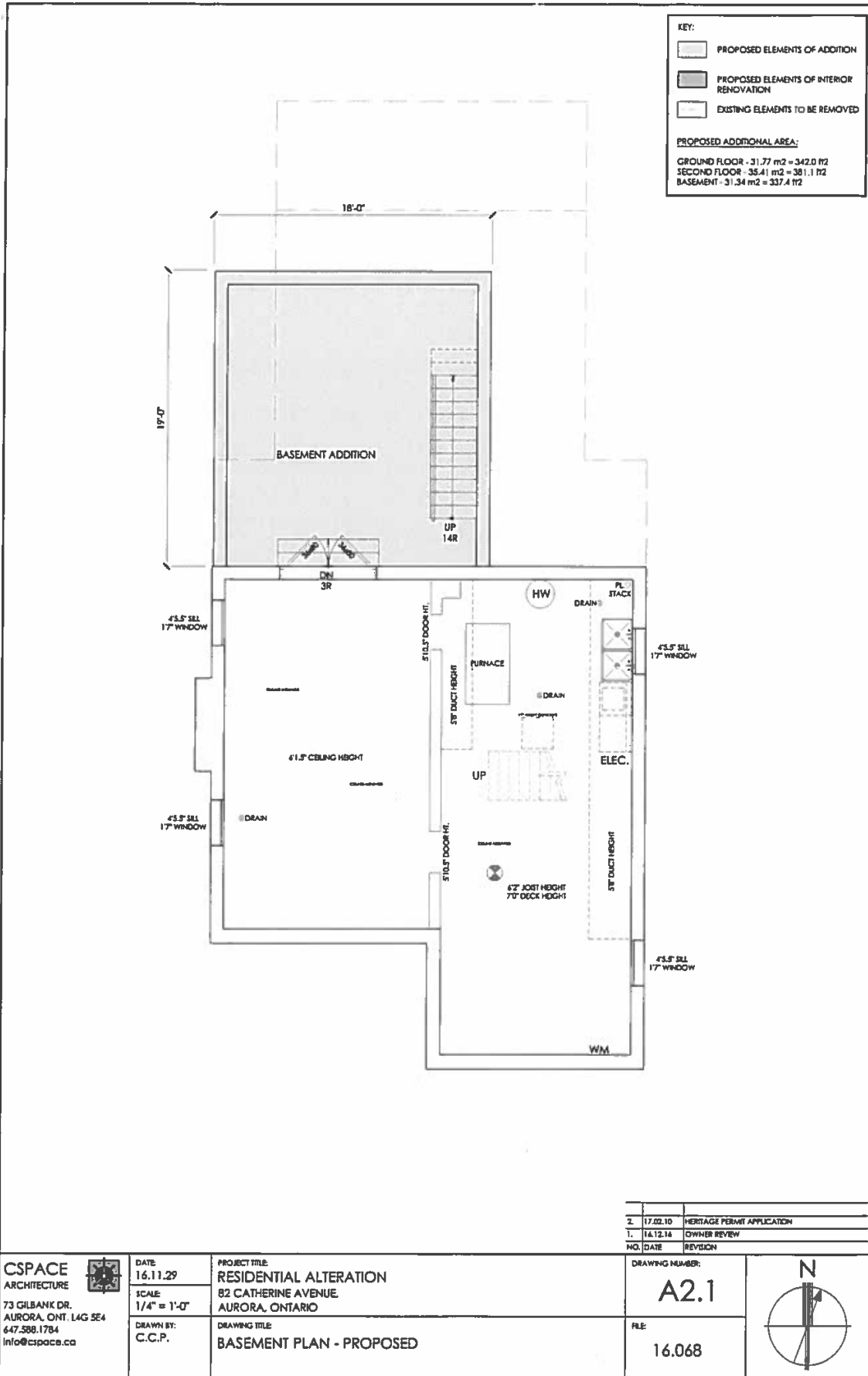
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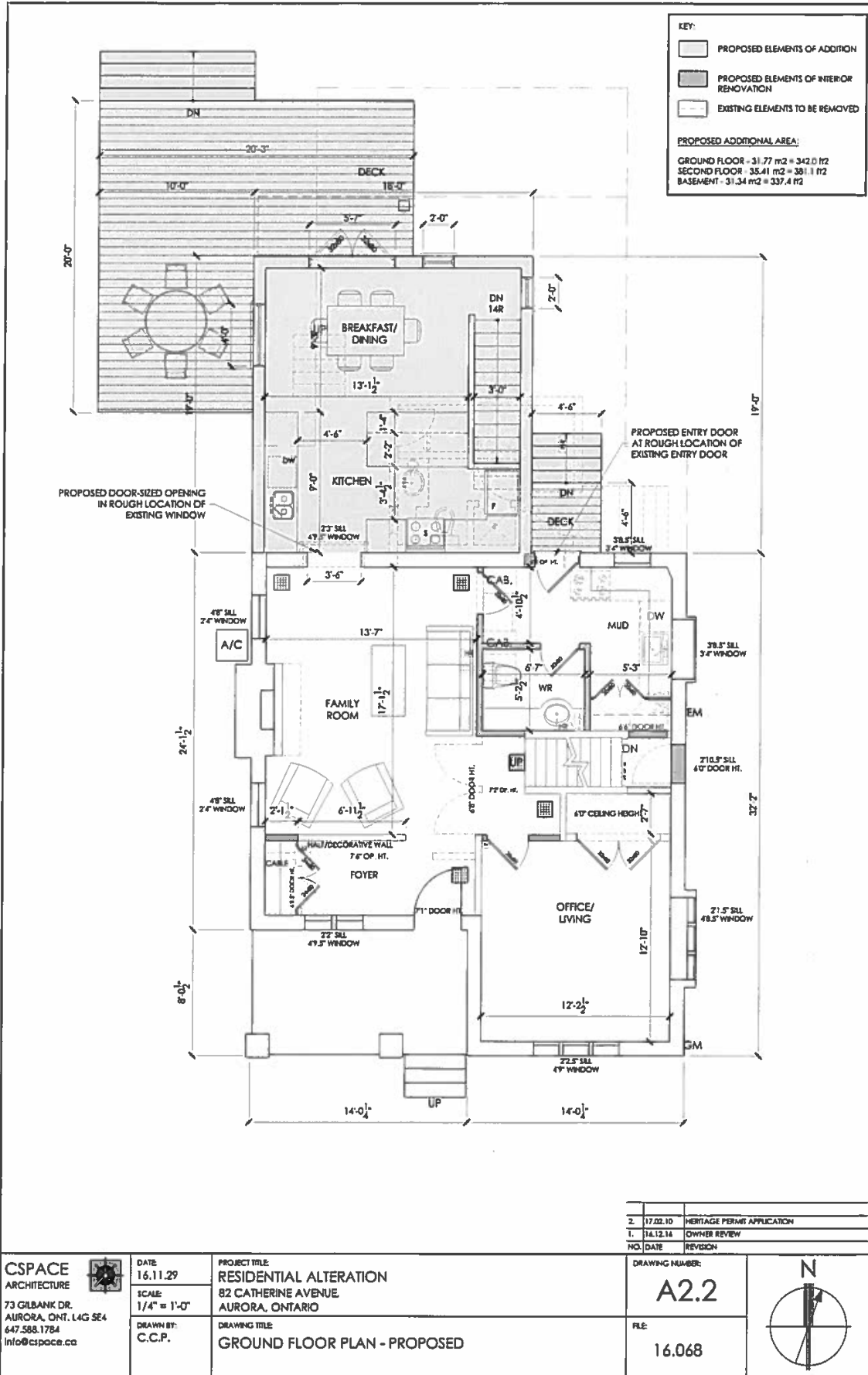
Photo date

The Aurora Inventory of Heritage Buildings was compiled by the Aurora Heritage Advisory Committee (LACAC) between 1976 and 1981. The completed inventory was adopted by Council and released in 1981. On September 26, 2006 Aurora Council at its meeting No. 06-25, has officially changed the name of the Aurora Inventory of Heritage Building to the "Aurora Register of Property of Cultural Heritage Value or Interest" and all property included in the Inventory were transferred to the Register.

Attachment 3







CSPACE
 ARCHITECTURE

73 GILBANK DR.
 AURORA, ONT. L4G 5E4
 447.588.1784
 info@ospace.ca

DATE
 16.11.29

SCALE
 1/4" = 1'-0"

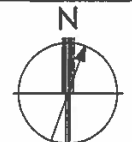
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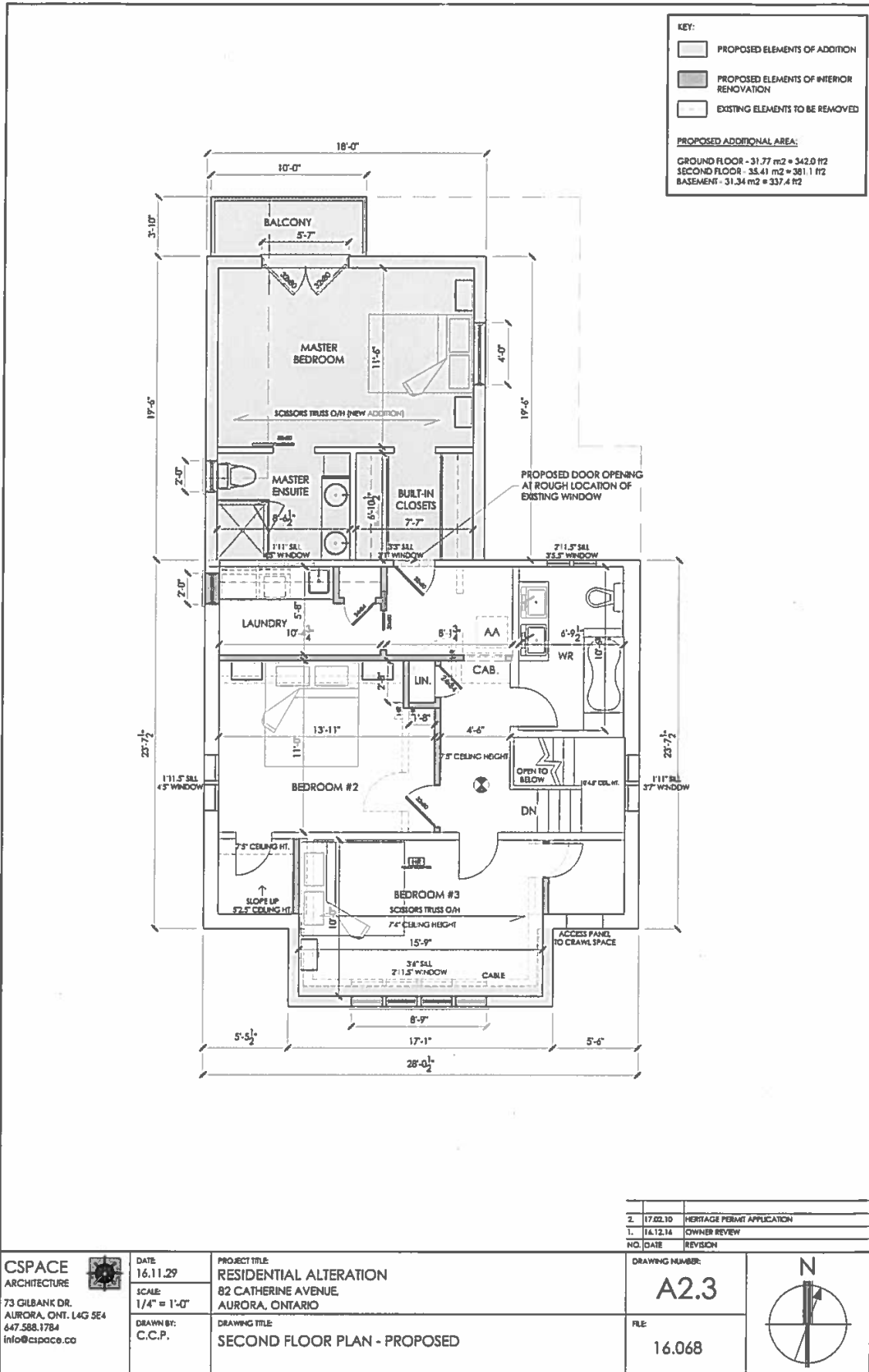
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RESIDENTIAL ALTERATION
 82 CATHERINE AVENUE,
 AURORA, ONTARIO

DRAWING TITLE:
GROUND FLOOR PLAN - PROPOSED

DRAWING NUMBER:
A2.2

FILE:
 16.068





2.	17.02.10	HERITAGE PERMIT APPLICATION
1.	16.12.16	OWNER REVIEW
	NO. DATE	REVISION

CSPACE ARCHITECTURE
 73 GILBANK DR.
 AURORA, ONT. L4G 5E4
 447.588.1784
 info@cspac.co

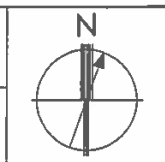
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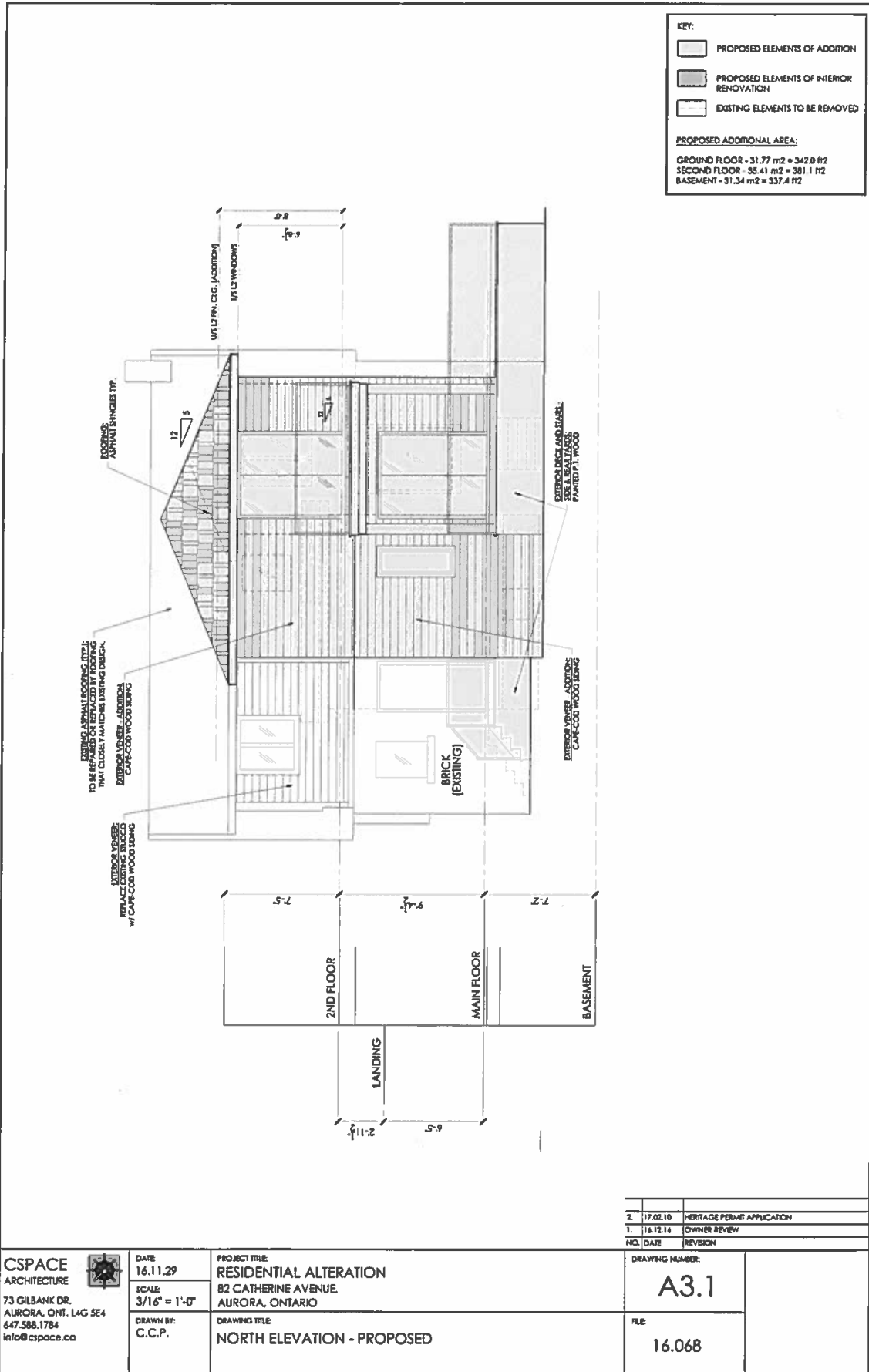
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 82 CATHERINE AVENUE
 AURORA, ONTARIO

DRAWING TITLE:
SECOND FLOOR PLAN - PROPOSED

DRAWING NUMBER:
A2.3

FILE:
 16.068





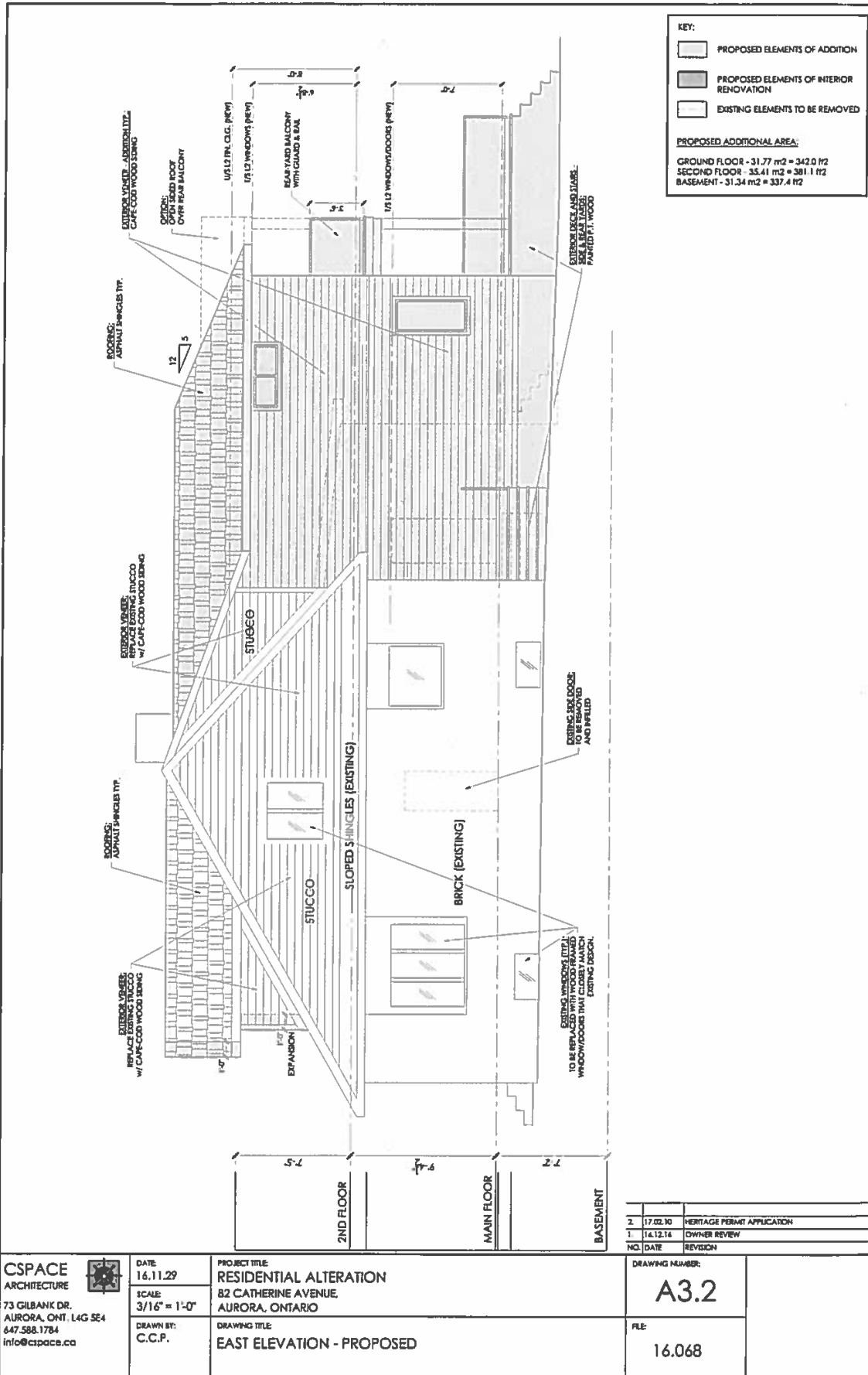
2.	17.02.10	HERITAGE PERMIT APPLICATION
1.	16.12.14	OWNER REVIEW
NO.	DATE	REVISION

CSPACE ARCHITECTURE
 73 GILBANK DR.
 AURORA, ONT. L4G 5E4
 647.588.1784
 info@ospace.ca

DATE
16.11.29
 SCALE
3/16" = 1'-0"
 DRAWN BY:
C.C.P.

PROJECT TITLE
RESIDENTIAL ALTERATION
 82 CATHERINE AVENUE
 AURORA, ONTARIO
 DRAWING TITLE
NORTH ELEVATION - PROPOSED

DRAWING NUMBER:
A3.1
 FILE
 16.068



CSPACE ARCHITECTURE
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 AURORA, ONT. L4G 5E4
 647.588.1784
 info@cspace.ca

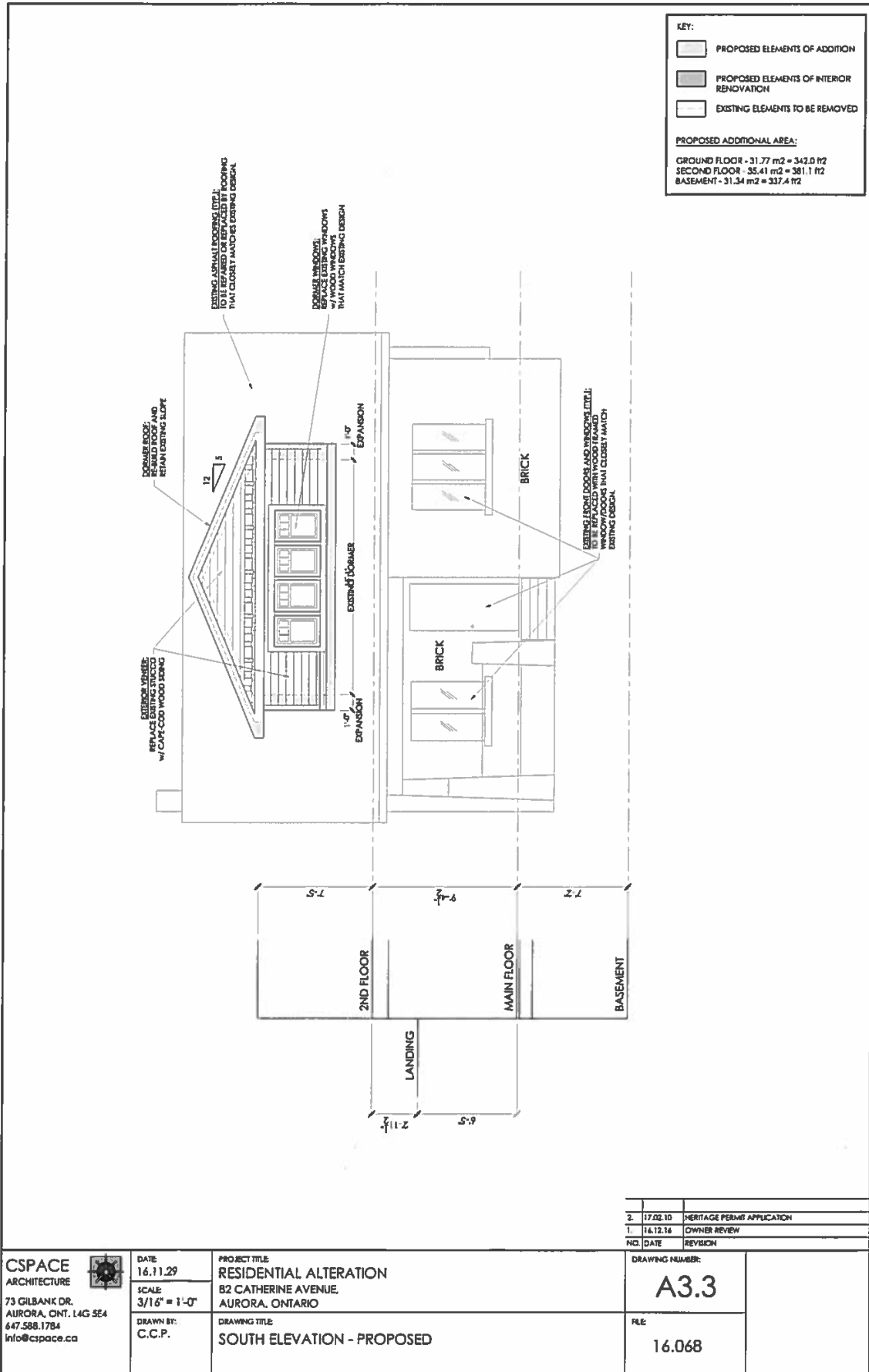
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 82 CATHERINE AVENUE,
 AURORA, ONTARIO

DRAWING TITLE:
EAST ELEVATION - PROPOSED

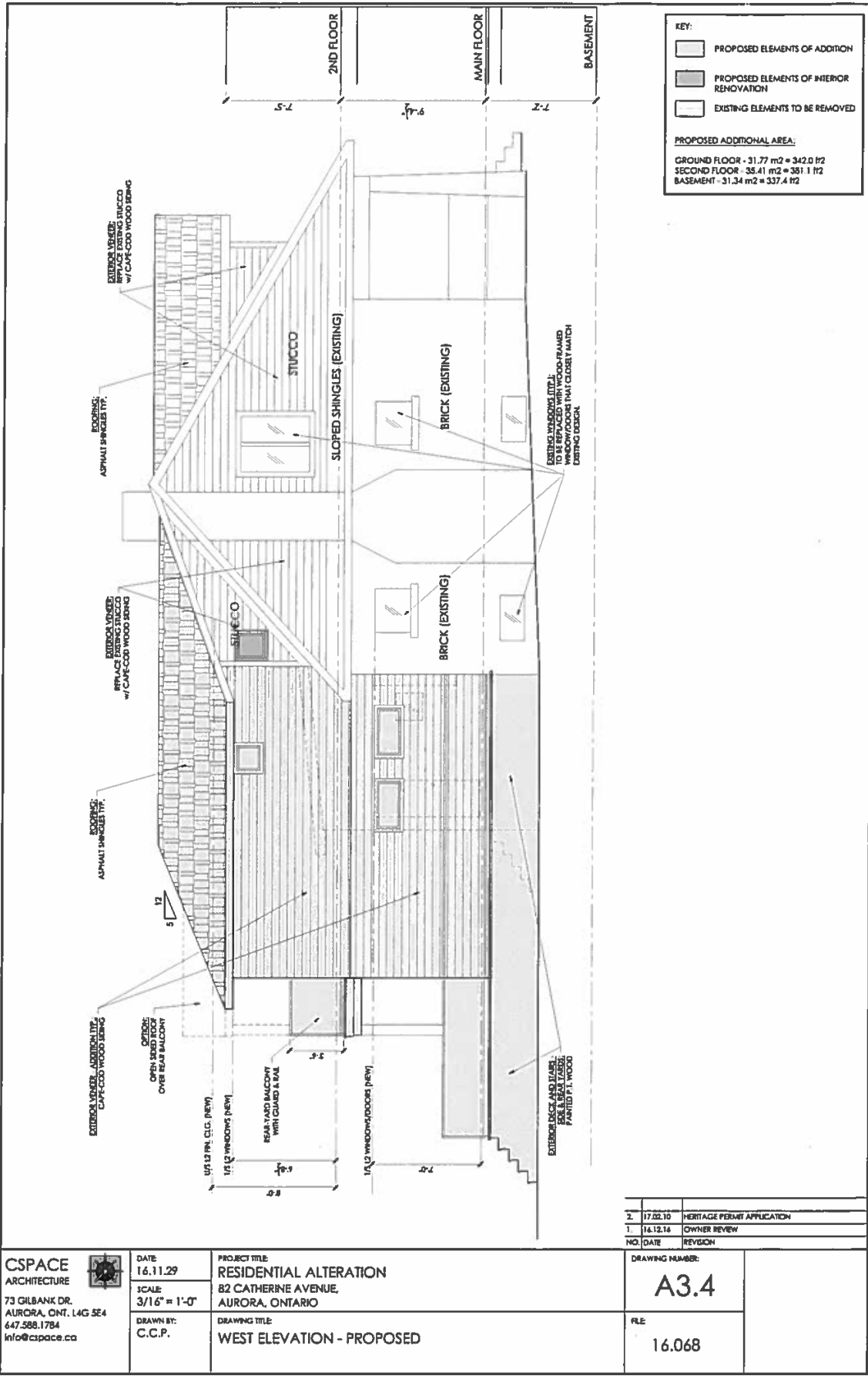
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A3.2

FILE:
 16.068



2.	17.02.10	HERITAGE PERMIT APPLICATION
1.	16.12.16	OWNER REVIEW
NO.	DATE	REVISION

CSPACE ARCHITECTURE 73 GILBANK DR. AURORA, ONT. L4G 5E4 447.588.1784 info@cspace.ca	DATE 16.11.29 SCALE: 3/16" = 1'-0" DRAWN BY: C.C.P.	PROJECT TITLE RESIDENTIAL ALTERATION 82 CATHERINE AVENUE, AURORA, ONTARIO DRAWING TITLE SOUTH ELEVATION - PROPOSED	DRAWING NUMBER: A3.3
			FILE: 16.068



KEY:

- PROPOSED ELEMENTS OF ADDITION
- PROPOSED ELEMENTS OF INTERIOR RENOVATION
- EXISTING ELEMENTS TO BE REMOVED

PROPOSED ADDITIONAL AREA:

GROUND FLOOR - 31.77 m² = 342.0 ft²
 SECOND FLOOR - 35.41 m² = 381.1 ft²
 BASEMENT - 31.34 m² = 337.4 ft²

2.	17.02.10	HERITAGE PERMIT APPLICATION
1.	16.12.16	OWNER REVIEW
NO.	DATE	REVISION

CSPACE
 ARCHITECTURE

73 GILBANK DR.
 AURORA, ONT. L4G 5E4
 447.588.1784
 info@ospace.ca

DATE
 16.11.29

SCALE
 3/16" = 1'-0"

DRAWN BY:
 C.C.P.

PROJECT TITLE
RESIDENTIAL ALTERATION
 82 CATHERINE AVENUE,
 AURORA, ONTARIO

DRAWING TITLE
WEST ELEVATION - PROPOSED

DRAWING NUMBER:
A3.4

FILE
 16.068



**Town of Aurora
Heritage Advisory Committee Report No.HAC17-005**

**Subject: Heritage Permit Application
36 Mark Street
File: NE-HCD-HPA-17-02**

Prepared by: Jeff Healey, Planner

Department: Planning and Building Services

Date: March 6, 2017

Recommendation

- 1. That Report No. HAC17-005 be received; and**
- 2. That the Heritage Advisory Committee recommend to Council:**
 - a) That Heritage Permit Application NE-HCD-HPA-17-02 be approved for the demolition of the existing structure; and**
 - b) That the Owner submit revised elevations that demonstrate greater conformity with the Northeast Old Aurora Heritage Conservation District Plan; and**
 - c) That the revised plans be reviewed by the Heritage Advisory Committee at a future meeting.**

Executive Summary

The purpose of this report is to provide Council with direction from the Heritage Advisory Committee regarding Heritage Permit Application NE-HCD-HPA-17-02 regarding a proposed demolition of an existing structure and the construction of a new detached dwelling and accessory structure located at 36 Mark Street, designated under Part V of the *Ontario Heritage Act* as part of the Northeast Old Aurora Heritage Conservation District.

- The existing house on the subject lands was constructed in 1960 and is not considered a contributing property within the Heritage District.
- The proposed new dwellings do not meet all policies and guidelines of the Heritage Conservation District Plan and requires revision.
- The property is a Designated, non-listed property on the Aurora Register of Properties of Cultural Heritage Value or Interest.

March 6, 2017

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Report No. HAC17-005

Background

The owner of the property located at 36 Mark Street submitted Heritage Permit Application NE-HCD-HPA-17-02 on February 7, 2017.

The owners propose to demolish an existing single detached dwelling on the subject lands and replace with two proposed single detached dwellings.

The subject property was designated in 2006 under Part V of the *Ontario Heritage Act* as part of the Northeast Old Aurora Heritage Conservation District. Section 42 of the *Act* states that,

No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so: "1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property; 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.

The Heritage Permit Application was deemed complete by staff on January 17, 2017. Council has 90 days to respond to the Application or else the Application is automatically approved.

Location

The subject property is located on the north side of Mark Street, at the northwest corner of Mark Street and Spruce Street (See Attachment 1). The property is a Designated, non-listed property on the Aurora Register of Properties of Cultural Heritage Value or Interest, located within the Northeast Old Aurora Heritage Conservation District.

Analysis

Architectural and Historical Value

The subject dwelling appears to be an example of a Ranch House bungalow constructed in 1960. The building is designed with a low slope roof. The building is clad in brick, however a stone façade is present at the front door. An attached garage can be found to the east, with a side gable roof, topped with a cupola at the peak of the roof. The building contains a large picture window at the centre of the home. A rear addition is present, sided with Aluminum siding and stucco. There are two mature trees located on the front elevation and untrimmed hedgerows located around the perimeter of the property on Mark Street and Spruce Street. Photos of the property have been included in this report (see Attachment #2).

There is no historical information available for the property.

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Report No. HAC17-005

Neighbourhood Context

The property is located within the Northeast Old Aurora Heritage Conservation District. The existing building is contextually linked to the residential buildings on the south side of Mark Street, as they appear to have been constructed in the same era. Existing heritage buildings on Mark Street are located further west towards Yonge Street and are not adjacent to the subject lands. The existing building is not considered an important component to the heritage character of the District.

Non-Heritage Buildings within the Northeast Old Aurora Heritage Conservation District Plan

The demolition of non-heritage buildings is identified in Section 4.4.3 of the District Plan, which states that *generally, where non-heritage buildings are supportive of the character of the heritage conservation district, the placement building should also support the district character.*

Proposed Concept Plan

The owner wishes to demolish the designated, non-listed property and construct two new single detached homes on the property. A severance application will be required to sever the lands into two properties. The owner has provided elevations for the proposed building (see Attachment # 3).

Section 7.4 of the District Plan includes policies for severances and minor variances. *Each land division proposal and variance will be evaluated on its own merits and as to its compatibility with the objectives and policies of the District Plan, and the historical lot pattern in the district is a key defining element of the character of the neighbourhood and should be maintained.*

Registered Plan 215 identifies that 36 Mark Street was originally 2 separate lots. See figure 1 on the next page.

Section 4.5.1 of the District Plan outlines the design approach for new buildings within the Heritage Conservation District.

Design Approach: The Design of new buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District

The proposed design reflects an Edwardian architectural style, this style is supported along Mark Street.

Design Approach: New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; having similar setbacks; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.

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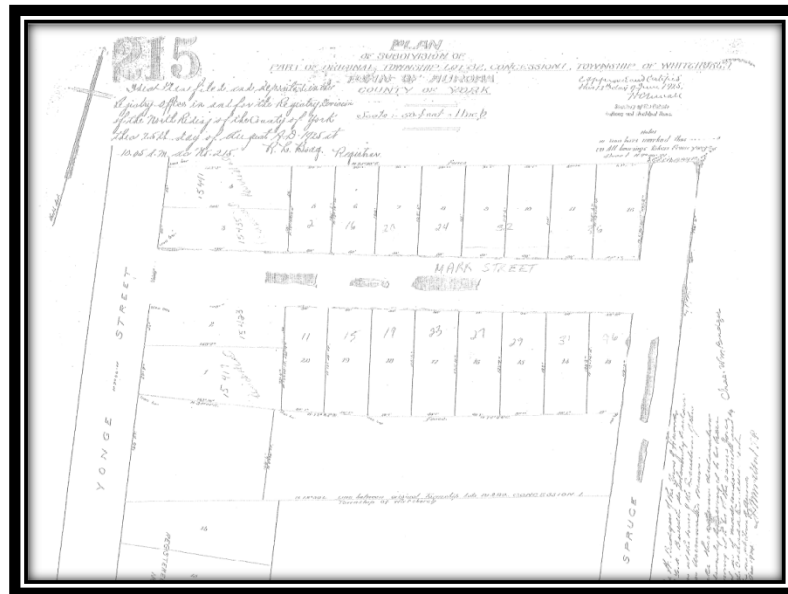


Figure 1: Registered Plan 215

The proposed design reflects an Edwardian architectural style, incorporating brick. The side elevation on Unit B comprises of stucco, which is to be amended to brick. The windows, doors and front porch require minor revisions to be in keeping with Edwardian architecture.

Design Approach: New residential building construction will respect natural landforms, drainage, and existing mature vegetation.

The owner is proposing to maintain the existing mature trees and hedgerows on the property.

Design Approach: The height of new residential buildings should not be less than lowest heritage building on the same block or higher than the highest heritage building on the same block. Historically appropriate heights for new residential buildings are considered to be 1-½ to 2-½ storeys, subject to an actual height limit of 9 metres to the mid-slope of the roof.

The proposed buildings are measured at 2 storeys and 9.9 metres and 9.6 metres in height respectively. The block of homes on the north side of Mark Street, are predominantly between 1 and 1 ½ storey buildings. The owner is requested to reduce the building height of both structures to 9 metres.

Section 9.1.2.1 of the District Plan speaks to traditional spacing and driveway placement of buildings. It is a guideline of the district “To preserve traditional spacing of buildings, new garages for new or existing houses shall be separate rear or flankage outbuildings”.

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Report No. HAC17-005

The owners have proposed an attached garage, for each proposed building. The owner has cited that topography issues prevent the ability of placing a detached garage for each home. The attached garage is not in keeping with the policies of the District Plan. Staff request that the owner evaluate the existing topography considerations for 36A to consider a recessed garage. Staff also request that the owner incorporate a detached garage for lot 36B, with the access point fronting onto Spruce Street. A similar example to a lot configuration for 36B can be found at 40 Maple Street.

Section 9.1.2.2 of the District Plan speaks to rear yard spacing and amenity area. This section of the plan includes important building depth provisions to control overall massing of structures. The maximum building depth for a two storey structure is 16.76 metres.

The proposed building depth for 36A is 16.1 metres. The proposed building depth for 36B is 16.8 metres.

The District Plan also requests, where feasible and reasonable, to include *“an inset of a minimum of 0.3m (1ft) from the side yard and that the roof be set down a minimum of 0.3 metres (1ft) beyond the (building) depth of 12 metres (39’3”).”*

Lot 36A appears to be in keeping with this guideline, as the building indents approximately 2 metres on the west side of the building. Lot 36B does not meet this guideline and will be required to adjust the building height and massing accordingly.

Design Approach: New residential building construction in the District will conform with the guidelines found in Section 9.5.2.

The proposed building meets the setbacks of By-law 2213-78. The front yard setback of lots 36A and 36B will be consistent with adjacent properties to the west. The owner is keeping the existing mature trees and hedgerows on the property.

The proposed siting specifications for the building are as follows:

	Existing R5 Residential Zone Requirement	Proposed 36 A	Proposed 36 B
Lot Area (minimum)	460 m ²	532 m ²	618 m ²
Lot Frontage (minimum)	15 m	15.2 m	16.4 m
Front Yard (minimum)	6.0 m	6.6 m	8.1 m
Rear Yard (minimum)	7.5 m	10.8 m	10.1 m
Interior West Side Yard (minimum)	1.5 m	1.5 m	1.5 m

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Report No. HAC17-005

Interior East Side Yard (minimum)	1.5 m	1.5 m	6.6 m (Exterior Side Yard)
Lot Coverage (maximum)	35%	33.5%	24%
Height (maximum)	10.0 m	9.9 m	9.6 m

Design Review Panel

The application was reviewed by the Design Review Panel on February 27, 2017. Comments with respect to the application were not available at the time of writing this report.

Financial Implications

There are no financial implications.

Communications Considerations

No Communication Required.

Link to Strategic Plan

The conservation of heritage resources supports the Strategic Plan goal of Supporting an Exceptional Quality of Life for All through its accomplishment in satisfying requirements in objective Celebrating and Promoting our Culture.

Alternatives to the Recommendation

1. Allow Heritage Permit Application NE-HCD-HPA-17-02 as proposed.
2. Deny Heritage Permit Application NE-HCD-HPA-17-02.

Conclusions

The existing home at 36 Mark Street is not considered a contributing property within the District. Staff recommend that the Heritage Advisory Committee approve the request to demolish the existing building located at 36 Mark Street. Revisions to the proposal are required in order for the proposed building to be in keeping with the Northeast Old Aurora Heritage Conservation District Plan.

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Attachments

Attachment #1 – Location Map

Attachment #2 – Photos of Existing Building

Attachment #3 – Proposed Building Elevations and Site Plan

Previous Reports

None.

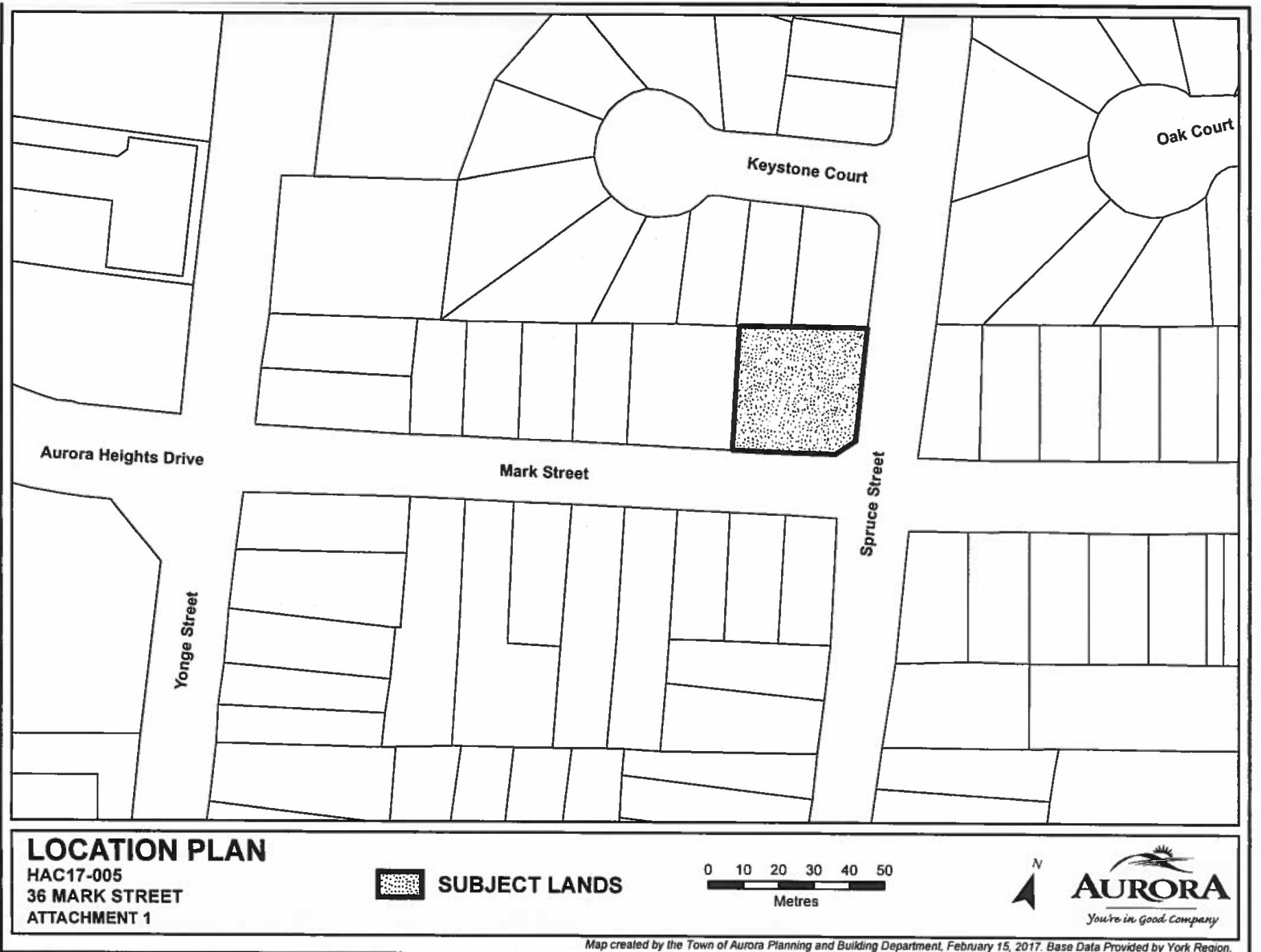
Pre-submission Review

Agenda Management Team Meeting review on February 23, 2017.

Departmental Approval

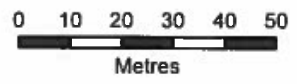


**Marco Ramunno
Director, Planning and Building Services**



LOCATION PLAN
HAC17-005
36 MARK STREET
ATTACHMENT 1

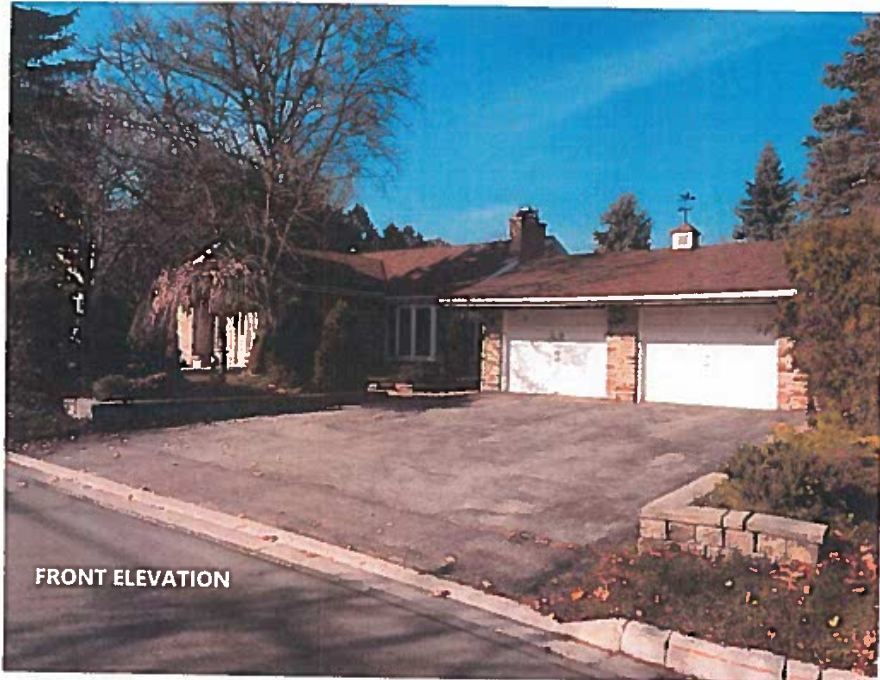
 **SUBJECT LANDS**



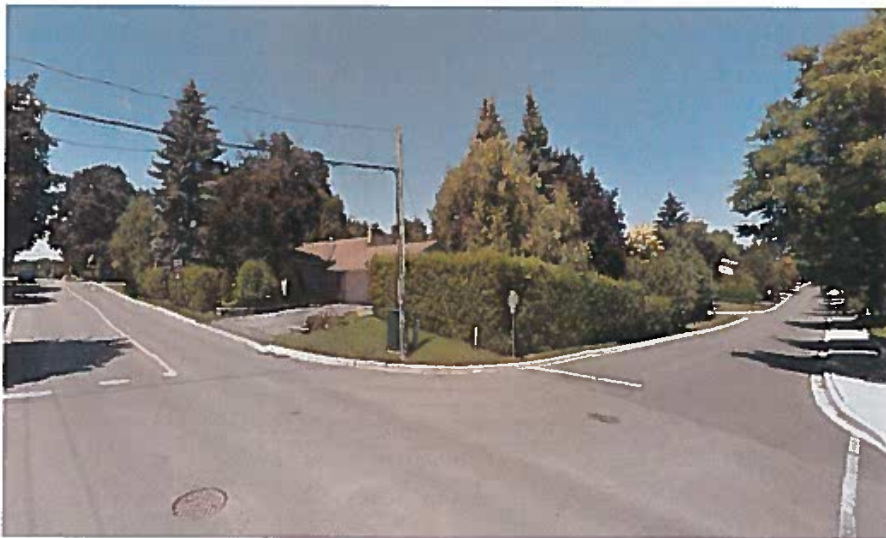
Map created by the Town of Aurora Planning and Building Department, February 15, 2017. Base Data Provided by York Region.

Attachment 2

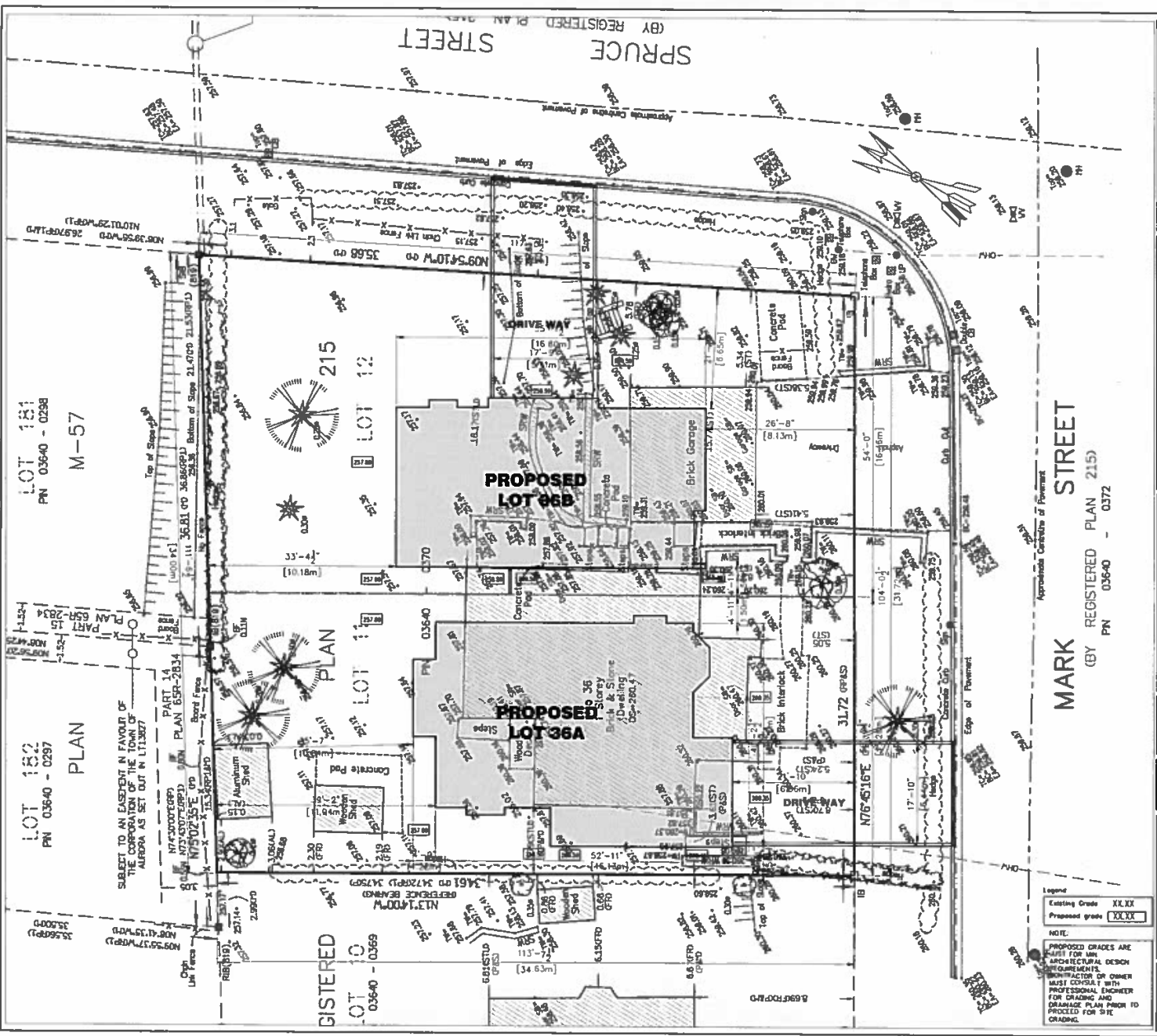
Photos- 36 Mark Street



36 Mark Street- Front Elevation (Source: Owner)



36 Mark Street from Spruce Street- Note existing mature hedgerows and trees (Source: Google)



The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancies to the designer before proceeding. Construction must conform to all applicable Codes, Requirements and By-laws of Authorities having jurisdiction.

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Date: _____

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DESIGNER
AHMADREZA ZADRAD
BCIN 41887

FIRM NAME: M CON DESIGN BUILD INC.
BCIN 47215

REGISTRATION NO. (PROF. REG. NO.)
REGISTERED IN 1987 (PROF. REG. NO.) C-3.2.1
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Project: 36 MARK ST
TOWN OF AURORA
ONTARIO

Drawing Title: PROPOSED SITE PLAN AND
LOT SEVERANCE

No.	Revision	Date

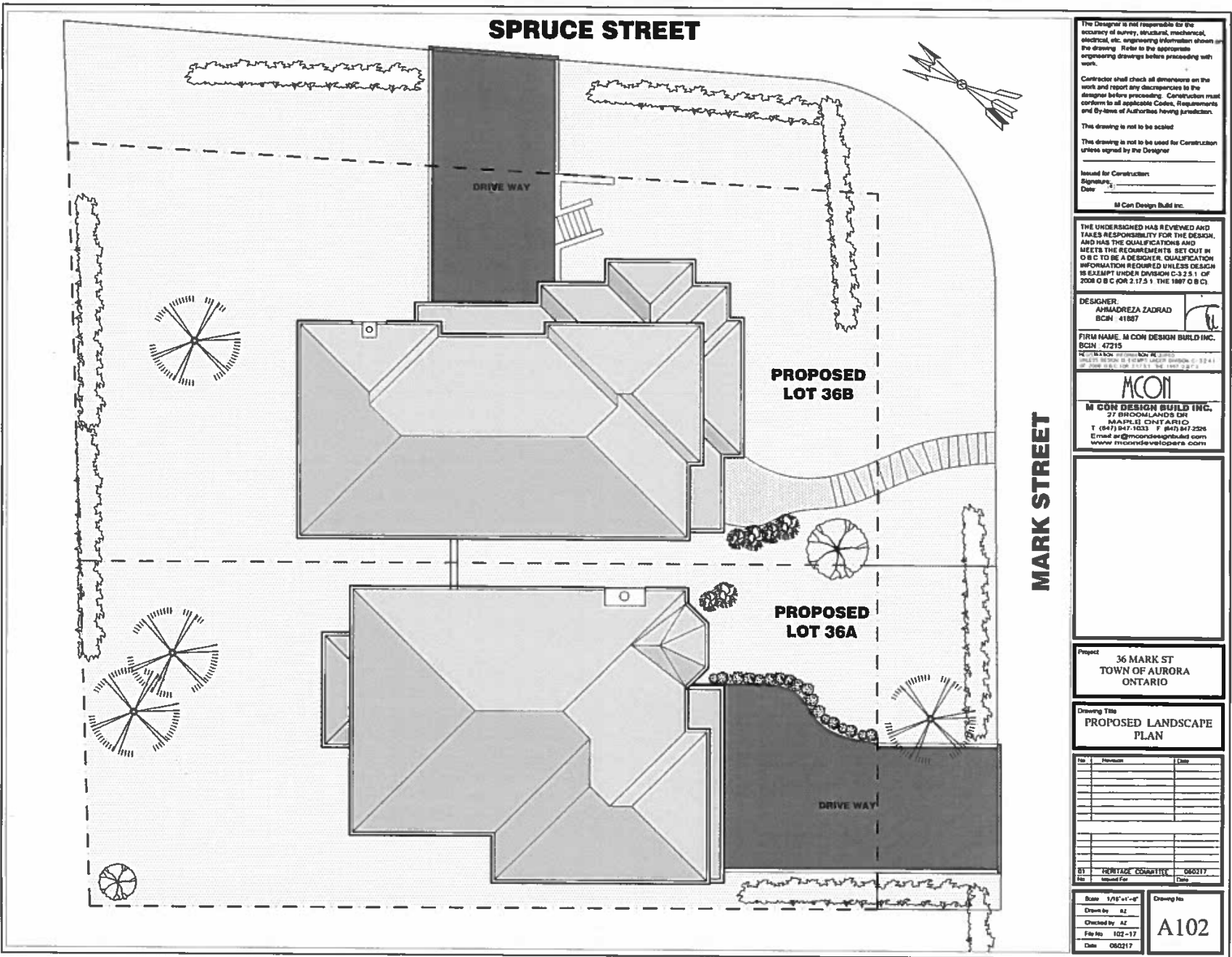
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Drawn by: aj
Checked by: aj
File No: 102-17
Date: 06/21/17

Drawing No: **A101**

Legend:
Existing Grade: XXXXX
Proposed grade: XXXXX

NOTE:
PROPOSED GRADES ARE
VALID FOR USE
ARCHITECTURAL DESIGN
REQUIREMENTS.
NON-ACTOR OR OTHER
MUST CONSULT WITH
PROFESSIONAL ENGINEER
FOR DRIVING AND
DRAINAGE PLAN PRIOR TO
PROCEED FOR SITE
GRADING.

Attachment 3



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DESIGNER:
 AHMADREZA ZADRAD
 BCIN 41887

FIRM NAME: M CON DESIGN BUILD INC.
 BCIN 47215

MCON

M CON DESIGN BUILD INC.
 27 BRIDGLANDS DR
 MARKHAM ONTARIO
 T (947) 847-1833 F (947) 847-2226
 E mail ar@mocondesignbuild.com
 www.mocondevelopers.com

Project
 36 MARK ST
 TOWN OF AURORA
 ONTARIO

Drawing Title
PROPOSED LANDSCAPE PLAN

No.	Revision	Date

BY: HERITAGE COMMITTEE 080217
 Date: _____

Scale: 1/8" = 1'-0"
 Drawn by: AZ
 Checked by: AZ
 File No: 102-17
 Date: 080217

Drawing No:
A102

36 A

1 Front Elevation
3/16"=1'-0"

36 B

2 Front Elevation
3/16"=1'-0"

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This drawing is not to be used for Construction unless signed by the Designer.

Issued for Construction
Signature: _____
Date: _____

M Con Design Build Inc.

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DESIGNER: AHMADREZA ZADRAD
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DRAFT

Project: 36 MARK ST
TOWN OF AURORA
ONTARIO

Drawing Title: PROPOSED FRONT
ELEVATION

No.	Revision	Date

Scale: 3/16"=1'-0" Drawn by: RJ Checked by: AJ File No: 102-17 Date: 08/21/7	Drawing No: A201
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1 East Elevation
 1/8" = 1'-0"

36 B

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Issued for Construction:
 Signature: _____
 Date: _____

M Con Design Build Inc.

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DESIGNER:
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DRAFT

Project: 36 MARK ST
 TOWN OF AURORA
 ONTARIO

Drawing Title: PROPOSED EAST ELEVATION

No.	Previous	Copy

Scale: 1/8" = 1'-0"
 Drawn by: AZ
 Checked by: AZ
 File No: 103-17
 Date: 08/21/17

Drawing No: A202



**Extract from
Council Meeting of
Tuesday, February 14, 2017**

6. Consideration of Items Requiring Discussion (Regular Agenda)

R9. Memorandum from Mayor Dawe

Re: Correspondence from The Honourable Peter Van Loan, MP, York-Simcoe – Proposed Private Member’s Bill C-323

Moved by Councillor Thompson

Seconded by Councillor Humfryes

1. That the memorandum regarding Correspondence from The Honourable Peter Van Loan, MP, York-Simcoe – Proposed Private Member’s Bill C-323, be received; and
2. That Council support this initiative by resolution; and
3. That a copy of Council’s resolution be forwarded to the offices of Kyle Peterson, MP, Newmarket-Aurora, Leona Alleslev, MP, Aurora-Oak Ridges-Richmond Hill, and The Honourable Peter Van Loan, MP, York-Simcoe.

Carried

Attachment 1 - Memorandum from Mayor Dawe, Re: Correspondence from The Honourable Peter Van Loan, MP, York-Simcoe - Proposed Private Member's Bill C-323



100 John West Way
Box 1000
Aurora, Ontario
L4G 6J1
Phone: 905-727-3123 ext. 4746
Email: mayor@aurora.ca
www.aurora.ca

Attachment 1

**Town of Aurora
Office of the Mayor**

Memorandum

Date: February 14, 2017
To: Members of Council
From: Mayor Geoffrey Dawe
Re: **Correspondence from The Honourable Peter Van Loan, MP, York-Simcoe
Proposed Private Member's Bill C-323**

The Honourable Peter Van Loan, MP, York-Simcoe and the Official Opposition Critic for Canadian Heritage and National Historic Sites, has introduced a Private Member's Bill which will create a 20% tax credit for the restoration of historic places.

Recommendation

- 1. That the correspondence be received; and**
- 2. That Council support this initiative by resolution; and**
- 3. That a copy of Council's resolution be forwarded to the offices of Kyle Peterson, MP, Newmarket-Aurora, Leona Alleslev, MP, Aurora-Oak Ridges-Richmond Hill, and The Honourable Peter Van Loan, MP, York-Simcoe.**

Attachments

Attachment 1 – Correspondence from The Hon. Peter Van Loan, MP, York-Simcoe

PETER

VAN LOAN MP

YORK-SIMCOE

**CHANGE FOR
THE BETTER**

His Worship Geoffrey Dawe
Town of Aurora
PO Box 1000, 100 John Way West, Aurora ON
L4G 6J1

Dear Mayor Dawe,

Let's Save our Heritage Infrastructure – Contact Your MP to Support Bill C-323

As the Official Opposition Critic for Canadian Heritage and National Historic Sites, I introduced a Private Member's Bill to create a tax credit for restoration of historic places. Bill C-323 creates a 20% tax credit for rehabilitation work done on designated heritage buildings. It also creates a three year accelerated write-off period for spending on these buildings.

Built heritage creates cultural value for our communities. It enriches our lives and connects us to our history. Currently, Canada has no policy to help those who spend heavily on this public benefit. With the 150th anniversary of Confederation fast approaching, the adoption of this policy is appropriate.

I am asking for your support to get this important legislation passed so that our cultural heritage may be preserved and saved for generations to come.

You can help get Bill C-323 passed by contacting your MP to vote for Bill C-323.

This proposal will help re-connect us to our history and culture. I look forward to working to preserve our built heritage, with your support. Please find enclosed an information package about the details of Bill C-323.

Thank you,



Hon. Peter Van Loan, MP
Official Opposition Critic for Canadian Heritage and National Historic Sites
Member of Parliament for York-Simcoe

P.S. Mail may be sent postage-free to:

Name of Member of Parliament
House of Commons
Ottawa, Ontario
K1A 0A6

To find the phone number or email address for your local Member(s) of Parliament, please consult the Parliament of Canada's website at www.parl.gc.ca

RECEIVED

JAN 30 2017

MAYOR'S OFFICE



**A TAX CREDIT FOR
THE RESTORATION OF HERITAGE
PROPERTIES**



**ASK YOUR MEMBER OF PARLIAMENT
TO SUPPORT BILL C-323**

**An Act to Amend the Income Tax Act
(Rehabilitation of Historic Property)**

Peter Van Loan, MP

Bill C-323

What People are Saying about Bill C-323:

"This is an idea that has had **widespread support** from heritage advocates, federal, provincial, territorial and municipal governments, and the Federation of Canadian Municipalities over the years. **It's exciting to see it tabled in the House and given first reading.** We know that the tax system can be a powerful tool to stimulate private investment in heritage buildings. In the United States, the introduction of a 20 percent federal tax credit for rehabilitation of heritage buildings 40 years ago **revolutionized the way developers think about old buildings and launched a booming and competitive preservation industry.**"

– National Trust for Canada



The Fairmont Empress Hotel—Victoria, BC

Contact Your MP, and Tell Them to Support Bill C-323

Write them at: House of Commons, Ottawa, ON K1A 0A6

Or, phone or email them.

Bill C-323

What is Bill C-323?

- A **tax credit** that will seek to limit the destruction of Canada's heritage buildings, and instead encourage the rehabilitation of these culturally significant buildings
- The Bill would also allow owners to **write-off** spending on heritage restoration at a faster rate than is currently the case

Why introduce Bill C-323?

- There is a tremendous public interest in the preservation and restoration of heritage properties. But the cost burden of doing so is usually more expensive to owners than other alternatives—like demolition and new construction
- This Bill helps owners who are preserving heritage buildings with the cost of delivering this public benefit
- The pilot program for this policy was very successful in encouraging investment from private individuals and businesses. The pilot program for this Bill saw tremendous growth in property values, occupancy rates, and profits for businesses in rehabilitated buildings



Henry House—Halifax, NS

Bill C-323

Why preserve heritage infrastructure?

- This Bill will help reconnect Canadians to their cultural heritage
- Investments in our built heritage create cultural value. A similar policy in the United States is described as “the most effective Federal program to promote community revitalization”
- Large rehabilitation projects often create lots of good paying jobs



Sir John A MacDonald's Summer Home at Les Rochers—Rivière-du-Loup, QC

How does it work?

- The tax credit would be available to properties that appear on the National Register of Historic Places
- An architect must certify that the eligible building has undergone rehabilitation in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada for the project to be eligible for the credit and the accelerated write-off

Bill C-323

What are people saying about it?

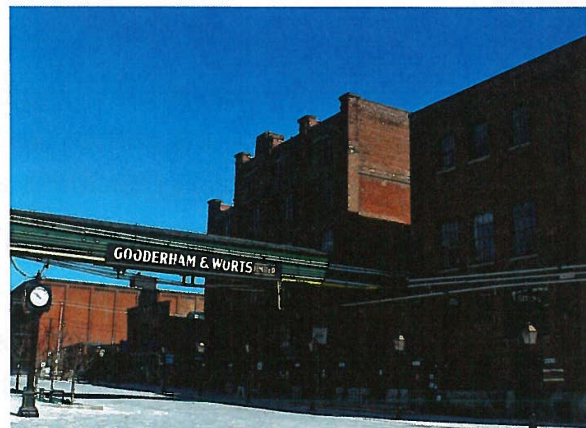


Capitole de Québec—Québec, QC

This bill will encourage “**historic building owners to rehabilitate rather than demolish**”. This “is key for truly sustainable communities; in terms of both the embodied energy in an existing building, and for such places enhancing our shared social identity, **community pride and civitas.**” – Eric Pattinson, Pattinson Architecture

Bill C-323 is “a **win-win**: for heritage; and for the local economy where historic preservation **creates jobs** for professionals and within the trades” – James Reid, Principal Architect, taigh Architecture, Inc.

“Peter’s progressive bill represents a true **partnership** role for government in **protecting Canada’s Heritage.**” – Michael McClelland, ERA Architects



Gooderham and Worts—Toronto, ON

Frequently Asked Questions

What does Bill C-323 do?

Bill C-323 creates a 20% tax credit on eligible costs for rehabilitation work done to a building that is designated as a historic place. The bill also creates an Accelerated Capital Cost Allowance for eligible capitalized costs incurred under the same conditions as the tax credit.

What is the purpose of Bill C-323?

The Bill aims to preserve our cultural heritage, and build a foundation upon which the policy may be expanded. Preserving our communal heritage benefits all Canadians, and with Canada 150 fast approaching, it is appropriate to introduce this policy now.

What is a “historic place”?

A historic place is defined as a property on the Register of Historic Places, a list of designated properties that have significant historic value to Canada. The enabling legislation for the Register can be found in s. 3 of the Historic Sites and Monuments Act. Bill C-323 includes a provision for the Minister to extend the definition of “historic place” to other buildings and definitions of historic places (e.g. provincial registers of historic places).

What is an “eligible cost”?

Eligible costs under the provisions of the bill are defined as costs that are construction, professional, insurance, development, site improvement, or otherwise prescribed costs. This explicitly excludes acquisition, cosmetic and furnishing costs.

What is defined as “rehabilitation work”?

Rehabilitation work is defined as work that is done in accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada*, and must be certified by a registered professional architect licensed to practice in Canada.

Over what period of time may the tax credit be claimed?

Each certified project has 10 years over which it may have a tax credit claimed, or unused portion thereof carried forward.

Frequently Asked Questions

What is an Accelerated Capital Cost Allowance?

An Accelerated Capital Cost Allowance is a tax mechanism that permits the deduction of taxable capital expenditures in a regularized fashion. For the purposes of this bill, this means that costs which are capitalized in nature, are eligible for a 3 year, 25%, 50%, 25% per year deduction, so that after 3 years, the entire value of the capital expenditure has been written-off.

Can a capitalized cost be claimed under both the tax credit and the accelerated Capital Cost Allowance regimes?

Yes, however, the taxable base will be reduced by the amount of the other policy, e.g. if the capitalized costs are claimed under the tax credit, only the remaining 80% of the capitalized costs will be eligible under the accelerated Capital Cost Allowance.

Has this policy been tested for viability in Canada?

In the early 2000's, the government implemented a pilot program. The program, whose end goal was to be converted into a tax credit such as the one this bill creates, on average doubled the market property values of historic properties, business revenue, and occupancy rates of the historic properties. These activities incentivized by the Fund generated significant GST and corporate tax revenues. The policy is considered viable in Canada.

Has this policy been tested in other countries?

Many countries have heritage grants, programs, etc. The most similar policy to the one this bill advances is the tax credit program in the United States, which provides a 20% tax credit on costs related to the rehabilitation of designated historic buildings, and a 10% credit on non-designated building built before 1936. The program, implemented in 1976, is recognized as having been hugely successful, with over 41,000 projects certified. Furthermore, the program was found to have a net-positive impact on the treasury of +\$5.0 billion over the present life of the program (1976-2015).

Bill C-323

How Can We Make Bill C-323 Law?

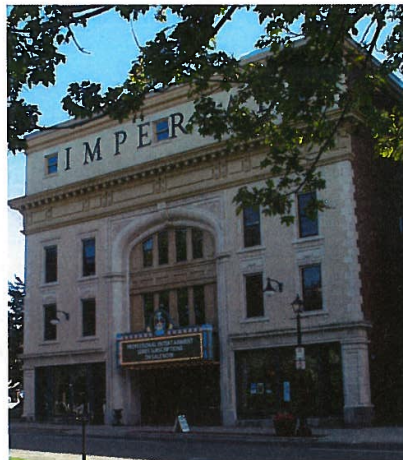
To make **Bill C-323 law**, and to protect our built heritage, MPs have to vote for the Bill. The best way to get your MP to vote for the Bill is to contact them, and encourage them to **vote in favour of Bill C-323**.

You can:

1. **Send them a letter** at House of Commons, Ottawa, ON K1A 0A6
2. **Phone them**, or
3. **Email them**.

Each and every contact is one more step toward **making Bill C-323 law**, and one more step toward **preserving our cultural built heritage**.

If you don't know who your MP is, just search "Who is my MP?" in Google, or visit "<http://tinyurl.com/hjw6bpv>". This website, from the Parliament of Canada, lets you search for who your MP is by postal code.



Imperial Theatre—Saint John, NB