



**HERITAGE
ADVISORY COMMITTEE
MEETING AGENDA**

MONDAY, OCTOBER 5, 2015

7 P.M.

**HOLLAND ROOM
AURORA TOWN HALL**


AURORA
TOWN OF AURORA
HERITAGE ADVISORY COMMITTEE
MEETING AGENDA

DATE: Monday, October 5, 2015

TIME AND LOCATION: 7 p.m., Holland Room, Aurora Town Hall

1. DECLARATION OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF

2. APPROVAL OF THE AGENDA

RECOMMENDED:

THAT the agenda as circulated by Legal and Legislative Services be approved.

3. RECEIPT OF THE MINUTES

Heritage Advisory Committee Meeting Minutes of September 9, 2015 pg. 1

RECOMMENDED:

THAT the Heritage Advisory Committee meeting minutes of September 9, 2015, be received for information.

4. DELEGATIONS

(a) **Paul Lapalme, Consultant representing Town of Aurora Engineering** pg. 9
Re: Reconstruction of Catherine Avenue

5. MATTERS FOR CONSIDERATION

1. **HAC15-012 – Proposed Demolition of Existing Second Storey and** pg. 18
Accessory Garage to a Listed Heritage Building,
36 Larmont Street

RECOMMENDED:

THAT Report No. HAC15-012 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT the demolition of existing second storey at 36 Larmont Street be approved; and

THAT the demolition of the existing detached garage be approved.

2. **Memorandum from Planner** pg. 29
Re: 89 Mosley Street, Aurora Armoury, Ontario Heritage Plaque

RECOMMENDED:

THAT the memorandum regarding 89 Mosley Street, Aurora Armoury, Ontario Heritage Plaque be received; and

THAT the Heritage Advisory Committee consider the restoration of an Ontario Heritage Plaque located at 89 Mosley Street.

3. **Memorandum from Planner** pg. 30
Re: Event Date, Doors Open Aurora 2016

RECOMMENDED:

THAT the memorandum regarding Event Date, Doors Open Aurora 2016 be received; and

THAT the Heritage Advisory Committee consider a date for the Doors Open Aurora 2016 event.

6. **INFORMATIONAL ITEMS**

7. **NEW BUSINESS**

8. **ADJOURNMENT**



TOWN OF AURORA
HERITAGE ADVISORY COMMITTEE
MEETING MINUTES

Date: Wednesday, September 9, 2015

Time and Location: 7 p.m., Holland Room, Aurora Town Hall

Committee Members: Councillor Jeff Thom (Chair), Councillor Wendy Gaertner (Vice Chair), Barry Bridgeford, Bob McRoberts (Honorary Member), Kathy Constable, and Carol Gravelle

Member(s) Absent: Martin Paivio

Other Attendees: Councillor Tom Mrakas, Marco Ramunno, Director of Planning and Development Services, Jeff Healey, Planner, and Samantha Kong, Council/Committee Secretary

The Chair called the meeting to order at 7:02 p.m.

1. DECLARATION OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act*.

2. APPROVAL OF THE AGENDA

Moved by Councillor Gaertner
Seconded by Barry Bridgeford

THAT the agenda as circulated by Legal and Legislative Services, ***with the following additions***, be approved:

- Delegation (b) Lora Cai, Owner of 15342 Yonge Street
Re: Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04

- Delegation (c) Gary Templeton, representing Owner of 32 Wellington St. E
Re: Item 7 – Memorandum from Planner; Re: Additional Information to Heritage Advisory Committee Report No. HAC-007 – 32 Wellington Street East, Final Disposition of the “David W. Doan House” Designated under Part IV of the *Ontario Heritage Act*
- Item 6 – Memorandum from Planner, Re: Additional Information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc.
- Item 7 – Memorandum from Planner; Re: Additional Information to Heritage Advisory Committee Report No. HAC15-007 – 32 Wellington Street East, Final Disposition of the “David W. Doan House” Designated under Part IV of the *Ontario Heritage Act*

CARRIED

3. RECEIPT OF THE MINUTES

Heritage Advisory Committee Meeting Minutes of August 17, 2015

**Moved by Carol Gravelle
Seconded by Bob McRoberts**

THAT the Heritage Advisory Committee meeting minutes of August 17, 2015, be received for information.

CARRIED

4. DELEGATIONS

- (a) **Shane Gregory, representing Owners of 45 Mosley Street
Re: Item 1 – Report No. HAC15-009 – Proposed Demolition of Existing
Second Storey to a Listed Heritage Building, 45 Mosley Street**

Mr. Gregory presented a brief overview of the request to demolish the existing second storey for the purposes of reconstructing a new second storey, and indicated he was present to answer any questions of the Committee.

**Moved by Councillor Gaertner
Seconded Barry Bridgeford**

THAT the comments of the delegation be received and referred to Item 1.

CARRIED

- (b) **Lora Cai, Owner of 15342 Yonge Street**
Re: Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04

(Added Item)

Ms. Cai presented a brief overview of the request and provided information and history regarding the accessory barn. She noted that the accessory barn is expensive to maintain and that she considered alternative uses, such as a garage, however, the foundation of the barn would not be able to support the weight of a car. Ms. Cai expressed future plans to convert the site of the barn into part of the business's parking lot.

Moved by Bob McRoberts
Seconded by Carol Gravelle

THAT the comments of the delegation be received and referred to Item 2.

CARRIED

- (c) **Gary Templeton, representing Owner of 32 Wellington St. E.**
Re: Item 7 – Memorandum from Planner; Re: Additional Information to Heritage Advisory Committee Report No HAC15-007 – 32 Wellington Street East, Final Disposition of the “David W. Doan House” Designated under Part IV of the *Ontario Heritage Act*

(Added Item)

Mr. Templeton and owner Mr. Belak, provided information and history regarding the subject property and expressed their efforts in saving the façade.

Moved by Barry Bridgeford
Seconded by Carol Gravelle

THAT the comments of the delegation be received and referred to Item 7.

CARRIED

5. MATTERS FOR CONSIDERATION

1. **HAC15-009 – Proposed Demolition of Existing Second Storey to a Listed Heritage Building, 45 Mosley Street**

Staff provided a brief overview of the subject property at 45 Mosley Street, which is a 1-1/2 storey residential dwelling constructed circa 1860, and is known as the "Aurora's First Village Hall". He stated that the structure may have been moved from its original location on Yonge Street and Mosley Street, where it served as Town Hall, however, additional research would be required to confirm this claim. Staff indicated that the owners have prepared a new design for the second storey, in keeping with the current style.

The Committee expressed support towards the demolition of the existing second storey and reconstruction of a new second storey as many aspects of the existing dwelling indicate that the original structure has been altered.

Moved by Bob McRoberts
Seconded by Councillor Gaertner

THAT Report No. HAC15-009 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT the proposed demolition of the existing second storey at 45 Mosley Street ***be supported*** for the purpose of reconstructing a new second storey for the existing dwelling; ***and***

THAT a wood plaque indicating the history of the building be included on the property, subject to approval of the Director of Planning and Development Services.

CARRIED AS AMENDED

2. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04

Staff presented a brief overview of the proposed application to demolish the accessory barn on a designated heritage property, 15342 Yonge Street, which required a decision prior to October 19, 2015. Staff indicated that the addition was built to provide additional space for farming uses and storing of equipment.

The Committee expressed support for the proposed demolition of the accessory barn on the designated heritage property and requested that the Town's Curator and the Ontario Historical Society Curator be invited to a site visit.

Moved by Bob McRoberts
Seconded by Carol Gravelle

THAT Report No. HAC15-010 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT should Heritage Permit Application (NE-HCD-HPA-15-04) to permit the demolition of the existing 1 1/2 storey accessory barn on 15432 Yonge Street, designated under Part IV of the *Ontario Heritage Act* be supported, that the recommended conditions set out by staff be included; **and**

THAT the Town Curator and the Aurora Historical Society Curator be invited to a site visit prior to demolition.

CARRIED AS AMENDED

3. HAC15-011 – Doors Open Aurora 2015 – Event Summary Report

Staff provided a brief summary of Doors Open Aurora 2015 and indicated that the 16 sites received 2,724 site visits; approximately 150 more site visits than in the previous year.

The Committee extended thanks to staff for executing a successful event and indicated that they had a great experience and recommended it to friends.

Moved by Councillor Gaertner
Seconded by Kathy Constable

THAT Report No. HAC15-011 be received; and

THAT the Heritage Advisory Committee extend thanks to the following individuals and groups for their support of Doors Open Aurora 2015:

- All site owners/co-ordinators;
- All volunteers and site staff;
- The Auroran newspaper;
- The Mayor, Members of Council, and supporting Town Staff; and

THAT the Heritage Advisory Committee recommend to Council:

THAT the expenditure plus applicable taxes for the 2016 Doors Open Ontario registration fee to the Ontario Heritage Trust, estimated at \$1,695.00, be authorized.

CARRIED

7. Memorandum from Planner

**Re: Additional Information to Heritage Advisory Committee Report No.
HAC15-007 – 32 Wellington Street East, Final Disposition of the “David
W. Doan House” Designated under Part IV of the *Ontario Heritage Act***

(Added Item)

The Committee consented to consider Item 7 prior to Item 3. The Committee waived the requirements of the Procedural By-law on a two-thirds vote to allow AMR Engineers to join the discussion.

Staff presented a brief overview of the subject property and indicated that engineers recommended to remove the front façade, and as suggested at the previous Heritage Advisory Committee meeting, a second structural engineer was obtained to review the condition of the structure and provide recommendations for saving the front façade of the structure. AMR Engineers concluded that it was not feasible to save the front façade.

The Committee expressed disappointment that the front façade could not be saved and inquired about the designation of the subject property following demolition. Staff advised that the intent was to amend the by-law to reflect the new construction and that it would be proposed that the property remain as a Part IV designated property within the amended by-law.

Moved by Bob McRoberts
Seconded by Councillor Gaertner

THAT the memorandum regarding Additional Information to Heritage Advisory Committee Report No. HAC15-007 – 32 Wellington Street East, Final Disposition of the “David W. Doan House” Designated under Part IV of the *Ontario Heritage Act* be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT the Heritage Advisory Committee support the reconstruction of the David W. Doan House, and the recommendation conditions set out by staff in Report No. HAC15-007, as revised on September 9, 2015 below, be included:

- The Owner agrees to a proper reconstruction and restoration plan of the designated house be congruent to the original structure, with the proposed development to the satisfaction of the Director of Planning and Development Services;
- That the original bricks, be identified and salvaged to be used in the reconstruction of the house, where possible;

- That the windows, doors, trim, eaves, piers and other remaining designated heritage elements as shown in By-law Number 4948-07.R be identified and salvaged to be used in the reconstruction of the house;
- That the owner provides a \$30,000.00 financial contribution to the Town of Aurora's Heritage Reserve Fund; and
- That a commemorative plaque be placed on the property, as approved by the Director of Planning and Development Services.

CARRIED

6. INFORMATIONAL ITEMS

- 4. Extract from Council Meeting of August 11, 2015
Re: Heritage Advisory Committee Meeting Minutes of July 13, 2015**

**Moved by Bob McRoberts
Seconded by Carol Gravelle**

THAT the Extract from Council Meeting of August 11, 2015, regarding the Heritage Advisory Committee meeting minutes of July 13, 2015, be received for information.

CARRIED

- 5. Extract from Council Meeting of August 25, 2015
Re: Heritage Advisory Committee Meeting Minutes of August 17, 2015**

**Moved by Bob McRoberts
Seconded by Carol Gravelle**

THAT the Extract from Council Meeting of August 25, 2015, regarding the Heritage Advisory Committee meeting minutes of August 17, 2015, be received for information.

CARRIED

- 6. Memorandum from Planner
Re: Additional Information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc.**

(Added Item)

**Moved by Carol Gravelle
Seconded by Kathy Constable**

THAT the memorandum regarding Additional information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc. be received for information.

CARRIED

7. NEW BUSINESS

The Committee requested that any future report submitted for the Committee's consideration regarding the date selection for Doors Open Aurora 2016 also include a history of previous dates and attendance records.

8. ADJOURNMENT

**Moved by Barry Bridgeford
Seconded by Kathy Constable**

THAT the meeting be adjourned at 8:48 p.m.

CARRIED

COMMITTEE RECOMMENDATIONS ARE NOT BINDING ON THE TOWN UNLESS OTHERWISE ADOPTED BY COUNCIL AT A LATER MEETING.



Legal and Legislative Services
905-727-3123
CSecretariat@aurora.ca
Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

DELEGATION REQUEST

This Delegation Request form and any written submissions or background information for consideration by either Council or Committees of Council must be submitted to the Clerk's office by the following deadline:

4:30 P.M. ON THE BUSINESS DAY PRIOR TO THE REQUESTED MEETING DATE

COUNCIL/COMMITTEE/ADVISORY COMMITTEE DATE: HAC, October 5, 2015

SUBJECT: Reconstruction of Catherine Avenue

NAME OF SPOKESPERSON: Paul Lapalme

NAME OF GROUP OR PERSON(S) BEING REPRESENTED (if applicable):

Town of Aurora – Engineering

BRIEF SUMMARY OF ISSUE OR PURPOSE OF DELEGATION:

The purpose of the delegation is to review the design and ensure that the reconstruction of Catherine Avenue from Yonge Street to Walton Street will harmonize with the heritage character of the area as much as possible.

PLEASE COMPLETE THE FOLLOWING:

Have you been in contact with a Town staff or Council member regarding your matter of interest?

YES **NO**

IF YES, WITH WHOM? Mr. Sabir Hussain

DATE: Sep. 16, 2015

I acknowledge that the Procedural By-law permits five (5) minutes for Delegations.

Catherine Ave Road Reconstruction

Background information

- Catherine Ave is a semi-urban road without curbs
- Existing pavement is in poor condition
- The street is located in the Northeast Old Aurora Heritage Conservation District

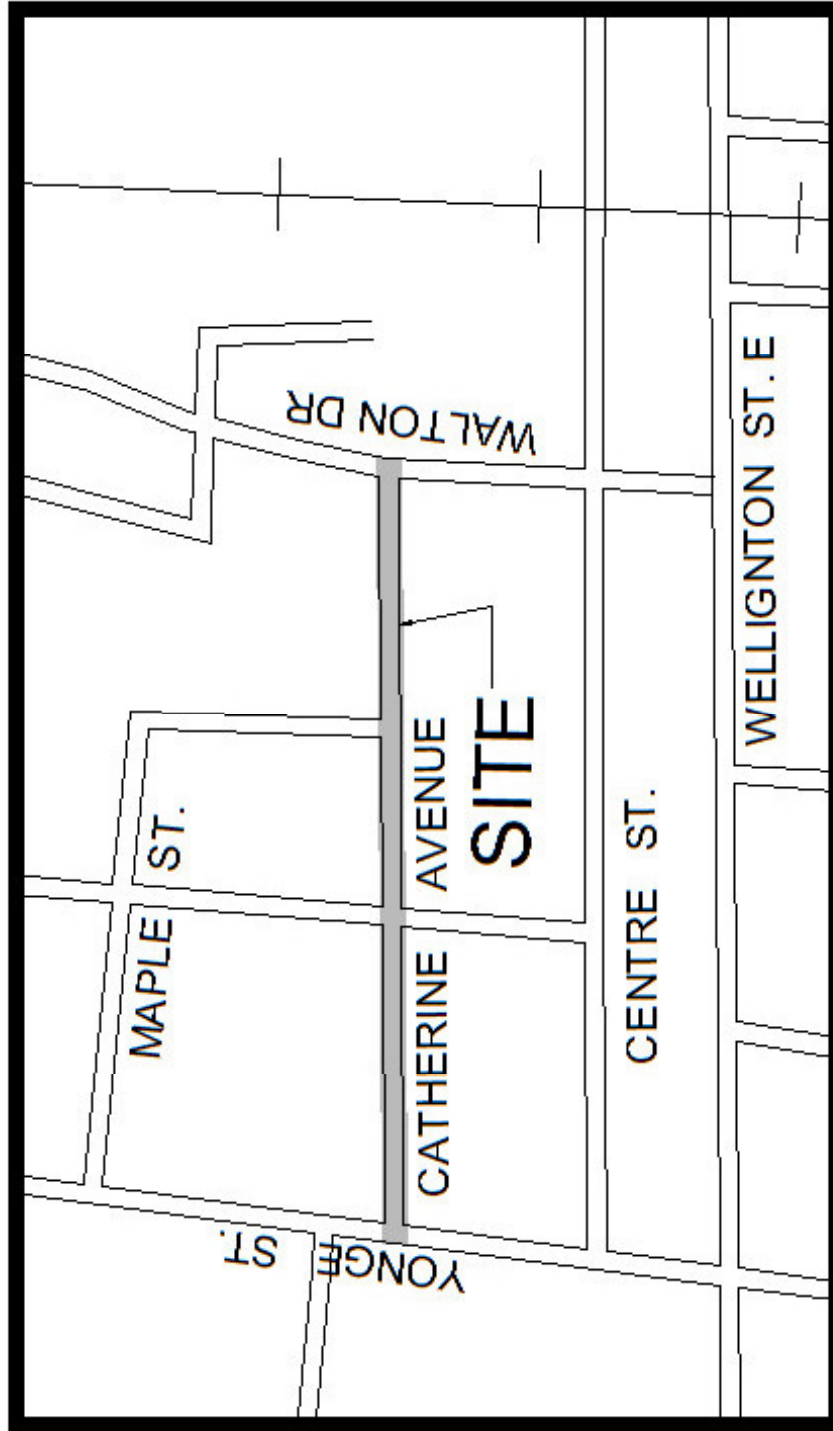


Chisholm, Fleming and Associates
consulting engineers

HAC October 2015

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Key Plan



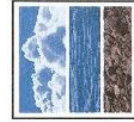
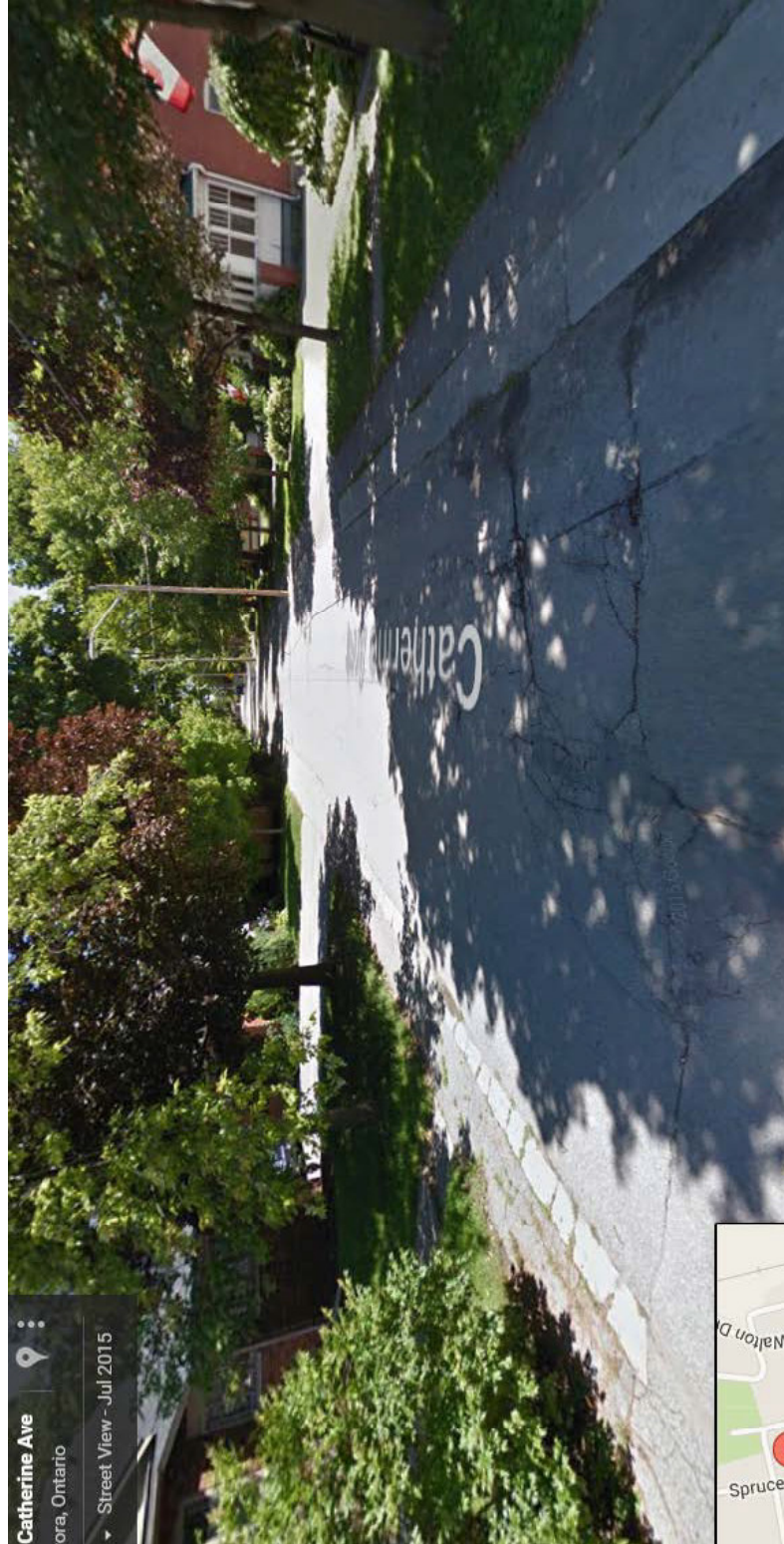
The Town of Aurora



Chisholm, Fleming and Associates
consulting engineers

HAC October 2015

Existing Road Surface



Chisholm, Fleming and Associates
consulting engineers

HAC October 2015

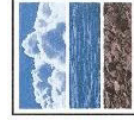
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Project Goal

- Full depth reconstruction with curb and gutter
- Replacement of existing sidewalks
- Repair or rehabilitation of existing sewers and replacement watermain as needed
- Minimum impact on existing planting due to the reconstruction
- Road reconstruction design harmonize with heritage characteristic of the street as far as possible

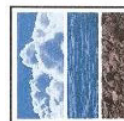
Design Criteria

1. Horizontal Alignment:
Same as existing with minor adjustment as required
2. Vertical Alignment:
Slightly lowering or matching with existing ground elevations



Road Configuration

Location	Existing	Proposed
Pavement Width		
Yonge Street to Spruce Street	<ul style="list-style-type: none"> 7.5 to 8.0 m 	<ul style="list-style-type: none"> 7.5 m
Spruce Street to Walton Drive	<ul style="list-style-type: none"> 6.5 m 	<ul style="list-style-type: none"> 6.5 m
Curb and Gutter		
Yonge Street to Spruce Street	<ul style="list-style-type: none"> No curb (except 50m east of Yonge Street) 	<ul style="list-style-type: none"> Low roll over curb (Similar to curb and gutter used on Maple Street, Spruce Street and Centre Street)
Spruce Street to Walton Drive	<ul style="list-style-type: none"> Concrete strip 	<ul style="list-style-type: none"> Low roll over curb



Chisholm, Fleming and Associates
consulting engineers

HAC October 2015

Road Configuration

Location	Existing	Proposed
Sidewalk		
Yonge Street to Spruce Street	<ul style="list-style-type: none"> 1.3 to 1.5 m concrete on north side 1.3 m concrete 	<ul style="list-style-type: none"> No change - same as existing No change - same as existing
Spruce Street to Walton Drive	<ul style="list-style-type: none"> 1.0 - 1.2 m asphalt over concrete sidewalk (on both sides) 	<ul style="list-style-type: none"> 1.0 m concrete sidewalk on north side 1.2 m concrete sidewalk on south side 0.4 m coloured concrete strip between curb and sidewalk on south side
Speed Hump		
Spruce Street to Walton Drive	<ul style="list-style-type: none"> 3 speed humps 	<ul style="list-style-type: none"> Restore existing speed humps at the same locations

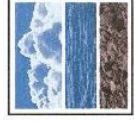


Chisholm, Fleming and Associates
 consulting engineers

HAC October 2015

Tree Protection

- Excavate by hands/vacuum excavate close to roots
- Certified arborist to treat cut or broken roots
- Apply mitigation (water/fertilizer) during maintenance
- Certified arborist to determine compensation planting if required
- Install interlocking paver sidewalk where tree roots encounter the sidewalk.





TOWN OF AURORA

HERITAGE ADVISORY COMMITTEE REPORT No. HAC15-012

SUBJECT: *Proposed Demolition of Existing Second Storey and Accessory Garage to a Listed Heritage Building
36 Larmont Street*

FROM: *Marco Ramunno, Director of Planning & Development Services*

DATE: *October 5, 2015*

RECOMMENDATIONS

THAT Report No. HAC15-012 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT the demolition of the existing second storey at 36 Larmont Street be approved; and

THAT the demolition of the existing detached garage be approved.

PURPOSE OF THE REPORT

The purpose of this report is to consult with the Heritage Advisory Committee on the proposed demolition of the second storey and accessory garage at 36 Larmont Street.

BACKGROUND

The Heritage Advisory Committee is requested to provide advice to Council on demolition request pertaining to a listed property on the Aurora Register of Properties of Heritage Value of Interest.

The owners have submitted a building permit on August 19, 2015 to demolish the second storey of the existing structure and replace it with a new second storey to accommodate their needs. The owner also proposes to demolish the existing garage and replace with a new garage further setback on the property.

The subject property is a 1 ½ storey residential dwelling, constructed circa 1875. The building was constructed originally as a Ontario Cottage architectural style. It features a gable roof and an enclosed porch across the entire first storey. The exterior is a vinyl siding, which possibly covers the original siding.

By consulting the Aurora Fire Insurance maps of 1904 (revised in 1913), the subject property is shown as 1 ½ storey framed house with one-storey rear addition. Comparing

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Report No. HAC15-012

the fire insurance maps with current air photography, the one storey addition may have been removed and replaced with a more modern one storey addition. The date of construction of existing garage is unknown, however the garage does not appear in the 1913 or 1927 fire insurance maps.

According to Section 27 of the *Ontario Heritage Act*, a Municipal Register of Cultural Heritage Value or Interest may include properties that have not been designated under the *Ontario Heritage Act*, but that the Council of a Municipality believes to be of cultural heritage value or interest.

The principal implication of properties non-designated and listed on the Aurora Register pertains to subsection 27. (3) of the *Ontario Heritage Act* where,

If property included in the register under subsection (1.2) has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure. 2006, c. 11, Sched. B, s. 11 (2).

The purpose of providing Council with 60 days to determine the Notice of Intention is to provide time to determine whether or not the property should be designated under the *Ontario Heritage Act*. According to subsection 27.(1.3) of the *Ontario Heritage Act*, the Council of a Municipality shall, before removing the reference to such a property from the Register, consult with its Municipal Heritage Committee.

COMMENTS

The owners are proposing to replace the existing second storey of the original structure with a new second storey. The new second storey is to be designed with a gable roof and three dormers. The second storey is to be heightened to accommodate the needs of the owner. The existing porch is to be maintained. A second storey addition is also proposed above the existing one storey rear addition. The existing garage is proposed to be demolished and replaced with a new one storey garage located further to the east on the property.

Since the subject property is listed on the Aurora Register of Properties of Cultural Heritage Value or Interest, Council has sixty (60) days to consider this application starting on the day the application was received pursuant to subsection 27(3) of the *Ontario Heritage Act*. Within the sixty (60) day period Council may initiate the designation process under Part IV of the *Ontario Heritage Act*. If the sixty (60) day period expires without comment or action by the Council, Section 8(2) of the *Building*

October 5, 2015

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Report No. HAC15-012

Code Act would obligate the Town to issue a permit to the applicant to demolish or remove the listed building or structure.

If Council chooses to proceed with designation under section 29 of the Ontario Heritage Act, the property should meet the prescribed criteria by the regulation determining whether the property is of cultural heritage value or interest. A Notice of Intention to Designate should be served on the owners of the property, the Ontario Heritage Trust and published in the newspaper within the sixty (60) days period. According to the Act, the Council shall consult with its municipal heritage committee if one has been appointed before giving notice of intention to designate a property

LINK TO STRATEGIC PLAN

The conservation of heritage resources supports the Strategic Plan goal of ***Supporting an Exceptional Quality of Life for All*** through its accomplishment in satisfying requirements in objective ***Celebrating and Promoting our Culture***.

ALTERNATIVE(S) TO THE RECOMMENDATIONS

1. Refuse the application and recommend Designation under Part IV of the *Ontario Heritage Act*.

FINANCIAL IMPLICATIONS

None.

PREVIOUS REPORTS

None.

CONCLUSIONS

The proposed demolition of the existing second storey will not diminish the heritage value of the historic house at 36 Larmont Street, nor will it detract from the heritage streetscape value. The proposed demolition of the existing garage will not diminish the heritage value of the historic house at 36 Larmont Street.

October 5, 2015

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Report No. HAC15-012

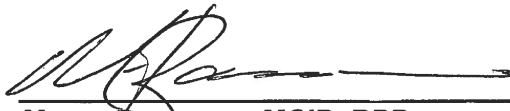
ATTACHMENTS

- Attachment 1 – Location Map
- Attachment 2 – Heritage Resource Brief
- Attachment 3 – Photos of Property
- Attachment 4 – Proposed Design, 36 Larmont Street

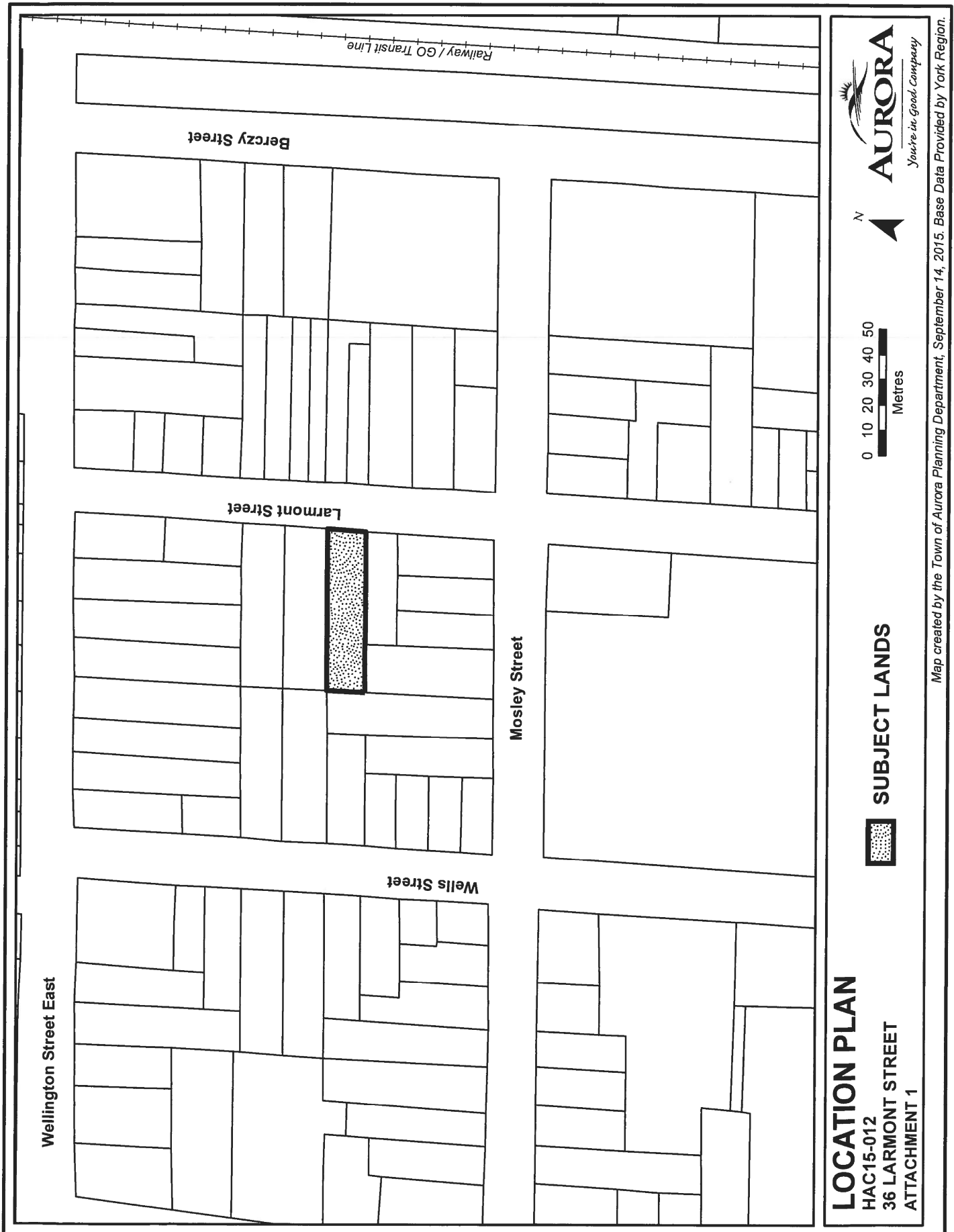
PRE-SUBMISSION REVIEW

Executive Leadership Team Meeting – September 24, 2015.

Prepared by: Jeff Healey, Planner- Ext. 4349



Marco Ramunno, MCIP, RPP
Director of Planning & Development Services



AURORA INVENTORY OF HERITAGE BUILDINGS

**S
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ADDRESS: 36 Larmont Street

LEGAL DESCRIPTION: PLAN: 68 PART LOT: 17-20

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PRESENT USE: Residence

ORIGINAL USE: Residence

HERITAGE DESIGNATION: CIHB

1995 INVENTORY

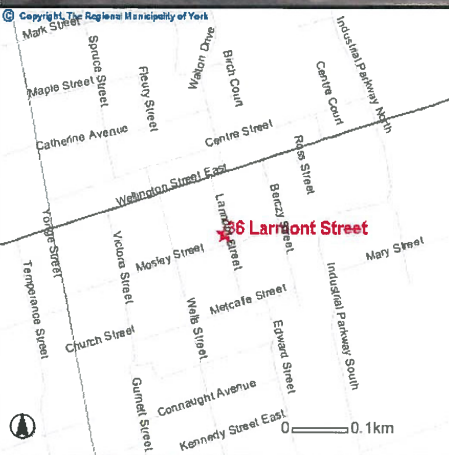
OFFICIAL PLAN: Urban Residential

ZONING: R5 (Special Mixed Density)

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AURORA INVENTORY OF HERITAGE BUILDINGS

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ADDRESS: 36 Larmont Street
 CONSTRUCTION DATE: c1875 STYLE: Ontario cottage
 BUILDER:

GENERAL DESCRIPTION:

PLAN: STOREYS: 1.5 BAYS:
 FOUNDATION MATERIAL:
 EXTERIOR WALL MATERIAL:
 ROOF TYPE: Gable
 WINDOWS:
 ENTRANCE:

UNIQUE FEATURES:

CHIMNEY (S):
 DORMERS:
 ROOF TRIM:
 WINDOW TRIM:
 SPECIAL WINDOWS:
 DOOR TRIM:
 PORCH/VERANDAH:
 OTHER:

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Historical Society file includes ...
 - 1 page brief note about 1873 sale.
 - 1981 B/W photo vol.1 #5

Attachment 3



Existing front façade, looking west



Existing Garage, proposed to be demolished



Existing rear addition



GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

PROJECT INFORMATION

Project Name: *Jefferson*

Client: *Joseph & Aruna Jaffer*

Address: *1000 N. 10th St., Phoenix, AZ 85004*

Project No: *15-001*

Scale: *1/4" = 1'-0"*

Date: *May 15, 2015*

Drawn by: *J.P.*

Checked by: *J.P.*

Project Engineer: *Joseph & Aruna Jaffer*

Professional Engineer: *Joseph & Aruna Jaffer*

Professional Seal: *Joseph & Aruna Jaffer*

PROJECT INFORMATION

Project Name: *Jefferson*

Client: *Joseph & Aruna Jaffer*

Address: *1000 N. 10th St., Phoenix, AZ 85004*

Project No: *15-001*

Scale: *1/4" = 1'-0"*

Date: *May 15, 2015*

Drawn by: *J.P.*

Checked by: *J.P.*

Project Engineer: *Joseph & Aruna Jaffer*

Professional Engineer: *Joseph & Aruna Jaffer*

Professional Seal: *Joseph & Aruna Jaffer*



PROPOSED RIGHT ELEVATION



PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

DATE: MAY 15, 2015

PROJECT: JAFFER RESIDENCE - ADDITION & RENOVATION - LEFT & RIGHT ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: MAY 15, 2015

PROJECT: JAFFER RESIDENCE - ADDITION & RENOVATION - LEFT & RIGHT ELEVATIONS



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Town of Aurora
Planning & Development Services

MEMORANDUM

DATE: October 5, 2015

TO: Heritage Advisory Committee

FROM: Jeff Healey, Planner

CC: Marco Ramunno, Director of Planning and Development Services

RE: 89 Mosley Street, Aurora Armoury, Ontario Heritage Plaque

RECOMMENDATIONS

THAT the Heritage Advisory Committee receive this Memorandum for information; and

THAT the Heritage Advisory Committee consider the restoration of an Ontario Heritage Plaque located at 89 Mosley Street.

BACKGROUND

On August 16, 2015 staff received an inquiry from a resident regarding an outdated Ontario Heritage Plaque located at the Aurora Armoury. The plaque was erected in 2007 by the Department of National Defense, facilitated by the Ontario Heritage Trust (OHT). In 2014, the Aurora Armoury was sold to the Town of Aurora. As a result of the sale, the following wording on the plaque has become out of date:

"The oldest purpose-built armoury still used by the military in Ontario, the Aurora drill shed is home to elements of The Queen's York Rangers (1st American Regiment) (RCAC)"

The resident has requested that the Heritage Advisory Committee investigate the option to replace and update the plaque to amend the above sentence and reflect the Armoury's current status.

Staff have consulted with the OHT on this matter. The OHT continues to assist in the regular maintenance of the plaque, including repainting, however will only replace a plaque in the event of irreversible vandalism. To have a new plaque installed on the premises would cost approximately \$4,000.00. Alternatively, a small aluminum plaque could be installed underneath the main plaque to reflect the correction, at a cost of approximately \$900.00.

ATTACHMENTS

None.



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Town of Aurora
Planning & Development Services

MEMORANDUM

DATE: October 5, 2015
TO: Heritage Advisory Committee
FROM: Jeff Healey, Planner
CC: Marco Ramunno, Director of Planning and Development Services
RE: Event Date, Doors Open Aurora 2016

RECOMMENDATIONS

THAT the Heritage Advisory Committee receive this Memorandum regarding Doors Open Aurora 2016 for information; and

THAT the date of Doors Open Aurora 2016 be August 20, 2016

BACKGROUND

Doors Open Aurora has played a significant role in raising awareness, celebrating heritage, promoting civic pride, raising the profile of local sites, business and heritage organizations and stimulate tourism and the local economy. The event has featured over sixty (60) sites and has received over 28,500 visitors since 2006.

The 11th annual Doors Open Aurora event is tentatively scheduled for Saturday August 20, 2016 from 10 a.m. to 4 p.m. Since 2006, the date for Doors Open Aurora has been scheduled predominately in the second or third Saturday of August. From 2011 to 2012, the date was temporarily changed to the second Saturday of July. The dates for all previous Doors Open Aurora events are as follows:

August 12, 2006
August 11, 2007
August 16, 2008
August 15, 2009
August 21, 2010
July 9, 2011
July 14, 2012
August 17, 2013
August 16, 2014
August 15, 2015

ATTACHMENTS

None.