



TOWN OF AURORA
ADDITIONAL ITEMS
FOR HERITAGE ADVISORY
COMMITTEE MEETING

Wednesday, September 9, 2015
7 p.m.
Holland Room

- **Delegation (b) Lora Cai, Owner of 15342 Yonge Street** pg. 1
Re: Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04

- **Delegation (c) Gary Templeton, representing Owner of 32 Wellington St. E.** pg. 2
Re: Item 7 – Memorandum from Planner; Re: Additional Information to Heritage Advisory Committee Report No. HAC15-007 – 32 Wellington Street East, Final Disposition of the “David W. Doan House” Designated under Part IV of the *Ontario Heritage Act*

- **Item 6 – Memorandum from Planner** pg. 3
Re: Additional Information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc.

RECOMMENDED:

THAT the memorandum regarding Additional information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc. be received for information.

- **Item 7 – Memorandum from Planner** pg. 5
**Re: Additional Information to Heritage Advisory Committee Report
No. HAC15-007 – 32 Wellington Street East, Final Disposition of
the “David W. Doan House” Designated under Part IV of the
*Ontario Heritage Act***

RECOMMENDED:

THAT the memorandum regarding Additional Information to Heritage Advisory Committee Report No. HAC15-007 – 32 Wellington Street East, Final Disposition of the “David W. Doan House” Designated under Part IV of the *Ontario Heritage Act* be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT should the Heritage Advisory Committee support the reconstruction of the David W. Doan House, that the recommended conditions set out by staff in Report No. HAC15-007 be included.



Legal and Legislative Services
905-727-3123
councilsecretariatstaff@aurora.ca

Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

DELEGATION REQUEST

This Delegation Request form and any written submissions or background information for consideration by either Council or Committees of Council must be submitted to the Clerk's office by the following deadline:

4:30 P.M. ON THE BUSINESS DAY PRIOR TO THE REQUESTED MEETING DATE

COUNCIL/COMMITTEE/ADVISORY COMMITTEE DATE: Heritage Advisory Committee Sept. 9, 2015

SUBJECT: Demolition of an Accessory Barn at 15342 Yonge Street

NAME OF SPOKESPERSON: Lora Cai (owner of the property)

NAME OF GROUP OR PERSON(S) BEING REPRESENTED (if applicable):

BRIEF SUMMARY OF ISSUE OR PURPOSE OF DELEGATION:

Explanation of the demolition of the barn

PLEASE COMPLETE THE FOLLOWING:

Have you been in contact with a Town staff or Council member regarding your matter of interest?

YES NO

IF YES, WITH WHOM? Jeff Healey

DATE: September 4, 2015

I acknowledge that the Procedural By-law permits five (5) minutes for Delegations.

DELEGATION REQUEST

This Delegation Request form and any written submissions or background information for consideration by either Council or Committees of Council must be submitted to the Clerk's office by the following deadline:

4:30 P.M. ON THE BUSINESS DAY PRIOR TO THE REQUESTED MEETING DATE

COUNCIL/COMMITTEE/ADVISORY COMMITTEE DATE: September 9, 2015 Heritage Advisory Com

SUBJECT: 32 Wellington Street East

NAME OF SPOKESPERSON: Gary Templeton (Templeton Planning Ltd.)

NAME OF GROUP OR PERSON(S) BEING REPRESENTED (if applicable):
2101154 Ontario Inc. (owner of 32 Wellington Street East)

BRIEF SUMMARY OF ISSUE OR PURPOSE OF DELEGATION:
To request support for the demolition of the south-facing elevation remainder of building and the replacement of it
with new construction due to poor structural condition as concluded during a structural engineering investigation.

PLEASE COMPLETE THE FOLLOWING:

Have you been in contact with a Town staff member regarding your matter of interest?

Yes No **IF YES, WITH WHOM** Plng Dept staff **DATE** since late July 2015

I acknowledge that the Procedural By-law permits five (5) minutes for Delegations.



100 John West Way
Box 1000
Aurora, Ontario
L4G 6J1
Phone: 905-727-3123 ext. 4349
Email: jhealey@aurora.ca
www.aurora.ca

**Town of Aurora
Planning & Development Services**

MEMORANDUM

DATE: September 9, 2015

TO: Heritage Advisory Committee

CC: Marco Ramunno, Director of Planning and Development Services

FROM: Jeff Healey, Planner

RE: **Additional information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc.**

RECOMMENDATIONS

THAT the memorandum regarding Additional information to Item 2 – Report No. HAC15-010 – Demolition Application for a Structure on a Designated Heritage Property, Demolition of an Accessory Barn, 15342 Yonge Street, NE-HCD-HPA-15-04: Structural Engineering Letter from Lee Yung & Associates Inc. be received for information.

ATTACHMENTS

Attachment 1 – Structural Engineering Letter from Lee Yung & Associates Inc. dated August 24, 2015

August 24, 2015
Lora Cai
15342 Yonge Street
Toronto, Ontario.
L4G 1N6

Attachment 1

**Attention: Ms. Lora Cai
Re: Proposed Renovation to 15342 Yonge Street, Aurora, Ontario**

Dear Lora:

Per your request, we have inspected the existing frame barn and found the problems listed below:

1. The ground floor wood deck had been damaged and left an gap between ground floor exterior entrance and first floor joists.
2. There is crack on the brick wall next to basement entrance on left hand side.
3. There is water stain on the ground floor joists.
4. There is settlement on the brick wall at right hand side. There are few cracks on the basement wall and the cracks opened at the top of the wall.
5. The exterior wood siding on the right hand side had been settled at the rear of the building, similar to the brick wall mentioned on item #4.
6. The second floor joists are generally acceptable. Further detail inspection can be arranged after the piled materials on the ground and second floor have been removed.

We trust that the report meets the requirement of the heritage authorities and the City.

Yours very truly,
Lee Yung & Associates Inc.

Thomas Yung

Thomas Yung, P. Eng.
Consulting Engineer



THOMAS L. YUNG, P.Eng., B.Eng., M.Eng.

OMEN LEE, P.Eng., B.Sc., M.A.Sc. Emeritus



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**Town of Aurora
Planning & Development Services**

MEMORANDUM

DATE: September 9, 2015

TO: Heritage Advisory Committee

CC: Marco Ramunno, Director of Planning and Development Services

FROM: Jeff Healey, Planner

RE: Additional Information to Heritage Advisory Committee Report No. HAC15-007 -
32 Wellington Street East, Final Disposition of the "David W. Doan House"
Designated under Part IV of the *Ontario Heritage Act*

RECOMMENDATIONS

THAT this memorandum be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT should the Heritage Advisory Committee support the reconstruction of the David W. Doan House, that the recommended conditions set out by staff in Report No. HAC15-007 be included.

BACKGROUND

On August 17, 2015, Report No. HAC15-007 was received by the Heritage Advisory Committee for 32 Wellington Street East. The following motion was approved by the Heritage Advisory Committee:

THAT Report HAC15-007 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT a third-party peer review, to be conducted by a firm with experience in the preservation of heritage buildings, be sought by the Town and paid for by the applicant, with the added objective of determining how to save the front façade of the David W. Doan House, as was originally intended and agreed upon.

The Town has retained AMR Engineering to review the structural report prepared by the applicant for the August 17, 2015 Heritage Advisory Committee meeting and determine whether the remaining front façade could be saved.

September 9, 2015

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32 Wellington Street East

ATTACHMENTS

- 1) Peer Review of Structural Engineering Report prepared by AMR Engineering, dated September 8, 2015; and,
- 2) Heritage Advisory Committee Report No. HAC15-007.



AMR Engineering Limited
Structural Engineers

411 Confederation Pkwy.
Unit #17, Vaughan, ON
L4K 0A8

Tel 905 669-8114
Fax 905 532-9799
www.amrengineering.ca

September 8, 2015

AMR Project No.: 15-1679

Town of Aurora
100 John West Way
Aurora, Ontario
L4G 6J1
Attention: Mr. Jeff Healey

Re: Peer Review of Structural Engineering Report
32 Wellington St. East, Aurora, Ontario

1.0 Introduction & Background Information

AMR Engineering Limited was retained by Town of Aurora and was authorized by Jeff Healey (Planner) on August 28, 2015 to carry out a peer review on structural engineering report titled "32 Wellington Street East" prepared by Soscia Professional Engineers Ltd. and dated July 29, 2015.

Building permit has been issued for new development at above noted location on the condition that south part of existing building is to be retained and only north side of the house is to be demolished. The building is an existing single family dwelling and is listed in the Town's Register of Properties of Cultural Heritage Value or Interest. Demolition of north part of existing building has been carried out after underpinning of existing foundation and temporary bracing had been installed. Building permit for underpinning and temporary shoring have been issued by the town on the basis of engineered drawings. We understand that the owner of the property has proposed to demolish the south side of existing structure as well citing as-build existing structure in very poor condition and impossible to meet the present building code requirements. The town has requested a third party structural assessment report prior to authorizing for the demolition.

The owner has presented the town a general structural review report prepared by Soscia Professional Engineers Ltd. which recommends demolition of south side of existing structure on the basis of poor and unacceptable structural conditions discovered during partial demolition that do not meet the present building code requirements. This report was presented to the Heritage Advisory Committee (HAC). HAC has recommended that structural engineering report to be peer reviewed and results of the peer review to be reported back to the Committee for consideration.

cont'd: ...pg.2

As requested, the writer visited the site on September 3, 2015 to carry out a general review of the existing building structure. The purpose of the review was to inspect and confirm existing conditions, comment on possibility of saving existing exterior walls and if possible propose a method to do so.

2.0 Existing Documents

The following documents were made available to us for our review;

- (a) Architectural drawings issued for building permit dated October 27, 2014 prepared by Drew Laszlo Architect. (Drawings A1, A7 & A8)
- (b) Structural drawings issued for permit dated October 17, 2014 prepared by Gamaley and Associates Engineers Ltd. (Drawings S1-S8)
- (c) Shoring drawings issued for demolition permit dated November 11, 2014 prepared by Gamaley and Associates Engineers Ltd. (Drawings SD1 & SD2 appended to this report)
- (d) Structural engineering report issued to Town of Aurora regarding proposed demolition at 32 Wellington St. East dated July 29, 2015 prepared by Soscia Professional Engineers Ltd.

3.0 Building Description & Field Observations

Existing structure remaining in place is a two storey building with full basement and a rectangular footprint of about 40' x 9'-6" and a front porch with a footprint of about 15' x 9'-6" (Picture #1). The longer dimensions are in the east-west direction and the front of the house is facing south on Wellington Street East. Rear section of the original structure has been demolished in accordance with permit drawings.

The building structure remaining in place is a combination of brick masonry load bearing walls and wood framing. Exterior east and west walls consist of 4" brick veneer, 2" air space and 8" thick double brick back up. It is to be noted that this differs from the existing exterior wall shown on the structural drawings which has been assumed to be (9" thick brick masonry wall. South (front) wall is assumed to be of same construction. North wall has been demolished and has been reconstructed as a 2x6@16" o/c temporary stud wall supported on a temporary 20"x20" dead man footing and two permanent 6'-6"x6'-6"x18" deep pad footings as part of the shoring drawings issued for demolition permit (Picture #2).

cont'd: ... pg.3

Basement construction consists of about 15" thick rubble masonry walls. Underpinning of the existing basement wall has been completed as per the underpinning details shown on the existing structural drawings. New backup concrete wall against inside face of the rubble masonry wall has been cast.

Shoring of the basement foundation walls has been completed with some variations from the issued for demolition permit drawings. 2-4x4 wood posts at approximately 4'-0" o/c have been used in lieu of the steel telescopic jacks for the north wall (Picture #3). Two walls on east and west side do not have any shoring. Two steel beams have been installed picking up the existing ground floor joists at two support lines along gridlines 4a and 6. The steel beams are supported on the new foundation wall on the south side and on steel shoring posts on the north side (Picture #4).

Typical ground and second floor construction consists of 2"x10" @16" c/c joists spanning in east-west direction and are supported on exterior walls and two beams running north-south on gridlines 4b and 6. Diagonal braces at ground and second floor have been installed as per demolition drawings (Picture #5).

Access to roof was not available at the site visit therefore roof farming has not been reviewed.

Access to most of the interior area of the building structure is blocked from the diagonal braces installed as part of the shoring work. Interior of east and west walls could not be reviewed closely from inside (Picture #6). The inner load bearing brick wythes were visible at north end where demolition on south side has been carried out. Exterior above grade inner load bearing brick veneer walls observed at these two areas of the building are in generally poor condition with signs of mortar deterioration and crumbling of the bricks (Picture #7). Efflorescence was also noted on the bricks at a few areas inside the building (Picture #8) which is an indication of moisture penetration.

Above grade face bricks on east and west elevations appear to be in generally fair condition with a few cracks in localized areas below and above window openings. Some of the cracks appear to be new and very likely were caused during and/or after demolition. Removal of existing masonry walls north of window openings may have resulted in some movement as effectiveness of arch lintel over the window opening is diminished. (Picture #9, 10).

Above grade face bricks on south elevation are generally in fair condition with signs of mortar deterioration in a few localized areas generally caused by water infiltration. There are no visible cracks and any signs of differential settlement on south wall.

cont'd: ...pg.4

All face bricks have been painted in the past and paint has been peeling off brick surface.

Metal ties between 4" face brick and 8" backup brick wall could be observed only at two locations where 2" cavity between inner and outer brick was visible (Picture #11). At both locations, brick do not meet the minimum tie spacing required as per Table 9.20.9.5 of the Ontario Building Code 2012. Two brick wythes of load bearing back wall appears to be tied together with tie bricks at about 2 to 3 feet c/c vertically (Picture #12). Horizontal spacing of brick ties could not be determined.

4.0 Discussions and Recommendations

Based on our field observations and assessment carried out we recommend the following;

Basement walls:

Existing rubble stone masonry walls in the basement walls were not visible. New cast in place concrete walls have been constructed against the inside face of the rubble masonry wall. Underpinning of walls has also been completed and appears to be in general accordance with underpinning permit drawings. Weeping tile system and damp-proofing of foundation walls will have to be incorporated to the existing structure to prevent water penetration into the basement.

Exterior brick masonry walls:

Load bearing backup bricks could be reviewed at north ends of east and west walls and at both locations bricks were found to be loose and out of plumb. Small section of walls at these locations will have to be removed and re-constructed. There are visible signs of moisture penetration, mortar and brick deterioration at some interior locations.

Face brick is generally in fair conditions except for some cracks in localized areas around existing window openings and section of east wall being out of plumb. Spalling of the brick is present at isolated locations in the wall. Face brick is not adequately tied to back up load bearing bricks. Metal ties to load bearing back up bricks do not meet the minimum tie spacing required as per Table 9.20.9.5 of the Ontario Building Code 2012.

In order to save existing face brick it will have to be tied back to load bearing wythes with new retro ties from inside.

cont'd: ...pg.5

First, the existing outer brick will have to be adequately braced prior to the removing of the interior load bearing back up brick wall. This has to be carried out in small sections and in between existing and new bracing. Existing ties shall be cut as detected. After the demolition of the interior back up wall is complete new retro ties will have to be installed to tie back existing face brick to the new 8" load bearing block. New brick ties shall be spaced at 16" o/c max. vertical and 32" o/c max. horizontal to meet the present OBC 2012 requirements. The new load bearing block back up wall can then be constructed.

In our opinion, with existing bracing in place procedure outlined above to save face brick is not a feasible option. We concur with Soscia Professional Engineers Ltd. recommendation that entire wall shall be removed and re-constructed to match existing architecture. In our opinion, it will be prudent to remove entire existing structure and re-construct with proper damp-proofing and insulation in accordance with OBC requirements.

5.0 Limits of Liability

It shall be noted and understood that our visual review of existing structure was limited to only the areas where structure was exposed and accessible. No testing or dismantling of any coverings was performed. No calculations were performed to confirm the adequacy of any of the elements reviewed. This report is strictly intended to provide the client with a general description of existing building structure and to comment on feasibility of saving exterior façade.

The contents of this report may not be quoted in whole or in part or distributed to any person or entity other than the Client without our consent. AMR Engineering Limited accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

We trust this meets with our scope of work and meets with your present requirements. If you have any questions please do not hesitate to contact the writer.

Sincerely,
AMR Engineering Limited



Denis Kotobelli, MEng, P.Eng., LEED® AP BD+C
Associate

Reviewed by:



Mohan Gursahani, P.Eng.
President

32 Wellington St. East
Aurora, Ontario
Peer Review of Engineering Report

September 8, 2015
Project No.: 15-1679

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**Appendix "A" – Photographs
(Page 7-13)**

32 Wellington St. East
Aurora, Ontario
Peer Review of Engineering Report

September 8, 2015
Project No.: 15-1679

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Picture #1 – 32 Wellington Street East (South Elevation)



Picture #2 – 32 Wellington Street East (North Elevation)



Picture #3 – Foundation wall at basement level



Picture #4 – Steel beam supporting ground floor framing



Picture #5 – Shoring at ground floor



Picture #6 – Shoring at second floor



Picture #7 – Exterior wall at north-east corner



Picture #8 – Efflorescence at second floor wall



Picture #9 – Outer façade damage at west elevation



Picture #10 – Outer façade damage at east elevation



Picture #11 – Brick ties at east wall



Picture #12 – Brick ties at west wall

32 Wellington St. East
Aurora, Ontario
Peer Review of Engineering Report

September 8, 2015
Project No.: 15-1679

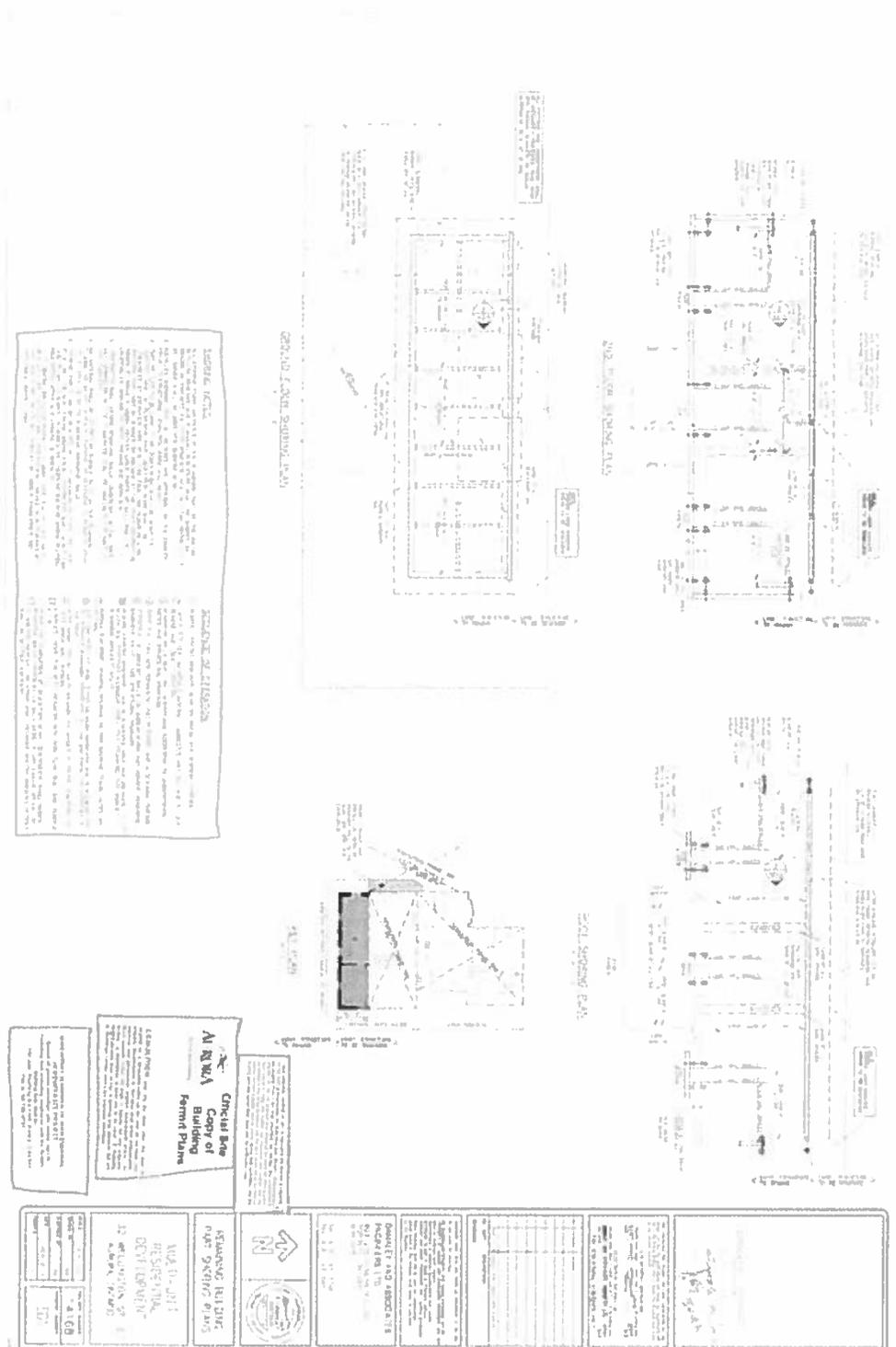
Page 14

Appendix "B" – Existing Drawings
Shoring drawings issued for demolition permit dated November 11, 2014
prepared by Gamaley and Associates Engineers Ltd. (Drawings SD1 & SD2)
(Page 15-16)

32 Wellington St. East
Aurora, Ontario
Peer Review of Engineering Report

September 8, 2015
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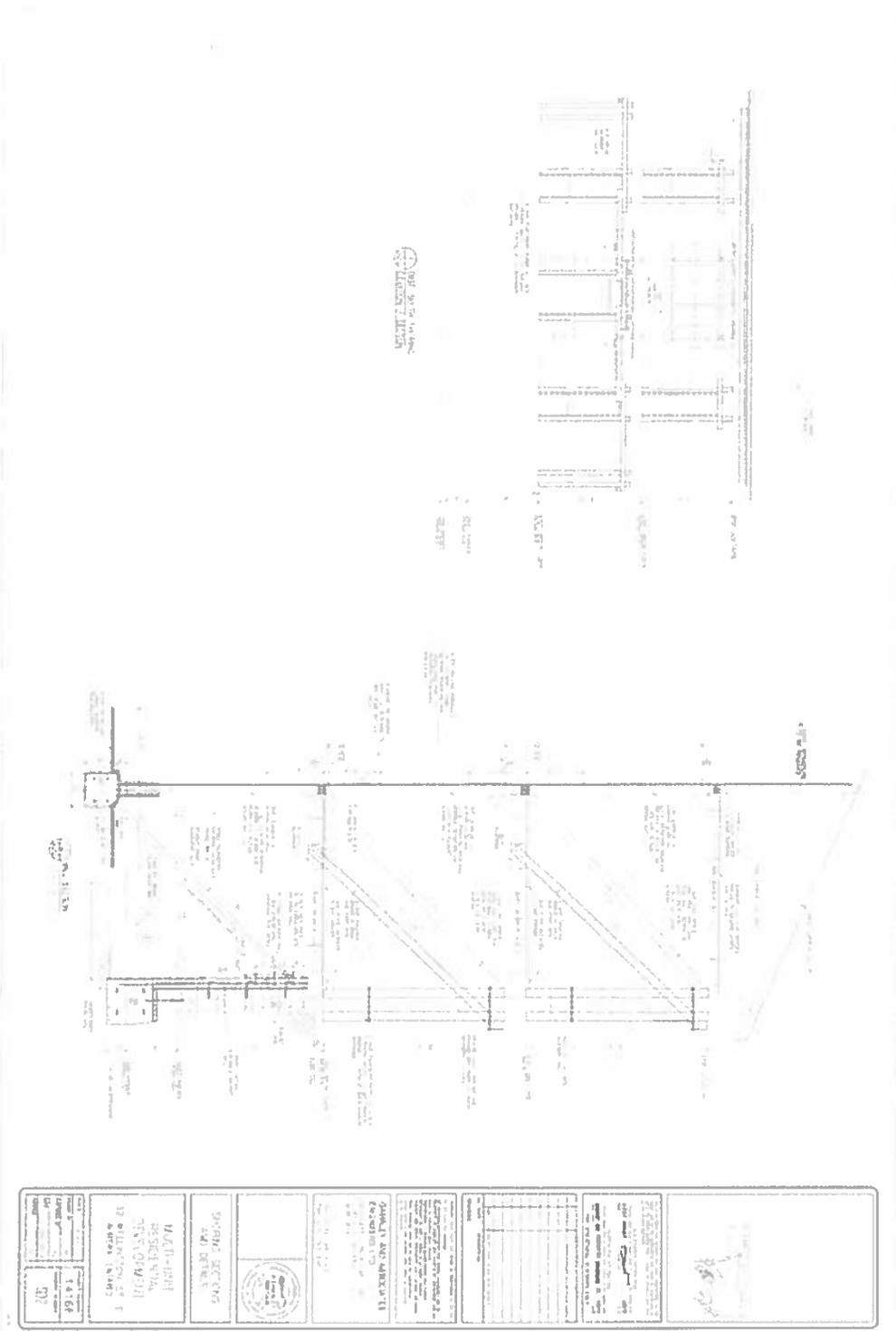


Drawing SD1 – Part Shoring Plans – Nov 11, 2014; Gamaley and Associates Engineers Ltd..

32 Wellington St. East
Aurora, Ontario
Peer Review of Engineering Report

September 8, 2015
Project No.: 15-1679

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Drawing SD2 – Shoring Section and Details – Nov 11, 2014; Gamaley and Associates Engineers Ltd.



TOWN OF AURORA

HERITAGE ADVISORY COMMITTEE REPORT No. HAC15-007

SUBJECT: *32 Wellington Street East, Final Disposition of the "David W. Doan House" Designated under Part IV of the Ontario Heritage Act*

FROM: *Marco Ramunno, Director of Planning & Development Services*

DATE: *August 17, 2015*

RECOMMENDATIONS

THAT Report HAC15-007 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT should the Heritage Advisory Committee support the reconstruction of the David W. Doan House, that the recommended conditions set out by staff be included.

PURPOSE OF THE REPORT

The purpose of this report is to seek the Heritage Advisory Committee's feedback on the proposed reconstruction of the designated heritage structure under Part IV of the *Ontario Heritage Act* located at 32 Wellington Street East, the "David W. Doan House".

BACKGROUND

On May 13, 2013, the following motion was approved by the Heritage Advisory Committee for 32 Wellington Street East:

THAT report HAC13-012 be received; and

THAT the Heritage Advisory Committee recommend to Council:

THAT Heritage Permit Application (IV-HPA-13-02) to permit the alterations of the existing 2 storey dwelling known as the David W. Doan House, designated under Part IV of the Ontario Heritage Act be approved; and

THAT designation By-law No.4948-07.R for the subject property be amended to remove the historic rear wing and edit the description of the painted brick; and

THAT tests be conducted by restoration specialists to ensure that suggested cleaning and paint removal methods for the purpose of repairing the brick take

August 17, 2015

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Report No. HAC15-007

place, having respect for the Parks Canada Standards and Guidelines (2010) for the preservation of brick and masonry; and

THAT should testing conclude that proposed cleaning and paint removal methods for the purpose of repairing the brick be found to cause irreparable damage, that a new method or treatment is required and shall be subject to approval through the Heritage Permit Application process.

On June 10, 2013, further information was provided to the Heritage Advisory Committee to provide further investigation on the potential impact of the proposed development on the subject site on Centre Street and properties within the Northeast Old Aurora Heritage Conservation District.

On August 5, 2015 a request was received by the Owner of 32 Wellington Street East for an Emergency Meeting citing concerns with regards to the structural stability of the remaining designated structure.

Council has ninety (90) days after the Notice of Receipt is served on the applicant to issue Notice of Council decision, (unless the time is extended in writing between Town Council and the applicant) that being on July 14, 2013.

Section 33(1) of the *Ontario Heritage Act*, states that,

No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes, as set out in the description of the property's heritage attributes that was required to be served and registered under subsection 29 (6) or (14), as the case may be, unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration.

COMMENTS

The property is located on the north side of Wellington Street East, with a through lot backing onto Centre Street. The back of the lot is vacant, and included in the Northeast Old Aurora Heritage Conservation District. A Site Plan Application and Zoning By-law Amendment have been approved by Council for the subject lands. The approved project comprises of a 3 storey building with 24 residential units and a commercial office.

Summary Statement of Significance

According to the Heritage Designation Brief (2007), the David W. Doan House is a prominent Aurora home from the 1870s period that was lived in for most of its history by a series of prominent Aurorans. Architecturally, the Doan House is a good example of

August 17, 2015

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Report No. HAC15-007

Ontario Vernacular architecture, unique in Aurora, embodying elements of a number of architectural styles. The Georgian Period is represented by the buildings massive, square form and its symmetry. Remaining Regency features are the hipped roof, square form and French doors, with their recessed shutters in the reveals. The Italianate style adds the segmentally-headed openings and wide eaves. The Classical Revival style may be found in the brick keystones and the fluted engaged columns.

The house was built by David Wilson Doan, a well-respected merchant and postmaster and member of the prominent York County family connected with the village of Sharon, and the Sharon Temple, a national historic site. The house was his residence for about a quarter of a century. Two earlier Doan houses in Aurora have disappeared: 'Castle Doan', built in the first half of the 19th Century, was demolished in 1982 and 'Doan Hall', built in 1855 was demolished in 1969. Both were homes to Charles Doan, father of David W. Thus 32 Wellington Street East is a final architectural reminder of an important family in Aurora.

Additional information regarding the history of the house can be found in the Heritage Designation Brief attached as attachment #4.

Measures to Date for the David W. Doan House

The owner has undertaken several measures to protect the remaining structure in anticipation of the proposed development. On December 12 2014, a demolition permit was issued to demolish the rear portion of the main structure, in accordance with approvals provided in Heritage Permit IV-HPA-13-02. In spring 2015, the owner submitted permits for shoring and underpinning of the remaining structure in order to preserve the remaining front façade. These measures continue to be carried out in the preservation of the existing structure.

Correspondence with the owners in regards to the structural integrity of the remaining structure began on July 27 2015. On July 30 2015, the owners consultant submitted a report titled *32 Wellington Street East*, prepared by Soscia Professional Engineers Inc., dated July 29, 2015. The report concludes that the existing structure does not meet the OBC standards for masonry construction. The structural report in its entirety can be found as attachment #5 to this report.

Staff recommended conditions

The subject lands containing the David W. Doan House are designated under Section 29 of the *Ontario Heritage Act* by By-Law 4948-07.R. Designation under the Act requires Owners of designated properties to obtain Council approval before allowing any alteration that could affect the property's cultural heritage attributes as set in a designation by-law (Section 33 "alterations to a property"). Council consent in writing is required before any alteration/demolition take place.

August 17, 2015

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Report No. HAC15-007

Should the Heritage Advisory Committee determine that the remaining structure be demolished, staff have provided the following conditions:

- The Owner agree to a proper reconstruction and restoration plan of the designated house in conjunction with the proposed development to the satisfaction of the Director of Planning and Development Services;
- That the original bricks be identified and salvaged to be used in the reconstruction of the house, where possible;
- That the windows, doors, trim, eaves, piers and other remaining designated heritage elements as shown in By-law 4948-07.R be identified and salvaged to be used in the reconstruction of the house, and;
- That the owner provides a \$30,000.00 financial contribution to the Town of Aurora's Heritage Reserve Fund.

LINK TO STRATEGIC PLAN

Heritage conservation supports the Strategic Plan goal of *Supporting an Exceptional Quality of Life for All* through its accomplishment in satisfying requirements in the following key objectives within its goal statement.

Celebrating and Promoting our Culture: Through the retention of heritage resources in the Town, it will contribute to the ability to ***Develop a Cultural Master Plan that includes heritage, music, and art to promote more cohesive and coordinate cultural services*** action item.

ALTERNATIVE(S) TO THE RECOMMENDATIONS

1. The Heritage Advisory Committee may suggest changes to the proposed recommendations and conditions.
2. The Heritage Advisory Committee refuse the request to reconstruct the remaining structure

FINANCIAL IMPLICATIONS

None.

PREVIOUS REPORTS

Public Planning Report No. PL12-056 – December 19, 2013
Heritage Advisory Committee Report No. HAC13-012 – May 13, 2013
Heritage Advisory Committee Report No. HAC13-017 – June 10, 2013

August 17, 2015

- 5 -

Report No. HAC15-007

CONCLUSIONS

Should the Heritage Advisory Committee support the reconstruction of the David W. Doan House, staff recommend that the conditions identified on page 4 of this report be included.

ATTACHMENTS

Attachment 1 – Location Map

Attachment 2 – Property Page, Aurora Register of Properties of Cultural Heritage Value or Interest

Attachment 3 – Site Photographs- August 2015

Attachment 4 – Site Plan

Attachment 5 – Concept Drawings

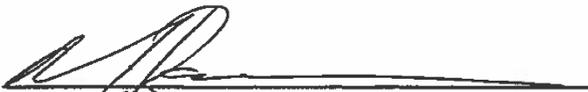
Attachment 6 – Heritage Designation Brief

Attachment 7 – Structural Letter, dated July 29, 2015

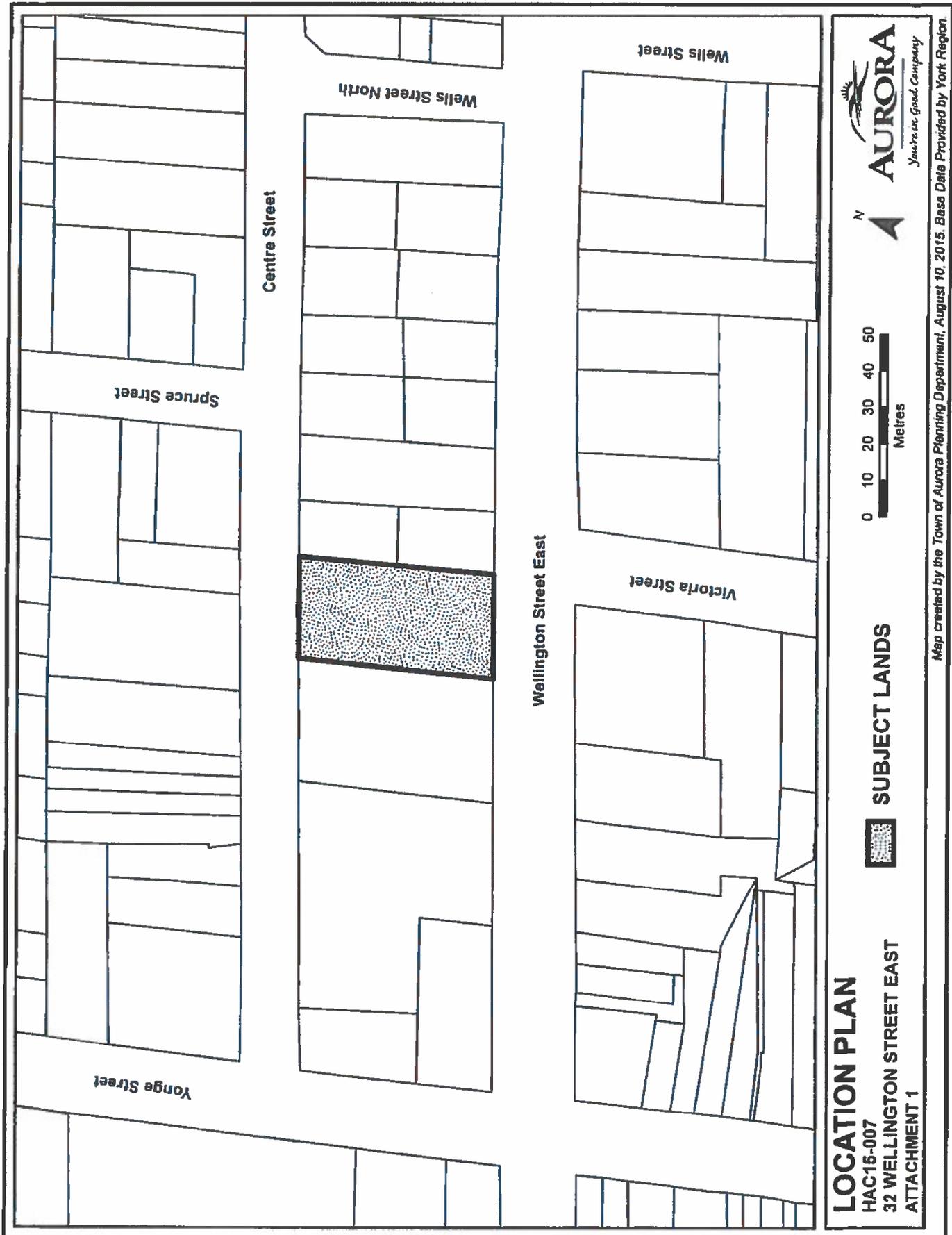
PRE-SUBMISSION REVIEW

Executive Leadership Team Meeting – August 13, 2015.

Prepared by: Jeff Healey, Planner- Ext. 4349



**Marco Ramunno, MCIP, RPP
Director of Planning & Development Services**



AURORA INVENTORY OF HERITAGE BUILDINGS	
S I T E	<p>ADDRESS: 32 Wellington Street East (D. W. Doan House)</p> <p>LEGAL DESCRIPTION: PLAN: 246 PART LOT: 134</p>
S T A T U S	<p>PRESENT USE: Multi-unit Residential ORIGINAL USE: Residential.</p> <p>HERITAGE DESIGNATION: C.I.H.B. 1995 INVENTORY</p> <p>OFFICIAL PLAN: Commercial ZONING: C2 (Central Commercial)</p>
P H O T O G R A P H	
K E Y M A P	 <p style="text-align: right;">Attachment 2</p>

AURORA INVENTORY OF HERITAGE BUILDINGS

A
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ADDRESS: 32 Wellington Street East
 CONSTRUCTION DATE: 1864
 BUILDER:
 STYLE: Italianate Georgian House

GENERAL DESCRIPTION:

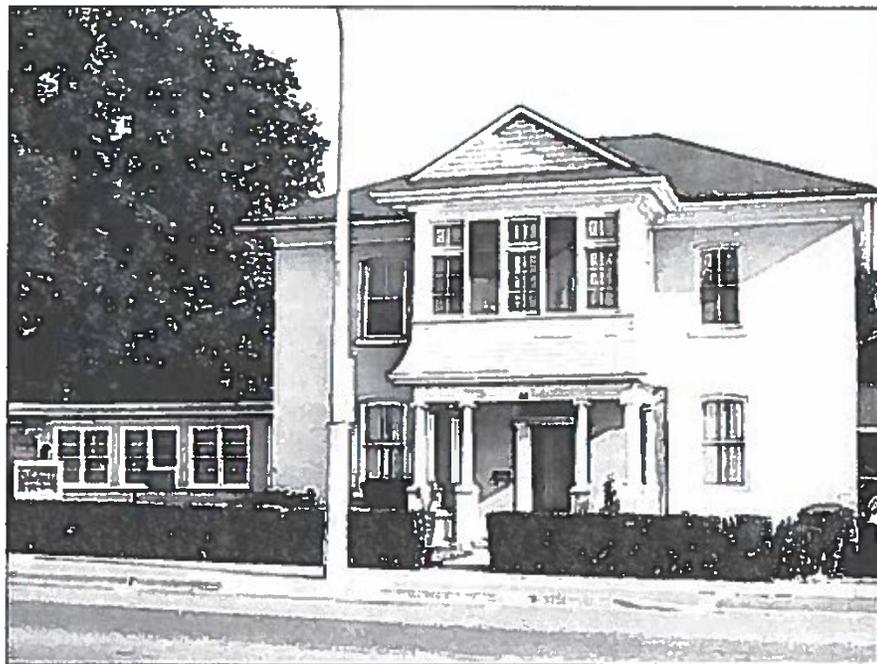
PLAN: STOREYS: 2 BAYS:
 FOUNDATION MATERIAL:
 EXTERIOR WALL MATERIAL: Brick.
 ROOF TYPE: Hip
 WINDOWS:
 ENTRANCE: Elaborate entry

UNIQUE FEATURES:

CHIMNEY (S):
 DORMERS:
 ROOF TRIM:
 WINDOW TRIM:
 SPECIAL WINDOWS:
 DOOR TRIM:
 PORCH/VERANDAH: Verandahs replaced with 2-storey classical porch in 1906
 OTHER: Addition

H
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Historical Society file includes..
 - 2-page title search info from 1803 to 1978.
 - 1982 colour photo.
 - 4-page 1991 Historical Report.
 - 1993 colour photo.



1981 photo Vol. 1, #17.



View of 32 Wellington Street East – North-East Elevation

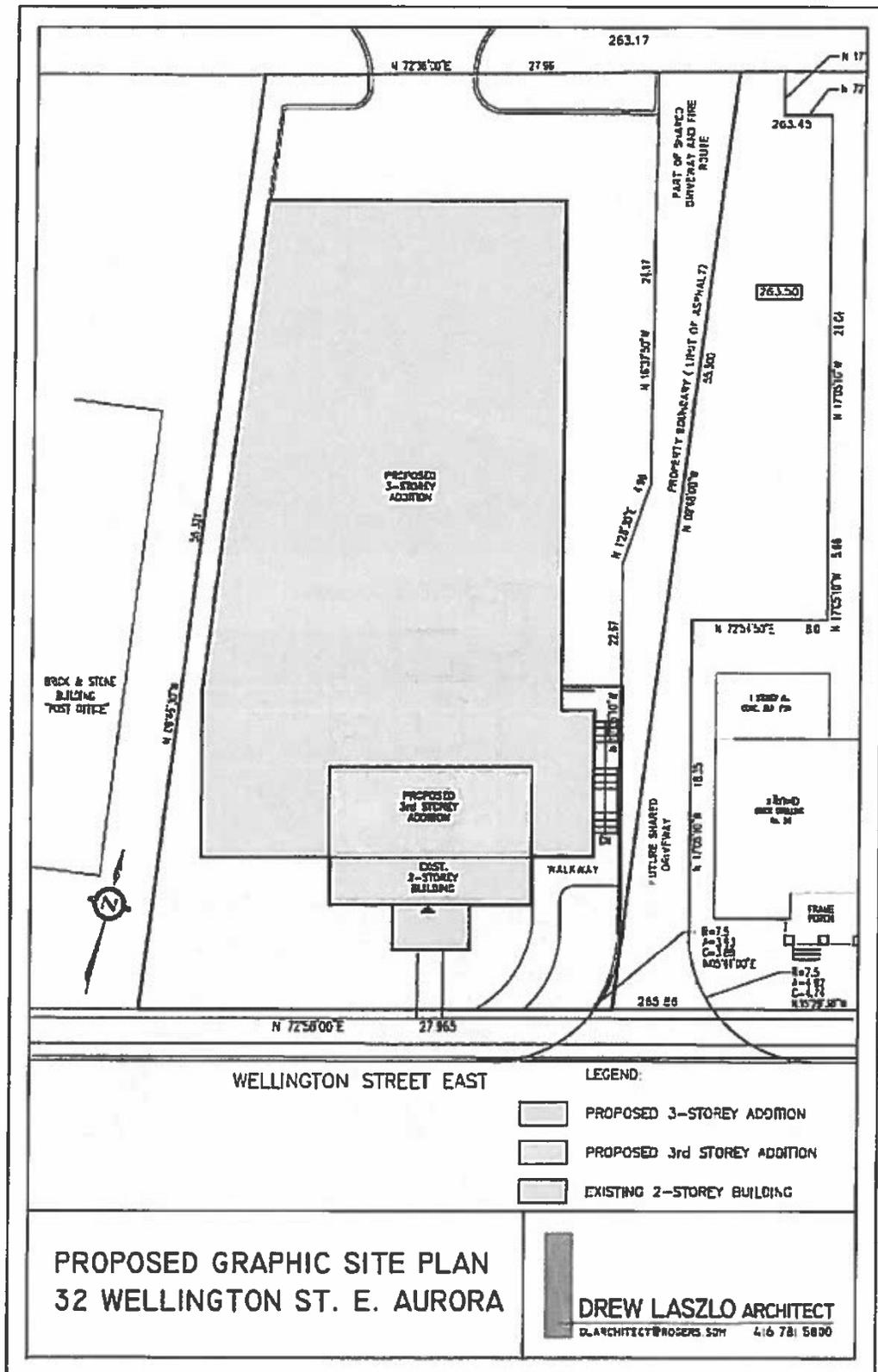


View of 32 Wellington Street East – South Elevation

Attachment 3



View of 32 Wellington Street East – South-West Elevation





Site Concept Drawing – 32 Wellington Street East, South-East Elevation



Site Concept Drawings – 32 Wellington Street East, South Elevation



Site Concept Drawing – 32 Wellington Street East, North-East Elevation



Site Concept Drawing – North-West Elevation

Heritage Designation Brief



The David W. Doan House

**32 Wellington Street East
*circa 1873***

**Heritage Advisory Committee of Aurora
April 2007**

Attachment 6

Description of Property

Street Address:	32 Wellington Street East
Roll Number:	1946-000-021-25200-0000
Short Legal Description:	Plan 246, Lot 134
Names of Owners:	M & D Investment House in Aurora Wellness
Owners' Mailing Address:	32 Wellington Street East Aurora, ON L4G 1H5
Discussion with the current owner regarding Designation began:	December 2005
Heritage Advisory Committee of Aurora Review Date:	April 9, 2007
Heritage Type:	Built Structure
Designation Type:	Ontario Heritage Act – Part IV
Designation Brief Completion Date:	March 30, 2007
Designation Brief Completed by:	Michael Seaman, MCIP, RPP Based on research by Janet and David Fayle Heritage Consultants (June 2003)

Summary

ORIGINAL OWNER: David. W. Doan

CURRENT OWNER: M & D Investment House in Aurora Wellness

ORIGINAL USE: Single family dwelling

CURRENT USE: Spa

ARCHITECT: Unknown

DATE OF CONSTRUCTION: circa 1873

BUILDER: Unknown

SITE LOCATION: North Side of Wellington Street, East of Yonge Street

Description of the property

The David W. Doan House, located at 32 Wellington Street east is a prominent Aurora home from the 1870s period that was lived in for most of its history by a series of prominent Aurorans. Architecturally the house is an important example of the vernacular architecture of the 1870s period in Aurora with later alterations which reflected the varied tastes and trends in architecture in this period.

Statement of Cultural Heritage Value or Interest

Historical or Associative Value

The David W. Doan House was built by David Wilson Doan, a well-respected merchant and postmaster and member of the prominent York County family connected with the village of Sharon, and the Sharon Temple, a national historic site. The house was his residence for about a quarter of a century. Two earlier Doan houses in Aurora have disappeared: 'Castle Doan', built in the first half of the 19th Century, was demolished in 1982 and 'Doan Hall', built in 1855 was demolished in 1969. Both were homes to Charles Doan, father of David W. Thus 32 Wellington Street East is a final architectural reminder of an important family in Aurora.

A subsequent owner, Charles Mulloy, served the school community of York County for 32 years, as principal of Aurora High School and as inspector of public schools. Mr. Mulloy made architectural changes to the house. Dr. Charles Boulding, resident from 1943 to 1949, was a local physician and served as mayor for a time. Dr. Donald Hutchins (1949-1978) added the wing to the west as his medical offices. Thus the house has been home to well-respected members of the community from its inception.

Design or Physical value

The Doan House is a good example of Ontario Vernacular architecture, unique in Aurora, embodying elements of a number of architectural styles. The Georgian Period is represented by the buildings massive, square form and its symmetry. Remaining Regency features are the hipped roof, square form and French doors, with their recessed shutters in the reveals. The Italianate style adds the segmentally-headed openings and wide eaves. The Classical Revival style may be found in the brick keystones and the fluted engaged columns. The various elements come together to produce a residence befitting the status of a prominent business man of the village.

The interior also reflects the relative grandeur of a home of a prosperous member of the community. The wide entrance hall, spacious high-ceilinged rooms, faux marble fireplace surrounds, gracious stairway with elaborately carved newell, and the later additions of wide openings flanked by columns are all features that would be found only in the residence of a well-to-do owner.

Contextual Value

The Doan House is one of a continuum of stylistic periods represented on both sides of Wellington Street East within the first block-and-a half from Yonge Street. Although the use of the interior space has changed in many of these residences, and a number of these have had major additions to them, the retention of the historic exteriors is important in reflecting the history of Aurora from a small rural village to a prospering community. Since a significant portion of the core of Aurora was lost in numerous fires (1859, 1965, 1887, 1893 and 1954), it is particularly important that the remaining buildings of the core be retained.

Description of Heritage Attributes

(Describes the key attributes or elements of the property that must be retained to conserve its cultural heritage value or interest.)

The Description of Heritage Attributes include the following heritage attributes and apply to all elevations and the roof including all facades, entrances, windows, chimneys, and trim, together with construction materials of wood, brick, stone, plaster parging, metal and glazing, their related building techniques and landscape features:

Exterior Elements:

- 2 storey brick exterior walls;
- 3 bay façade dominated by a 2-storey front porch;
- Brickwork, tuck pointed and painted;
- Medium pitched hipped roof, including:
 - Wide eaves, made of wood;

- Soffits
- Fascia
- Wood Trim
- Segmental arched openings on windows of the 1873 section of the building with keyed voussoirs and wood sills;
- Main entrance, including:
 - Segmental transom light with central muntin
 - Engaged, fluted Doric columns flanking the front door;
 - Paneled transom
 - Oak door with single light;
- Front Porch
 - Six unfluted Ionic Columns on brick piers
 - Two matching engaged columns on brick piers
 - Red shingles
 - 3-sided window openings
 - Gable-roofed porch with pent eave accentuated by red stained wood shingles;
- Exterior of historic rear wing;

Note: The windows and fenestration are modern but are representative of the original sash windows. Any replacement of the windows should be in keeping with the existing design which echoes historic precedents.

Legal Description:

32 Wellington Street
Plan 246, Lot 134, Whitchurch (Town of Aurora)



The David W. Doan House from Southeast



The David W. Doan House from front



The David W. Doan House from front-



ATTACHMENT 7

10376 Yonge Street • Suite 307 • Richmond Hill • Ontario • L4C 3B6 • T 905•237•5410, F 905•237•5413, E ssoscia@sosciaeng.ca

July 29th, 2015.

**Town of Aurora Building Department
100 John West Way, Box 1000
Aurora, Ontario
L4G 6J1**

RE: 32 Wellington Street East

I am writing to advise that the owners of 32 Wellington Street East have retained Soscia Professional Engineers Ltd. to perform a third party review of the demolition occurring at the subject property.

It is our understanding that the site is under a new development application and as part of the new construction a condition was imposed by the Town of Aurora to maintain part of the existing residential dwelling. Based upon our site visit the following was observed:

- The existing structure is currently under demolition;
- The front face and portions of the east and west elevation were shored with the purpose of retaining this part of the structure;
- The existing footings were adequately underpinned and the remaining structure appeared to be adequately shored;
- The existing load bearing brick was soft and easy to break;
- The wall composition was of eight (8) inch load bearing veneer and outer face veneer;
- The outer face and load bearing veneer was separated with an air space of approximately two (2) inches.
- Despite the shoring provided new cracks in the existing veneer have developed;
- It appears that the east elevation outer skin veneer is out of plumb;
- The brick ties across the air space do not appear to be adequately spaced.



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Based on observations we have the following comments:

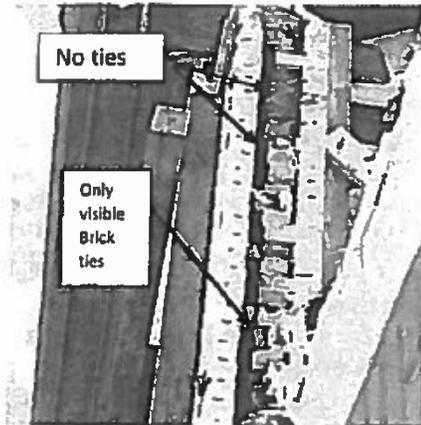
The owners have adequately underpinned and shored the structure as required. The existing load bearing veneer and outer façade veneer was found to be very soft. It is our opinion that the veneer would not be suitable in meeting today's standards for load bearing masonry or veneer. The ties between the load bearing veneer and the outside cladding is hazardous and does not meet the requirements of Table 9.29.5 (masonry ties). Because of the noted defects in the exterior wall we believe the existing masonry should be replaced using the existing materials for the façade only. The backup load bearing masonry should be replaced with 200 mm masonry block. On this basis we recommend removal and reconstruction of the exterior façade of 32 Wellington Street East.



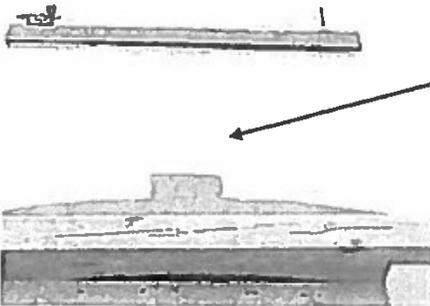
DEMOLIITON IN PROGRESS AT 32 WELLINGTON STREET EAST. DEVELOPER HAS ADEQUATELY UNDERPINNED AND SHORED AS PER THE PERMIT REQUIREMENTS.



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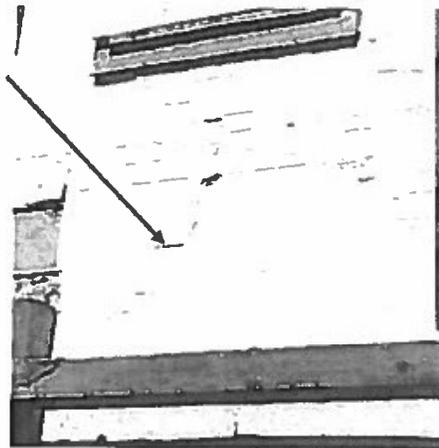


The existing load bearing veneer is in poor condition. The veneer is not adequately tied to act as load bearing masonry. The connection between the two (2) Inner Wythes is not continuous or solid. We are of the opinion that the wall does not meet the standards as a load bearing condition. As well, the outer façade is out of plumb because it is not adequately tied to the inward wall. Ties exceed the spacing of OBC Table 9.20.5.



New cracks have appeared in the exterior façade. May have resulted from inadequate ties of a result of the demolition procedures.

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Conclusion:

The owners of 32 Wellington Street East have completed the necessary underpinning and shoring required as part of the demolition requirement associated with this application. The condition of the existing exposed masonry veneer has revealed that the materials left in place and their construction do not meet the minimum structural standards of the Ontario Building Code and we are recommending complete demolition of the front façade and replacement with the existing or similar materials. The existing structure does not meet the OBC standards for masonry construction. The exterior façade is susceptible to failure or collapse and the interior load bearing back up does not meet the requirements for a load bearing wall. If the existing conditions are left in place it is our opinion that they jeopardize the entire structural system as a whole. The existing walls need to be reconstructed.

Regards,

SOSCIA PROFESSIONAL ENGINEERS LTD.
S. SOSCIA

Sandro Soscia, P. Eng. (Structural Engineer)

