



Development Charges Update Study

Town of Aurora

April 22, 2021

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Report



Chapter 1

Introduction



1. Introduction

1.1 Background

The Town of Aurora imposes development charges (D.C.) to recover capital costs arising from the increase in needs for services related to growth. The Town currently has a Town-wide D.C. for services related to a highway, fire protection services, municipal parking, outdoor recreation, indoor recreation, library services, general government, water services, and wastewater services. The basis for these D.C.s is documented in the “Town of Aurora Development Charges Background Study” dated January 24, 2019, which provided the supporting documentation for By-law 6166-19. The D.C.s came into effect March 26, 2019.

The Town’s D.C.s have been indexed (in accordance with section 5.1 of the by-law) semi-annually on January 1st and July 1st and are currently 5.81% higher than the 2019 rates implemented under By-law 6166-19. The 2019 D.C.s (unindexed) are shown in Figure 1-1.

The purpose of this report is to update the current D.C. by-law in order to meet the requirements of the Development Charges Act (D.C.A.), as amended by Bill 108 (*More Homes, More Choice Act, 2019*), Bill 138 (*Plan to Build Ontario Act, 2019*), Bill 197 (*COVID-19 Economic Recovery Act, 2020*), and Bill 213 (*Better for People, Smarter for Business Act, 2020*). A full discussion on the amending legislation is provided in chapter 2.

A summary of the changes contained in this D.C. Update are provided below:

- The legislation has removed the mandatory deduction for all services that remain eligible in the D.C. For the Town, the 10% deduction may be removed for the following services:
 - Municipal Parking;
 - Parks and Recreation (Outdoor and Indoor Recreation);
 - Library Services; and
 - General Government (Studies).
- The listing of eligible services has been changed by the amending legislation:



- For the Town, Municipal Parking will no longer be an eligible service as of September 18, 2022 (the end of the transition period provided by the amending legislation). The amendments to the D.C. by-law will reflect this change.
 - For the Town's Outdoor and Indoor Recreation, the changes to the D.C. eligible services under Bill 197 have combined these two services into a single Parks and Recreation service.
- An additional change brought forth through Bill-197 related to establishing classes of services. A class of service may be composed of any number or combination of services and may include parts or portions of each D.C.-eligible service. As a result of these changes to the D.C.A., this addendum report provides for General Government (Studies) as a class of services. Further discussion on classes of services is provided in chapter 2.
- The regulations have provided for the following additional mandatory D.C. exemptions to be added to the Town's D.C. by-law:
 - Added dwelling unit in new residential buildings; and
 - Development of land intended for use by a university that receives operating funds from the Government.
- Further changes related to the timing of payments for rental housing, institutional and non-profit development were proclaimed through Bill 108. Additionally, the D.C. amount for all developments occurring within 2 years of a Site Plan or Zoning By-law Amendment planning approval, shall be determined based on the D.C. in effect on the day of Site Plan or Zoning By-law Amendment application. If the development is not proceeding via these planning approvals, then the amount is determined as the earlier of the date of issuance of a building permit or occupancy. These changes will be addressed in the amending by-law, discussed in Chapter 5 and provided in Appendix C.



Figure 1-1
Town of Aurora
2019 Development Charges (By-law 6166-19)

Service	Residential					Non-Residential	
	Single & Semi Detached	Multiples	Apartments - Large	Apartments - Small	Special Care/Special Dwelling	per sq.ft. of Gross Floor Area	per sq.m. of Gross Floor Area
Town-Wide Services							
Municipal parking spaces	4	3	2	2	1	0.01	0.11
Fire Services	891	662	538	369	275	0.37	3.98
Outdoor Recreation Services	6,037	4,488	3,646	2,499	1,860	0.27	2.91
Indoor Recreation Services	7,575	5,631	4,575	3,136	2,334	0.33	3.55
Library Services	1,313	976	793	544	405	0.06	0.65
General Government	774	575	467	320	238	0.32	3.44
Total Town-Wide Services	16,594	12,335	10,021	6,870	5,113	1.36	14.64
Total Town-Wide Engineered Services							
Services Related to a Highway	6,139	4,564	3,707	2,542	1,892	2.55	27.45
Wastewater Services	734	546	443	304	226	0.30	3.23
Water Supply and Distribution Services	377	280	228	156	116	0.16	1.72
Total Town-Wide Engineered Services	7,250	5,390	4,378	3,002	2,234	3.01	32.40
Grand Total	23,844	17,725	14,399	9,872	7,347	4.37	47.04



1.2 Existing Policies (Rules)

Appendix A of this report sets out the rules governing the calculation, payment, and collection of D.C.s as provided in By-law 6166-19.

1.3 Basis for the D.C. By-law Update

This D.C. update study provides for an amendment to the Town's current D.C.s by-law (By-law 6166-19) based on the legislative changes to the D.C.A. These include:

- Updating the D.C. analysis to remove the 10% mandatory deduction;
- Municipal Parking will no longer be an eligible service as of September 18, 2022. The Town's D.C. By-law will be amended to reflect this change;
- Outdoor and Indoor Recreation have been combined into a single Parks and Recreation Service;
- Creating a classification of General Government (Studies) as a class of services; and
- Updating the D.C. policies in the by-law with respect to:
 - D.C. installment payments;
 - D.C. rate freeze;
 - Mandatory exemption for new ancillary units and universities; and
 - Updated definitions (which have been established as part of Bill 108/197).

Details on the changes to the calculation and by-law are presented in Chapter 4 and Chapter 5 of this report, respectively. The draft amending by-law is presented in Appendix C to this report.

1.4 Summary of the Process

The public meeting required under section 12 of the D.C.A. has been scheduled for May 18, 2021. Its purpose is to present the update study to the public and to solicit public input. The meeting is also being held to answer any questions regarding the study's purpose, methodology and the proposed modifications to the Town's D.C. by-law.

The process to be followed in finalizing the report and recommendations includes:



- consideration of responses received prior to, at or immediately following the Public Meeting; and
- Council consideration of the amending by-law on June 22, 2021.

Figure 1-2 outlines the proposed schedule to be followed with respect to the D.C. by-law adoption process

Figure 1-2
Schedule of Key D.C. Process Dates for the Town of Aurora

1. Data collection, staff review, D.C. calculations and policy work	February to April 2021
2. Background study and proposed by-law available to public	April 22, 2021
3. Public meeting advertisement placed in newspaper(s)	April 22, 2021
4. Public meeting of Council	May 18, 2021
5. Council considers adoption of background study and passage of by-law	June 22, 2021
6. Newspaper notice given of by-law passage	By 20 days after passage
7. Last day for by-law appeal	40 days after passage
8. Town makes pamphlet available (where by-law not appealed)	By 60 days after in force date

1.5 Policy Recommendations

It is recommended that the Town's current D.C. policies, as identified in Appendix A of this report, be continued.

Additionally, the new policies as stated in Bill 108, Bill 138, Bill 197, Bill 213, and O. Reg. 454-19 are recommended to be included. This is discussed in more detail in chapter 2 of this report.



Chapter 2

Changes to the D.C.A. Legislation



2. Changes to the D.C.A. Legislation

2.1 Bill 108 – *More Homes, More Choice Act, 2019*

On May 2, 2019, the Province introduced Bill 108, which proposed changes to the D.C.A. The Bill has been introduced as part of the Province's "*More Homes, More Choice: Ontario's Housing Supply Action Plan*". The Bill received Royal Assent on June 6, 2019.

While having received Royal Assent, many of the amendments to the D.C.A. would not come into effect until they are proclaimed by the Lieutenant Governor (many of these changes were revised through Bill 197). At the time of writing, the following provisions have been proclaimed:

- Effective January 1, 2020, rental housing and institutional developments will pay D.C.s in six equal annual payments commencing at occupancy. Non-profit housing developments will pay D.C.s in 21 equal annual payments. Interest may be charged on the instalments, and any unpaid amounts may be added to the property and collected as taxes.
- Effective January 1, 2020 the D.C. amount for all developments occurring within 2 years of a Site Plan or Zoning By-law Amendment planning approval (for application submitted after this section is proclaimed), shall be determined based on the D.C. in effect on the day of Site Plan or Zoning By-law Amendment application. If the development is not proceeding via these planning approvals, then the amount is determined the earlier of the date of issuance of a building permit or occupancy.

On February 28, 2020, the Province released updated draft regulations related to the D.C.A. and the Planning Act. A summary of these changes is provided below:

Changes to Eligible Services – Prior to Bill 108, the D.C.A. provided a list of ineligible services whereby municipalities could include growth related costs for any service that was not listed. With Bill 108, the changes to the D.C.A. would now specifically list the services that are eligible for inclusion in the by-law. Further, the initial list of eligible services under Bill 108 was limited to "hard services", with the "soft services" being removed from the D.C.A. These services would be considered as part of a new



community benefits charge (discussed below) imposed under the Planning Act. As noted in the next section this list of services has been amended through Bill 197.

Mandatory 10% deduction – The amending legislation would remove the mandatory 10% deduction for all services that remain eligible under the D.C.A.

Remaining Services to be Included in a New Community Benefits Charge (C.B.C.) Under the Planning Act – It is proposed that a municipality may, by by-law, impose a C.B.C. against land to pay for the capital costs of facilities, services and matters required because of development or redevelopment in the area to which the by-law applies. The C.B.C. is proposed to include formerly eligible D.C. services (as noted below), in addition to parkland dedication and other types of cost formerly recovered under Section 37 of the Planning Act.

2.2 Bill 138 – *Plan to Build Ontario Together Act, 2019*

On November 6, 2019, the Province released Bill 138 which provided further amendments to the D.C.A. and Planning Act. This Bill received Royal Assent on December 10, 2019 and was proclaimed which resulted in sections related to the D.C.A. (schedule 10) becoming effective on January 1, 2020. The amendments to the D.C.A. included removal of instalment payments for commercial and industrial developments that were originally included in Bill 108.

2.3 Bill 197 – *COVID-19 Economic Recovery Act, 2020*

In response to the global pandemic that began affecting Ontario in early 2020, the Province released Bill 197 which provided amendments to a number of Acts, including the D.C.A. and Planning Act. This Bill also revised some of the proposed changes identified in Bill 108. Bill 197 was tabled on July 8, 2020, received Royal Assent on July 21, 2020, and was proclaimed on September 18, 2020. The following provides a summary of the changes:



2.3.1 D.C. Related Changes

List of D.C. Eligible Services

- As noted above, under Bill 108 some services were to be included under the D.C.A. and some would be included under the C.B.C. authority. However, Bill 197 revised this proposed change and has included all services (with some exceptions) under the D.C.A. These services are as follows:
 - Water supply services, including distribution and treatment services.
 - Wastewater services, including sewers and treatment services.
 - Storm water drainage and control services.
 - Services related to a highway.
 - Electrical power services.
 - Toronto-York subway extension.
 - Transit services.
 - Waste diversion services.
 - Policing services.
 - Fire protection services.
 - Ambulance services.
 - Library services
 - Long-term Care services
 - Parks and Recreation services, but not the acquisition of land for parks.
 - Public Health services
 - Childcare and early years services.
 - Housing services.
 - Provincial Offences Act services.
 - Services related to emergency preparedness.
 - Services related to airports, but only in the Regional Municipality of Waterloo.
 - Additional services as prescribed.

Classes of Services – D.C.

Pre-Bill 108/197 legislation (i.e. D.C.A., 1997) allowed for categories of services to be grouped together into a minimum of two categories (90% and 100% services).



The amending legislation repealed and replaced the above with the four following subsections:

- A D.C. by-law may provide for any eligible service or capital cost related to any eligible service to be included in a class, set out in the by-law.
- A class may be composed of any number or combination of services and may include parts or portions of the eligible services or parts or portions of the capital costs in respect of those services.
- A D.C. by-law may provide for a class consisting of studies in respect of any eligible service whose capital costs are described in paragraphs 5 and 6 of s. 5 of the D.C.A.
- A class of service set out in the D.C. by-law is deemed to be a single service with respect to reserve funds, use of monies, and credits.

As well, the removal of 10% deduction for soft services under Bill 108 has been maintained.

10-Year Planning Horizon

- The “maximum” 10-year planning horizon has been removed for all services except transit.

2.3.2 Community Benefit Charges (C.B.C.)

While a Community Benefit Charge is not being considered within this report, a summary of the legislated changes is provided herein for information purposes.

C.B.C. Eligibility

- The C.B.C. is limited to lower-tier and single tier municipalities, whereas upper-tier municipalities will not be allowed to impose this charge.
- O.Reg. 509/20 was filed on September 18, 2020. This regulation provides for the following:
 - A maximum rate will be set as a percentage of the market value of the land the day before building permit issuance. The maximum rate is set at 4%. The C.B.C may only be imposed on developing or redeveloping buildings which have a minimum height of five stories and contain no less than 10 residential units.



- Bill 197 states that before passing a C.B.C. by-law, the municipality shall prepare a C.B.C. strategy that (a) identifies the facilities, services and matters that will be funded with C.B.C.s; and (b) complies with any prescribed requirements.
- Only one C.B.C. by-law may be in effect in a local municipality at a time.

2.3.3 Combined D.C. and C.B.C. Impacts

D.C. vs. C.B.C. Capital Cost

- A C.B.C. may be imposed with respect to the services listed in s. 2 (4) of the D.C.A. (eligible services), "provided that the capital costs that are intended to be funded by the community benefits charge are not capital costs that are intended to be funded under a development charge by-law."

Transition – D.C. and C.B.C.

- The specified date for municipalities to transition to the D.C. and C.B.C. is two years after Schedules 3 and 17 of the COVID-19 Economic Recovery Act comes into force (i.e. September 18, 2022).
- Generally, for existing reserve funds (related to D.C. services that will be ineligible):
 - If a C.B.C. is passed, the funds are transferred to the C.B.C. special account;
 - If no C.B.C. is passed, the funds are moved to a general reserve fund for the same purpose
 - If a C.B.C. is passed subsequent to moving funds to a general reserve fund, those monies are then moved again to the C.B.C. special account.
- For reserve funds established under s. 37 of the Planning Act (e.g. bonus zoning)
 - If a C.B.C. is passed, the funds are transferred to the C.B.C. special account;
 - If no C.B.C. is passed, the funds are moved to a general reserve fund for the same purpose;
 - If a C.B.C. is passed subsequent to moving funds to a general reserve fund, those monies are then moved again to the C.B.C. special account.

If a municipality passes a C.B.C. by-law, any existing D.C. credits a landowner retains may be used towards payment of that landowner's C.B.C.



2.4 Bill 213 – *Better for People, Smarter for Business Act*, 2020

On December 8, 2020, Bill 213 received Royal Assent. One of the changes included in the Bill that is now in effect amends the Ministry of Training, Colleges, and Universities Act by introducing a new section that would exempt the payment of D.C.s for development of land intended for use by a university that receives operating funds from the government. This additional mandatory exemption has been included in the draft amending by-law in Appendix C.



Chapter 3

Anticipated Development



3. Anticipated Development

3.1 Growth Forecast in the 2019 D.C. Study

The 2019 D.C. study provided for the anticipated residential and non-residential growth within the Town of Aurora. The growth forecast associated with services included in the background study is provided in Figure 2-1 below:

Figure 3-1
Town of Aurora
2019 D.C. Background Study – Growth Forecast Summary

Measure	10 Year 2019-2028	13 Year 2019-2031
(Net) Population Increase	11,692	13,163
Residential Unit Increase	4,432	5,072
Non-Residential Gross Floor Area Increase (ft ²)	4,086,600	4,416,500

Source: Watson & Associates Economists Ltd. Forecast 2019

For the purposes of this D.C. update, the 2019 D.C. Background Study growth forecast remains unchanged as the incremental growth is anticipated to remain the same.



Chapter 4

Updates to the Town's D.C. Study



4. Updates to the Town's D.C. Study

As noted earlier, the Town's D.C. By-law 6166-19 came into effect on March 26, 2019, being a by-law for the purposes of establishing and collecting a D.C. in accordance with the provisions of the D.C.A. The 2019 D.C. Background Study and by-law identified anticipated capital needs for recovery through D.C.s for Town-wide services.

This chapter of the report discusses the removal of the 10% mandatory deduction for municipal parking, parks and recreation, library services, and General Government (Studies). A discussion is also provided on the classification of General Government (Studies) as a class of services. As these projects are being added as part of the 2019 D.C. Background Study, the capital costs are being presented in 2019 dollars.

As part of a D.C. amendment, consideration must be given to the historical service level calculation to ensure that the service level ceiling has not been exceeded in the updated calculations. These calculations have been undertaken and are included in Appendix B to this report. No service level has been exceeded by the calculations provided herein.

4.1 Municipal Parking

Given the change to the D.C.A. through Bill 197, the mandatory 10% deduction has been removed from D.C.-eligible services. Note: although municipal parking will become an ineligible service under the D.C.A as of September 18, 2022, the Town is eligible to collect D.C.s for this service until that date (this will be highlighted in the updated by-law).

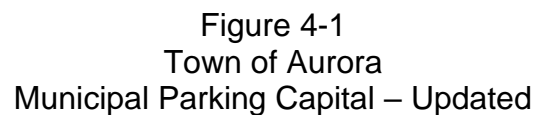
Figure 4-1 provides the updated capital project listing with the removal of the mandatory deduction. This provides for a D.C.-eligible amount of \$60,535.

In addition, an examination of the updated service standards has been undertaken as per section 5(1)4 of the D.C.A. The service standard for parking provides a D.C. level of service ceiling of \$230,800, which is well in excess of the growth-related capital needs and hence, no further adjustments are required. The service standard is provided in Appendix B.

Based on the Town's 2019 D.C. study, the costs allocated between residential and non-residential development based on the ratio of future anticipated population and



employment are 67% residential and 33% non-residential over the 10-year forecast period.



Town of Aurora Service Parking Spaces

Watson & Associates Economists Ltd.
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4.2 Parks and Recreation Services

As discussed earlier, the Town's Outdoor and Indoor Recreation have been combined into Parks and Recreation Services, as outlined in Bill 197. The capital costs included for Parks and Recreation have been modified to remove the mandatory 10% deduction. Figures 4-2, 4-3, and 4-4 provide the updated capital project listings with the removal of the 10% deduction. In addition, an adjustment has been made to the capital program of \$183,390 to recognize the change to the service standard ceiling. This deduction is required to ensure that the capital costs do not exceed the service standard. Therefore, the total D.C. eligible amount being included in the calculations is \$53.40 million.

Based on the Town's 2019 D.C. study, as the predominant users of parks and recreation tend to be residents of the Town, the forecasted growth-related costs have been allocated 95% to residential and 5% to non-residential.



Figure 4-2
Town of Aurora
Parks and Recreation Capital – Updated Parkland Development
Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora
Service Parks & Recreation - Parkland Development

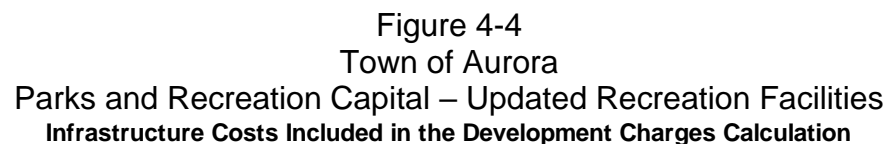
Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 95%	Non-Residential Share 5%
	2019-2028										
1	Park Development and Facilities (20ha @ \$392,000/ha)	various	7,840,000	7,056,000		784,000	-		784,000	744,800	39,200
2	Multi-Use Courts as per Parks & Rec Master Plan	2022	130,000	-		130,000	-		130,000	123,500	6,500
3	Hard Ball Diamond	2020	1,200,000	-		1,200,000	-		1,200,000	1,140,000	60,000
4	BMX Park	2022	450,000	-		450,000	-		450,000	427,500	22,500
5	Artificial Ice Rink with Boards	2019	1,000,000	-		1,000,000	-		1,000,000	950,000	50,000
6	Wildlife Park Phase 1/2/3	2019-2021	5,000,000	3,500,000		1,500,000	-		1,500,000	1,425,000	75,000
7	Trail Construction (Coutts/Pandolfo)	2020	100,000	-		100,000	-		100,000	95,000	5,000
8	Computerized Irrigation System	2019	100,000	-		100,000	-		100,000	95,000	5,000
9	Tree Inventory for 2C	2020-2025	42,000	-		42,000	-		42,000	39,900	2,100
10	Emery Lands/Trails	2025	500,000	336,000		164,000	-		164,000	155,800	8,200
11	Trails - DG Group Trail Connection	2019	150,000	-		150,000	-		150,000	142,500	7,500
12	Trails - McLeod Nature Reserve	2020	200,000	-		200,000	-		200,000	190,000	10,000
13	JOC - Additional Growth-Related Work	2019	728,400	-		728,400	-		728,400	691,980	36,420
14	JOC debt 10 year (principal)	2019-2028	2,255,000	-		2,255,000	-		2,255,000	2,142,250	112,750
15	JOC debt 10 year (discounted interest)	2019-2028	159,600	-		159,600	-		159,600	151,620	7,980
16	Artificial turf field	2022	2,000,000	1,000,000		1,000,000	-		1,000,000	950,000	50,000
17	New fields (2)	2022	1,400,000	700,000		700,000	-		700,000	665,000	35,000
18	Outdoor Sports Needs Assessment	2019	50,000	-		50,000	-		50,000	47,500	2,500
19	Reserve Fund Adjustment		11,842,693	-		11,842,693	-		11,842,693	11,250,558	592,135
	Total		35,147,693	12,592,000	-	22,555,693	-	-	22,555,693	21,427,908	1,127,785



Figure 4-3
Town of Aurora
Parks and Recreation Capital – Updated Park Vehicles
Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora
Service Parks & Recreation - Parks Vehicles and Equipment

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 95%	Non- Residential Share 5%
	2019-2028										
1	Wide Area Mower	2019	140,000	-		140,000	-		140,000	133,000	7,000
2	zero turn mowers (2)	2020	30,000	-		30,000	-		30,000	28,500	1,500
3	truck and trailer	2020	80,000	-		80,000	-		80,000	76,000	4,000
4	3/4 ton truck	2024	50,000	-		50,000	-		50,000	47,500	2,500
5	2 ton truck	2028	70,000	-		70,000	-		70,000	66,500	3,500
	Total		370,000	-	-	370,000	-	-	370,000	351,500	18,500



Service: Parks & Recreation - Indoor Recreation Facilities

[illegible]



4.3 Library Services

With respect to library services, adjustments have been made to reflect the removal of the mandatory 10% deduction. Figures 4-5 and 4-6 provide the capital project listing with the removal of the mandatory deduction.

The details regarding the updated service standards are provided in Appendix B. The resulting service standards for Library provide a D.C. ceiling of \$7.68 million. Given that the capital program is \$5.57 million, the D.C.-eligible capital amounts are within the level of service ceiling.

Based on the Town's 2019 D.C. study, the growth-related capital costs have been allocated 95% residential and 5% non-residential. This is to acknowledge that although library usage is predominantly residential based, there is some use of the facilities by non-residential users.



Figure 4-5
Town of Aurora
Library Services Capital – Updated Facilities
Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora
Service Library Facilities

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 95%	Non- Residential Share 5%
	2019-2028										
1	Library Debenture (Principal)	2018-2020	814,751	-		814,751	-		814,751	774,013	40,738
2	Library Debenture (Discounted Interest)	2018-2020	36,610	-		36,610	-		36,610	34,779	1,830
3	Growth Accomodation Study	2019	70,000	-		70,000	-		70,000	66,500	3,500
4	Provision for Additional Library Space	2019-2028	6,000,000	-		6,000,000	-		6,000,000	5,700,000	300,000
5	Reserve Fund Adjustment			-		-	3,049,222		(3,049,222)	(2,896,760)	(152,461)
	Total		6,921,360	-	-	6,921,360	3,049,222	-	3,872,139	3,678,532	193,607



Figure 4-6
Town of Aurora
Library Services Capital – Updated Collections
Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora
Service Library Collection Materials

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share	Non-Residential Share
	2019-2028									95%	5%
1	Provision for Additional Collection Materials	2019-2028	1,700,000	-		1,700,000	-		1,700,000	1,615,000	85,000
	Total		1,700,000	-	-	1,700,000	-	-	1,700,000	1,615,000	85,000



4.4 General Government (Studies)

A change brought forth through the Bill-197 amended legislation concerned classes of services. A class of service may be composed of any number or combination of services and may include parts or portions of each D.C.-eligible service. Section 7 of the D.C.A. states that a D.C. by-law may provide for any D.C.-eligible service or the capital costs with respect to those services. These provisions allow for services to be grouped together to create a class for the purposes of the D.C. by-law and D.C. reserve funds.

In addition, Section 7(3) of the D.C.A. states that:

“For greater certainty, a development charge by-law may provide for a class consisting of studies in respect of any service listed in subsection 2 (4) whose capital costs are described in paragraphs 5 and 6 of subsection 5 (3).”

As a result of these changes to the D.C.A., this update study provides for General Government (Studies) to be categorized as a class of services. General Government (Studies) is comprised of the following services:

- Services Related to a Highway;
- Water Supply and Distribution Services;
- Wastewater Services;
- Fire Protection Services;
- Parks and Recreation; and
- Library Services.

Figure 4-7 depicts how the costs of capital projects are allocated across the services. For planning related studies, a deduction of 10% has been applied to recognize the extent to which the studies relate to non-D.C.-eligible services. All planning studies have been allocated to the class of services in the following manner:

- Services Related to a Highway – 25%
- Water Supply and Distribution Services – 25%
- Wastewater Services – 25%
- Fire Protection Services – 10%
- Parks and Recreation – 10%



- Library Services – 5%

With respect to the capital cost of D.C. background studies, they have been allocated across the different services based on the proportion of the total net growth-related capital costs. The following provides a breakdown of the allocation of D.C. background studies to each service:

- Services Related to a Highway – 52.3%
- Water Supply and Distribution Services – 20.1%
- Wastewater Services – 13.3%
- Fire Protection Services – 4.4%%
- Parks and Recreation – 9.0%
- Library Services – 0.9%

In addition to the classification as a class of service, the mandatory 10% deduction has been removed for non-planning related studies.

The capital costs have been allocated 67% residential and 33% non-residential based on the incremental growth in population to employment for the 10-year forecast period, consistent with the 2019 D.C. Background Study.



Figure 4-7
Town of Aurora
General Government (Studies) Capital – Updated

Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora
Class of Service: General Government (Studies)

Prj.No	Increased Service Needs Attributable to Anticipated Development	Service to Which the Study Relates to	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions (To Recognize Benefit to Non-D.C. Services)	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 67%	Non-Residential Share 33%
	2019-2028											
1	Water Hydraulic Model	Water Supply and Distribution Services	2019	115,800	-		115,800	-		115,800	77,586	38,214
2	Water Hydraulic Model	Water Supply and Distribution Services	2026	115,800	-		115,800	-		115,800	77,586	38,214
3	water system leak detection study	Water Supply and Distribution Services	2022	231,600	-		231,600	115,800		115,800	77,586	38,214
4	water system leak detection study	Water Supply and Distribution Services	2027	231,600	-		231,600	115,800		115,800	77,586	38,214
5	Wastewater hydraulic model	Wastewater Services	2020	115,800	-		115,800	-		115,800	77,586	38,214
6	Wastewater hydraulic model	Wastewater Services	2025	115,800	-		115,800	-		115,800	77,586	38,214
7	Stormwater Master Plan	Services Related to a Highway	2019-2023	115,800	-		115,800	-		115,800	77,586	38,214
8	Pavement Management Program	Services Related to a Highway	2019	57,900	-		57,900	28,950		28,950	19,397	9,554
9	Pavement Management Program	Services Related to a Highway	2024	57,900	-		57,900	28,950		28,950	19,397	9,554
10	Pavement Management Program	Services Related to a Highway	2028	57,900	-		57,900	28,950		28,950	19,397	9,554
11	Update master transportation plan	Services Related to a Highway	2019	115,800	-		115,800	-		115,800	77,586	38,214
12	Update master transportation plan	Services Related to a Highway	2024	115,800	-		115,800	-		115,800	77,586	38,214
13	Update master transportation plan	Services Related to a Highway	2028	100,000	-		100,000	-		100,000	67,000	33,000
14	Salt management plan update	Services Related to a Highway	2019	115,800	-		115,800	57,900		57,900	38,793	19,107
15	Salt management plan update	Services Related to a Highway	2024	115,800	-		115,800	57,900		57,900	38,793	19,107
16	Retaining Wall Study	Services Related to a Highway	2019	22,900	-		22,900	11,450		11,450	7,672	3,779
17	Retaining Wall Study	Services Related to a Highway	2023	22,900	-		22,900	11,450		11,450	7,672	3,779
18	Retaining Wall Study	Services Related to a Highway	2028	25,000	-		25,000	-		25,000	16,750	8,250
19	Parks & Recreation Master Plan	Parks and Recreation	2019-2023	100,000	-		100,000	50,000		50,000	33,500	16,500
20	Parks & Recreation Master Plan	Parks and Recreation	2024-2028	100,000	-		100,000	50,000		50,000	33,500	16,500
21	Trails Master Plan	Parks and Recreation	2024-2028	100,000	-		100,000	50,000		50,000	33,500	16,500
22	Fire Master Plan	Fire Services	2019	51,250	-		51,250	-		51,250	34,338	16,913
23	Fire Master Plan	Fire Services	2024	51,250	-		51,250	-		51,250	34,338	16,913
24	Creek Management Masterplan	Services Related to a Highway	2028	100,000	-		100,000	-		100,000	67,000	33,000
25	Flood Study for Tannery Creek - various locations	Services Related to a Highway	2019-2024	500,000	-		500,000	-		500,000	335,000	165,000
26	Flood Study for Tannery Creek - various locations	Services Related to a Highway	2025-2031	500,000	214,000		286,000	-		286,000	191,620	94,380
27	Water & Wastewater Master Plan											
27A	Water & Wastewater Master Plan	Water Supply and Distribution Services	2019-2023	57,900	-		57,900	-		57,900	38,793	19,107
27B	Water & Wastewater Master Plan	Wastewater Services	2019-2023	57,900	-		57,900	-		57,900	38,793	19,107
	Sub-Total			115,800	-	-	115,800	-	-	115,800	77,586	38,214



Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora
Class of Service: General Government (Studies)

Prj.No	Increased Service Needs Attributable to Anticipated Development	Service to Which the Study Relates to	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions (To Recognize Benefit to Non-D.C. Services)	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 67%	Non-Residential Share 33%
	2019-2028											
28	Water & Wastewater Master Plan											
28A	Water & Wastewater Master Plan	Water Supply and Distribution Services	2024-2028	57,900	-		57,900	-		57,900	38,793	19,107
28B	Water & Wastewater Master Plan	Wastewater Services		57,900	-		57,900	-		57,900	38,793	19,107
	Sub-Total			115,800	-	-	115,800	-	-	115,800	77,586	38,214
29	Official Plan											
29A	Official Plan	Services Related to a Highway	2019-2024	57,900	-	5,790	52,110	28,950		23,160	15,517	7,643
29B	Official Plan	Fire Services	2019-2024	23,160	-	2,316	20,844	11,580		9,264	6,207	3,057
29C	Official Plan	Parks and Recreation	2019-2024	23,160	-	2,316	20,844	11,580		9,264	6,207	3,057
29D	Official Plan	Library Services	2019-2024	11,580	-	1,158	10,422	5,790		4,632	3,103	1,529
29E	Official Plan	Wastewater Services	2019-2024	57,900	-	5,790	52,110	28,950		23,160	15,517	7,643
29F	Official Plan	Water Supply and Distribution Services	2019-2024	57,900	-	5,790	52,110	28,950		23,160	15,517	7,643
	Sub-Total			231,600	-	23,160	208,440	115,800	-	92,640	62,069	30,571
30	Intensification Studies (4)											
30A	Intensification Studies (4)	Services Related to a Highway	2019-2023	81,075	-	8,108	72,968	40,538		32,430	21,728	10,702
30B	Intensification Studies (4)	Fire Services	2019-2023	32,430	-	3,243	29,187	16,215		12,972	8,691	4,281
30C	Intensification Studies (4)	Parks and Recreation	2019-2023	32,430	-	3,243	29,187	16,215		12,972	8,691	4,281
30D	Intensification Studies (4)	Library Services	2019-2023	16,215	-	1,622	14,594	8,108		6,486	4,346	2,140
30E	Intensification Studies (4)	Wastewater Services	2019-2023	81,075	-	8,108	72,968	40,538		32,430	21,728	10,702
30F	Intensification Studies (4)	Water Supply and Distribution Services	2019-2023	81,075	-	8,108	72,968	40,538		32,430	21,728	10,702
	Sub-Total			324,300	-	32,430	291,870	162,150	-	129,720	86,912	42,808
31	Long Range Fiscal Studies											
31A	Long Range Fiscal Studies	Services Related to a Highway	2019-2024	21,725	-	2,173	19,553	10,863		8,690	5,822	2,868
31B	Long Range Fiscal Studies	Fire Services	2019-2024	8,690	-	869	7,821	4,345		3,476	2,329	1,147
31C	Long Range Fiscal Studies	Parks and Recreation	2019-2024	8,690	-	869	7,821	4,345		3,476	2,329	1,147
31D	Long Range Fiscal Studies	Library Services	2019-2024	4,345	-	435	3,911	2,173		1,738	1,164	574
31E	Long Range Fiscal Studies	Wastewater Services	2019-2024	21,725	-	2,173	19,553	10,863		8,690	5,822	2,868
31F	Long Range Fiscal Studies	Water Supply and Distribution Services	2019-2024	21,725	-	2,173	19,553	10,863		8,690	5,822	2,868
	Sub-Total			86,900	-	8,690	78,210	43,450	-	34,760	23,289	11,471
32	Development Charges Background Study											
32A	Development Charges Background Study	Services Related to a Highway	2019	38,483	-		38,483	-		38,483	25,783	12,699
32B	Development Charges Background Study	Fire Services	2019	5,587	-		5,587	-		5,587	3,743	1,844
32C	Development Charges Background Study	Parks and Recreation	2019	58,675	-		58,675	-		58,675	39,312	19,363
32D	Development Charges Background Study	Library Services	2019	6,093	-		6,093	-		6,093	4,082	2,011
32E	Development Charges Background Study	Wastewater Services	2019	4,601	-		4,601	-		4,601	3,083	1,518
32F	Development Charges Background Study	Water Supply and Distribution Services	2019	2,361	-		2,361	-		2,361	1,582	779
	Sub-Total			115,800	-	-	115,800	-	-	115,800	77,586	38,214



Infrastructure Costs Included in the Development Charges Calculation

Town of Aurora

Class of Service: General Government (Studies)

Prj.No	Increased Service Needs Attributable to Anticipated Development	Service to Which the Study Relates to	Timing (year)	Gross Capital Cost Estimate (2019\$)	Post Period Benefit	Other Deductions (To Recognize Benefit to Non-D.C. Services)	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 67%	Non-Residential Share 33%
	2019-2028											
33	Development Charges Background Study											
33A	Development Charges Background Study	Services Related to a Highway	2023	38,483	-		38,483	-		38,483	25,783	12,699
33B	Development Charges Background Study	Fire Services	2023	5,587	-		5,587	-		5,587	3,743	1,844
33C	Development Charges Background Study	Parks and Recreation	2023	58,675	-		58,675	-		58,675	39,312	19,363
33D	Development Charges Background Study	Library Services	2023	6,093	-		6,093	-		6,093	4,082	2,011
33E	Development Charges Background Study	Wastewater Services	2023	4,601	-		4,601	-		4,601	3,083	1,518
33F	Development Charges Background Study	Water Supply and Distribution Services	2023	2,361	-		2,361	-		2,361	1,582	779
	Sub-Total			115,800	-	-	115,800	-	-	115,800	77,586	38,214
34	OP Review and Update											
34A	OP Review and Update	Services Related to a Highway	2025	25,000	-	2,500	22,500	-		22,500	15,075	7,425
34B	OP Review and Update	Fire Services	2025	10,000	-	1,000	9,000	-		9,000	6,030	2,970
34C	OP Review and Update	Parks and Recreation	2025	10,000	-	1,000	9,000	-		9,000	6,030	2,970
34D	OP Review and Update	Library Services	2025	5,000	-	500	4,500	-		4,500	3,015	1,485
34E	OP Review and Update	Wastewater Services	2025	25,000	-	2,500	22,500	-		22,500	15,075	7,425
34F	OP Review and Update	Water Supply and Distribution Services	2025	25,000	-	2,500	22,500	-		22,500	15,075	7,425
	Sub-Total			100,000	-	10,000	90,000	-	-	90,000	60,300	29,700
	Reserve Fund Adjustment			677,126	-		677,126	-		677,126	453,675	223,452
	Total			5,235,526	214,000	74,280	4,947,246	928,550	-	4,018,696	2,692,527	1,326,170



4.5 D.C. By-law Revised Schedule of Charges

4.5.1 Updated D.C. Calculation (2019\$)

Figure 4-8 provides the calculations to the proposed D.C. to be imposed on anticipated development in the Town for Town-wide services over the 10-year forecast period based on the changes described earlier in this chapter.

For the residential calculations, the total cost is divided by the “gross” (new resident) population to determine the per capita amount. The eligible D.C. cost calculations set out in Figures 4-1 to 4-7 are based on the net anticipated population increase (the forecast new unit population less the anticipated decline in existing units). The cost per capita is then multiplied by the average occupancy of the new units to calculate the charge in Figure 4-8. With respect to non-residential development, the total costs in the uniform charge allocated to non-residential development (based on need for service) have been divided by the anticipated development over the planning period to calculate a cost per sq.ft. of gross floor area.



Figure 4-8
Town of Aurora
Town-wide D.C. Calculations (2019 – 2028)

SERVICE	2019\$ D.C.-Eligible Cost		2019\$ D.C.-Eligible Cost	
	Residential	Non-Residential	SDU	per ft ²
5. <u>Parking Services</u>	\$	\$	\$	\$
5.1 Municipal parking spaces	40,558	19,976	12	0.01
	40,558	19,976	12	0.01
6. <u>Parks and Recreation Services</u>				
6.1 Parkland development, amenities & trails	21,427,908	1,127,785	6,173	0.27
6.2 Parks vehicles and equipment	351,500	18,500	101	0.01
6.3 Recreation facilities	29,195,101	1,536,584	8,409	0.37
	50,974,509	2,682,869	14,683	0.65
7. <u>Library Services</u>				
7.1 Library facilities	3,678,532	193,607	1,060	0.05
7.2 Library materials	1,615,000	85,000	465	0.02
	5,293,532	278,607	1,525	0.07
8. <u>General Government</u>				
8.1 Services Related to a Highway	1,408,235	693,608	406	0.17
8.2 Fire Services	119,564	58,890	34	0.01
8.3 Parks and Recreation	243,392	119,880	70	0.03
8.4 Library Services	23,804	11,725	7	0.01
8.5 Wastewater Services	357,263	175,965	103	0.04
8.6 Water Supply and Distribution Services	540,269	266,103	156	0.06
	2,692,527	1,326,170	776	0.32
TOTAL	59,001,126	\$4,307,622	\$16,996	\$1.05
D.C.-Eligible Capital Cost	\$59,001,126	\$4,307,622		
10-Year Gross Population/GFA Growth (sq.ft.)	12,393	4,086,600		
Cost Per Capita/Non-Residential GFA (sq.ft.)	\$4,761	\$1.05		
By Residential Unit Type	P.P.U.			
Single and Semi-Detached Dwelling	3.570	\$16,996		
Apartments - Large	2.156	\$10,264		
Apartments - Small	1.478	\$7,037		
Multiples	2.654	\$12,635		
Special Care/Special Dwelling Units	1.100	\$5,237		

Figures 4-9 and 4-10 compare the amended and existing single detached dwelling unit and non-residential per square foot D.C.s (2019 \$ values)



Figure 4-9
Town of Aurora
Comparison of Existing and Amending Residential (Single Detached Unit) D.C. (2019\$)

Residential (Single Detached) Comparison (2019\$)		
Service	Current (By-law 6166-19)	Calculated (D.C. Update)
Town-Wide Services:		
Municipal parking spaces	4	12
Fire Services	891	891
Parks and Recreation Services	13,612	14,683
Library Services	1,313	1,525
General Government	774	776
Total Town-Wide Services	16,594	17,887
Town-Wide Engineered Services:		
Services Related to a Highway	6,139	6,139
Wastewater Services	734	734
Water Supply and Distribution Services	377	377
Total Town-Wide Engineered Services	7,250	7,250
Grand Total	23,844	25,137

Note: Parks and Recreation was previously classified separately as Indoor and Outdoor Recreation services



Figure 4-10
Town of Aurora
Comparison of Existing and Amending Non-Residential D.C. (2019\$)

Non-Residential (per sq.ft.) Comparison (2019\$)		
Service	Current (By-law 6166-19)	Calculated (D.C. Update)
Town-Wide Services:		
Municipal parking spaces	0.01	0.01
Fire Services	0.37	0.37
Parks and Recreation Services	0.60	0.65
Library Services	0.06	0.07
General Government	0.32	0.32
Total Town-Wide Services	1.36	1.42
Town-Wide Engineered Services:		
Services Related to a Highway	2.55	2.55
Wastewater Services	0.30	0.30
Water Supply and Distribution Services	0.16	0.16
Total Town-Wide Engineered Services	3.01	3.01
Grand Total	4.37	4.43

Note: Parks and Recreation was previously classified separately as Indoor and Outdoor Recreation services

4.5.2 Revised D.C. Rates (2019\$ and 2021\$)

Based on the calculations above, the Town-wide D.C. (in 2019\$) is calculated to increase from \$23,844 to \$25,137 per single detached unit and increase from \$4.37 to \$4.43 per square foot for non-residential development.

Figure 4-11 provides for the updated Town-wide D.C.s in 2019 values, as the study was originally completed in 2019. This figure would be included as the amending schedule to the D.C. by-law. Figure 4-12 provides for the indexed 2021 values as the Town's current D.C.s have been indexed by 5.81% on January 1, 2021.



Figure 4-11
Town of Aurora
Updated Development Charge Schedule (2019\$)

Service	RESIDENTIAL					NON-RESIDENTIAL	
	Single and Semi-Detached Dwelling	Multiples	Apartments - Large	Apartments - Small	Special Care/Special Dwelling Units	(per sq.ft. of Gross Floor Area)	(per sq.m. of Gross Floor Area)
Town-Wide Services:							
Municipal parking spaces	12	9	7	5	4	0.01	0.11
Fire Services	891	662	538	369	275	0.37	3.98
Parks and Recreation Services	14,683	10,916	8,867	6,079	4,524	0.65	7.00
Library Services	1,525	1,134	921	631	470	0.07	0.75
General Government	776	577	469	321	239	0.32	3.44
Total Town-Wide Services	17,887	13,298	10,802	7,405	5,512	1.42	15.28
Town-Wide Engineered Services							
Services Related to a Highway	6,139	4,564	3,707	2,542	1,892	2.55	27.45
Wastewater Services	734	546	443	304	226	0.30	3.23
Water Supply and Distribution Services	377	280	228	156	116	0.16	1.72
Total Town-Wide Engineered Services	7,250	5,390	4,378	3,002	2,234	3.01	32.40
GRAND TOTAL	25,137	18,688	15,180	10,407	7,746	4.43	47.68



Figure 4-12
Town of Aurora
Updated Development Charge Schedule (2021\$)

Service	RESIDENTIAL					NON-RESIDENTIAL	
	Single and Semi-Detached Dwelling	Multiples	Apartments - Large	Apartments - Small	Special Care/Special Dwelling Units	(per sq.ft. of Gross Floor Area)	(per sq.m. of Gross Floor Area)
Town-Wide Services:							
Municipal parking spaces	13	10	8	5	4	0.01	0.11
Fire Services	943	701	569	390	291	0.39	4.20
Parks and Recreation Services	15,536	11,550	9,383	6,432	4,787	0.69	7.43
Library Services	1,614	1,200	975	668	497	0.07	0.75
General Government	821	610	496	340	253	0.34	3.66
Total Town-Wide Services	18,927	14,071	11,431	7,835	5,832	1.50	16.15
Town-Wide Engineered Services							
Services Related to a Highway	6,495	4,829	3,925	2,690	2,002	2.70	29.06
Wastewater Services	777	578	469	322	239	0.32	3.44
Water Supply and Distribution Services	399	297	241	165	123	0.17	1.83
Total Town-Wide Engineered Services	7,671	5,704	4,635	3,177	2,364	3.19	34.33
GRAND TOTAL	26,598	19,775	16,066	11,012	8,196	4.69	50.48



Chapter 5

Updates to the D.C. By-law



5. Updates to the D.C. By-law

As summarized in Chapter 2, the D.C. by-law will require several updates to conform with the D.C.A., as amended.

With respect to the “Time of Payment of Development Charges” section of the by-law, the following refinements are to be included:

- Six equal annual D.C. payments commencing at occupancy for rental housing and institutional developments;
- Non-profit housing developments will be allowed to pay their D.C.s in 21 equal annual payments; and
- The D.C. amount for all developments occurring within 2 years of a site plan or zoning by-law amendment planning approval (for applications submitted after January 1, 2020) shall be determined based on the D.C. in effect on the day of the site plan or zoning by-law amendment application.

Installment payments and payments determined at the time of site plan or zoning by-law amendment application are subject to annual interest charges. The setting of the interest rate has been discussed with Town staff and will be calculated based on the Town’s D.C. Interest Policy. This will be presented to Council for consideration under a separate staff report.

For the purposes of administering the by-law, the following definitions are provided as per O. Reg. 454-19:

“Rental housing” means development of a building or structure with four or more dwelling units all of which are intended for use as rented residential premises.

“Institutional development” means development of a building or structure intended for use,

- a) as a long-term care home within the meaning of subsection 2 (1) of the *Long-Term Care Homes Act, 2007*;
- b) as a retirement home within the meaning of subsection 2 (1) of the *Retirement Homes Act, 2010*;
- c) by any of the following post-secondary institutions for the objects of the institution:



- i. a university in Ontario that receives direct, regular and ongoing operating funding from the Government of Ontario,
 - ii. a college or university federated or affiliated with a university described in subclause (i), or
 - iii. an Indigenous Institute prescribed for the purposes of section 6 of the *Indigenous Institutes Act, 2017*;
- d) as a memorial home, clubhouse or athletic grounds by an Ontario branch of the Royal Canadian Legion; or
- e) as a hospice to provide end of life care.

“Non-profit housing development” means development of a building or structure intended for use as residential premises by,

- a) a corporation without share capital to which the *Corporations Act* applies, that is in good standing under that Act and whose primary object is to provide housing;
- b) a corporation without share capital to which the *Canada Not-for-profit Corporations Act* applies, that is in good standing under that Act and whose primary object is to provide housing; or
- c) a non-profit housing co-operative that is in good standing under the *Co-operative Corporations Act*.

In addition to the changes provided above, the following definition for “Class” will be provided:

“Class” means a grouping of services combined to create a single service for the purposes of this by-law and as provided in section 7 of the Development Charges Act.

With respect to exemptions, the following will be included as per O. Reg. 454-19:

No development charge shall be payable where the development:

- is limited to the creation of an additional dwelling unit as prescribed, in prescribed classes of new residential buildings as set out in the Regulations to the Development Charges Act, 1997; and



- is limited to the creation of an additional dwelling unit ancillary to a new dwelling unit for prescribed classes of new residential buildings as set out in the Regulations to the Development Charges Act, 1997.

The following exemption will be included as per Bill 213:

- Land vested in or leased to a university that receives regular and ongoing operating funds from the government for the purposes of post-secondary education is exempt from development charges imposed under the Development Charges Act, 1997 if the development in respect of which development charges would otherwise be payable is intended to be occupied and used by the university.

As presented earlier, the D.C. for the Municipal Parking service will cease to be recoverable as of September 18, 2022. As such, changes to Schedule B have been made to identify the charges to be imposed pre and post September 18, 2022.



Chapter 6

Recommendations



6. Recommendations

It is recommended that Council:

“Approve the Development Charges Update Study dated April 22, 2021, as amended (if applicable)”;

“Approve the updated capital projects set out in Chapter 4 of the Development Charges Update Study dated April 22, 2021”;

“Determine that no further public meeting is required”; and

“Approve the Amending Development Charge By-law as set out in Appendix C”.



Appendix A

Existing Policies under By-law 6166-19



Appendix A: Existing Policies under By-law 6166-19

The following subsections set out the rules governing the calculation, payment and collection of D.C.s as provided in By-law 6166-19, in accordance with the D.C.A.

Approvals for Development

In accordance with the D.C.A., the D.C. shall be calculated, payable and collected where the development requires one or more of the following:

- a) the passing of a zoning by-law or of an amendment to a zoning by-law under section 34 of the *Planning Act*;
- b) the approval of a minor variance under section 45 of the *Planning Act*;
- c) a conveyance of land to which a by-law passed under section 50 (7) of the *Planning Act* applies;
- d) the approval of a plan of subdivision under section 51 of the *Planning Act*;
- e) a consent under section 53 of the *Planning Act*;
- f) the approval of a description under section 50 of the *Condominium Act*;
- g) the issuing of a building permit under the *Building Code Act* in relation to a building.

Determination of the Amount of the Charge

The calculation for residential development is generated on a per capita basis and is based upon different forms of housing types (single and semi-detached, apartments with two or more bedrooms, one bedroom apartments and bachelors, other multiples, and special care/special dwelling units). The total cost is divided by the “gross” (new resident) population to determine the per capita amount. The eligible D.C. cost calculations are based on the net anticipated population increase (the forecast new unit population less the anticipated decline in existing units). This approach acknowledges that service capacity will be “freed up” by the population decline in existing units. The cost per capita is then multiplied by the average occupancy of the new units to calculate the charges by type of residential dwelling unit.

The non-residential D.C. has been calculated based on a per square foot of gross floor area basis.



Application for Land Redevelopment

If a development involves the demolition of and replacement of a building or structure on the same site, or the conversion from one principal use to another, the developer shall be allowed a credit equivalent to:

- 1) the number of dwelling units demolished/converted multiplied by the applicable residential D.C. in place at the time the D.C. is payable; and/or
- 2) the gross floor area of the building demolished/converted multiplied by the current non-residential D.C. in place at the time the D.C. is payable.

The demolition credit is allowed only if the land was improved by occupied structures and if the demolition permit related to the site was issued less than four (4) years prior to the issuance of a building permit. The credit can, in no case, exceed the amount of D.C.s that would otherwise be payable.

Exemptions (full or partial)

The following are exempted from D.C.s:

a) Statutory exemptions

- industrial building additions of up to and including 50% of the existing gross floor area (defined in O.Reg. 82/98, s.1) of the building; for industrial building additions which exceed 50% of the existing gross floor area, only the portion of the addition in excess of 50% is subject to D.C.s (s.4(3)) of the D.C.A.;
- buildings or structures owned by and used for the purposes of any municipality, local board or Board of Education (s.3);
- residential development that results only in the enlargement of an existing dwelling unit, or that results only in the creation of up to two additional dwelling units (based on prescribed limits set out in s.2 of O.Reg. 82/98).

b) Non-statutory exemptions

- Land owned by and used for the purposes of a private school;
- Lands, buildings, or structures to be used for the purposes of a cemetery, churchyard, or burial ground;



- Places of worship;
- Non-residential uses permitted pursuant to Section 39 of the Planning Act or any successor thereto;
- The issuance of a building permit not resulting in the creation of additional gross floor area;
- Agricultural uses; and
- A public hospital.

Indexing

The D.C.s imposed shall be adjusted semi-annually in accordance with the Statistics Canada Non-Residential Building Construction Price Index for the most recent year over year period, every January 1st and July 1st, without amendment to the by-law.

By-law Duration

The by-law will expire on March 26, 2024, unless it is repealed by Council at an earlier date.

Timing of D.C. Payments

A D.C. that is applicable under Section 5 of the D.C.A. shall be calculated and payable:

- where a permit is required under the Building Code Act in relation to a building or structure, the owner shall pay the D.C. prior to the issuance of a permit or prior to the commencement of development or redevelopment as the case may be; and
- despite the above, Council, from time to time and at any time, may enter into agreements providing for all or any part of a D.C. to be paid before or after it would otherwise be payable.



Appendix B

Service Standards



Appendix B: Service Standards

SUMMARY OF SERVICE STANDARDS AS PER DEVELOPMENT CHARGES ACT, 1997, AS AMENDED							
Service Category	Sub-Component	10 Year Average Service Standard					Maximum Ceiling LOS
		Cost (per capita)	Quantity (per capita)		Quality (per capita)		
Services Related to a Highway	Roads	\$4,388.50	0.0010	km of roadways	4,388,500	per km	57,765,826
	Bridges, Culverts & Structures	\$884.60	0.0034	Number of Bridges, Culverts & Structures	260,176	per item	11,643,990
	Sidewalks	\$488.50	0.0037	km of roadways	132,027	per km	6,430,126
	Traffic Signals & Streetlights	\$349.40	0.0877	No. of Traffic Signals	3,984	per item	4,599,152
	Public Works Facilities	\$239.95	0.5199	ft² of building area	462	per sq.ft.	3,158,462
	Public Works Vehicles and Equipment	\$65.75	0.0007	No. of vehicles and equipment	93,929	per vehicle and equipment	865,467
Fire	Fire Facilities	\$310.31	0.4289	ft² of building area	724	per sq.ft.	4,084,611
	Fire Vehicles	\$53.15	0.0002	No. of vehicles	265,750	per vehicle	699,613
	Fire Small Equipment and Gear	\$24.70	24.6976	Value of equipment and gear	1	per Firefighter	325,126
Parking	Parking Spaces	\$19.74	0.0025	No. of spaces	7,896	per space	230,800
Parks & Recreation	Parks & Recreation - Parkland Development	\$762.04	0.0050	Hectares of Parkland	152,408	per hectare	8,909,772
	Parks & Recreation - Parks Depots	\$159.63	0.3458	ft² of building area	462	per sq.ft.	1,866,394
	Parks & Recreation - Parkland Amenities	\$999.85	0.0041	No. of parkland amenities	243,866	per amenity	11,690,246
	Parks & Recreation - Parkland Trails	\$51.04	1.2201	Square Metres of Paths and Trails	42	per sq.m.	596,760
	Parks & Recreation - Parks Vehicles and Equipment	\$42.04	0.0013	No. of vehicles and equipment	32,338	per vehicle	491,532
	Parks & Recreation - Indoor Recreation Facilities	\$2,543.81	6.7563	ft² of building area	377	per sq.ft.	29,742,227
Library	Library Facilities	\$525.01	0.7057	ft² of building area	744	per sq.ft.	6,138,417
	Library Collection Materials	\$132.24	5.0123	No. of library collection items	26	per collection item	1,546,150

Note: Utilized amounts include reserve fund adjustments and interest from debentures (interest is not subject to the service standard ceiling)



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parking Spaces
Unit Measure: No. of spaces

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/space)
Victoria Street Parking Lot	61	61	61	61	61	61	61	61	61	61	\$3,600
Temperance Street Parking Lot	61	61	61	61	61	61	61	61	61	61	\$3,600
Aurora United Church Parking Lot	18	18	18	18	18	18	18	18	18	18	\$3,600
Land (Acres)	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	\$963,000
Total	140	140	140	140	140	140	140	140	140	140	

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	0.0026	0.0026	0.0026	0.0027	0.0026	0.0025	0.0024	0.0024	0.0024	0.0023

10 Year Average	2011-2020
Quantity Standard	0.0025
Quality Standard	\$7,896
Service Standard	\$20

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$20
Eligible Amount	\$230,800



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Development
Unit Measure: Hectares of Parkland

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Hectare)
Active Tableland											
Stewart Burnett Park ,FB Fire Hall & ARC lands	13.27	13.27	13.27	13.27	13.27	13.27	13.27	13.27	13.27	13.27	\$395,600
Jakel Park (balleymore)	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32	\$312,700
David English Park	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	\$312,700
Canine Commons Leash Free Park	0.78	0.78	0.78	0.78	0.78	0.78	0.78	0.78	0.78	0.78	\$312,700
Thompson Park	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	\$312,700
Brentwood Parkette and board walk	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	\$312,700
Timbers Park	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	\$312,700
Hickson Park	2.16	2.16	2.16	2.16	2.16	2.16	2.16	2.16	2.16	2.16	\$312,700
Ada Johnson Park	2.11	2.11	2.11	2.11	2.11	2.11	2.11	2.11	2.11	2.11	\$395,600
*Optimists Park	3.75	3.75	3.75	3.75	3.75	3.75	3.75	3.75	3.75	3.75	\$312,700
*Town Park	1.69	1.69	1.69	1.69	1.69	1.69	1.69	1.69	1.69	1.69	\$395,600
*Lambert Wilson Park	15.92	15.92	15.92	15.92	15.92	15.92	15.92	15.92	15.92	15.92	\$395,600
Atkinson Park	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	\$312,700
Evans Park	1.09	1.09	1.09	1.09	1.09	1.09	1.09	1.09	1.09	1.09	\$312,700
Copland Park	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	\$312,700
Craddock Park	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	\$312,700
Civic Square	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	\$312,700
Conferedation Park	4.32	4.32	4.32	4.32	4.32	4.32	4.32	4.32	4.32	4.32	\$395,600
Elizabeth Hader Park	2.09	2.09	2.09	2.09	2.09	2.09	2.09	2.09	2.09	2.09	\$312,700
Fleury Park	5.78	5.78	5.78	5.78	5.78	5.78	5.78	5.78	5.78	5.78	\$395,600
Graham Parkette	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	\$312,700
Hamilton Park	2.39	2.39	2.39	2.39	2.39	2.39	2.39	2.39	2.39	2.39	\$312,700
Harmon Park	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	\$312,700
Highland Field	1.86	1.86	1.86	1.86	1.86	1.86	1.86	1.86	1.86	1.86	\$395,600
James Lloyd Park	2.16	2.16	2.16	2.16	2.16	2.16	2.16	2.16	2.16	2.16	\$312,700
Khamissa Park	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32	\$312,700
Toms Park	0.21	0.21	0.21	0.21	0.21	0.21	0.21	0.21	0.21	0.21	\$312,700
Machell Park	5.97	5.97	5.97	5.97	5.97	5.97	5.97	5.97	5.97	5.97	\$395,600
Lundy Park	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	\$312,700
McMahon Park	1.78	1.78	1.78	1.78	1.78	1.78	1.78	1.78	1.78	1.78	\$395,600



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Development
Unit Measure: Hectares of Parkland

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Hectare)
Chapman Park	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	\$312,700
Norm Weller Park	2.37	2.37	2.37	2.37	2.37	2.37	2.37	2.37	2.37	2.37	\$395,600
Seston Park	0.65	0.65	0.65	0.65	0.65	0.65	0.65	0.65	0.65	0.65	\$312,700
Summit Park	3.24	3.24	3.24	3.24	3.24	3.24	3.24	3.24	3.24	3.24	\$395,600
Taylor Park	0.55	0.55	0.55	0.55	0.55	0.55	0.55	0.55	0.55	0.55	\$312,700
Tamarac Green	1.86	1.86	1.86	1.86	1.86	1.86	1.86	1.86	1.86	1.86	\$312,700
Valhalla Park	0.78	0.78	0.78	0.78	0.78	0.78	0.78	0.78	0.78	0.78	\$312,700
William Kennedy Park	0.30	0.30	0.30	0.30	0.30	0.30	0.30	0.30	0.30	0.30	\$312,700
Wilson Park	0.46	0.46	0.46	0.46	0.46	0.46	0.46	0.46	0.46	0.46	\$312,700
Thomas Coates Park	-	-	-	-	-	-	2.40	2.40	2.40	2.40	\$392,100
Jean Marie Iacovetta Parkette	-	-	-	-	-	0.21	0.21	0.21	0.21	0.21	\$309,900
Trent Park	-	-	-	-	-	1.83	1.83	1.83	1.83	1.83	\$392,100
Mattamy Phase 3 Parkette	-	-	-	-	-	-	-	0.20	0.20	0.20	\$309,900
Forest Grove Parkette	-	-	-	-	-	-	0.69	0.69	0.69	0.69	\$309,900
Johnathan Bales Parkette	-	-	-	-	-	-	-	0.10	0.10	0.10	\$309,900
Brookfield Neighbourhood park	-	-	-	-	-	-	-	1.60	1.60	1.60	\$392,100
Brookfield Parkette	-	-	-	-	-	-	0.76	0.76	0.76	0.76	\$309,900
Highland Gate Park (2019)	-	-	-	-	-	-	-	9.00	9.00	9.00	\$392,100
Edward Coltham Park	-	-	-	-	-	-	-	2.00	2.00	2.00	\$392,100
John Ashton Parkette	-	-	-	-	1.70	1.70	1.70	1.70	1.70	1.70	\$309,900
Subtotal: Active Tableland	87.71	87.71	87.71	87.71	89.41	91.45	95.30	108.20	108.20	108.20	
Improved Open Space											
Future Wildlife Park	7.97	7.97	7.97	7.97	7.97	7.97	7.97	7.97	7.97	7.97	\$139,100
Allenvale Park / Trail	0.68	0.68	0.68	0.68	0.68	0.68	0.68	0.68	0.68	0.68	\$139,100
Aurora War Memorial	2.21	2.21	2.21	2.21	2.21	2.21	2.21	2.21	2.21	2.21	\$139,100
Babcock Openspace Blvds	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	\$139,100
Bajohn Trail Connection	0.36	0.36	0.36	0.36	0.36	0.36	0.36	0.36	0.36	0.36	\$139,100
Bayview Wellington Parkettes	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	\$139,100
Bowler St Parkette / walkways	0.12	0.12	0.12	0.12	0.12	0.12	0.12	0.12	0.12	0.12	\$139,100
Billings Well Parkette	0.10	0.10	0.10	0.10	0.10	0.10	0.10	0.10	0.10	0.10	\$139,100



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Development
Unit Measure: Hectares of Parkland

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Hectare)
Case Wood Lot	2.02	2.02	2.02	2.02	2.02	2.02	2.02	2.02	2.02	2.02	\$139,100
Cousins Park	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	\$139,100
Deerglen Terrace Parkette	0.34	0.34	0.34	0.34	0.34	0.34	0.34	0.34	0.34	0.34	\$139,100
Herb McKenzie, Sandusky Openspace	1.33	1.33	1.33	1.33	1.33	1.33	1.33	1.33	1.33	1.33	\$139,100
Golf Glen Park	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33	\$139,100
Jack Wood Park	1.42	1.42	1.42	1.42	1.42	1.42	1.42	1.42	1.42	1.42	\$139,100
Lakeview Trail system	2.43	2.43	2.43	2.43	2.43	2.43	2.43	2.43	2.43	2.43	\$139,100
Lions Park	0.60	0.60	0.60	0.60	0.60	0.60	0.60	0.60	0.60	0.60	\$139,100
Lions Parkette (Yonge St)	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04	\$139,100
McClellan Hgts Parkette	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.20	\$139,100
Monkman Court Openspace	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	\$139,100
Holland Valley Park / Trail & Arboretum north Nokiidaa	4.05	4.05	4.05	4.05	4.05	4.05	4.05	4.05	4.05	4.05	\$139,100
Old Police Station	0.60	0.60	0.60	0.60	0.60	0.60	0.60	0.60	0.60	0.60	\$139,100
Rotary Park	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	0.53	\$139,100
Vandorf Wood Lot Trail	4.05	4.05	4.05	4.05	4.05	4.05	4.05	4.05	4.05	4.05	\$139,100
Willow Farm Valley Trail islands	4.84	4.84	4.84	4.84	4.84	4.84	4.84	4.84	4.84	4.84	\$139,100
Subtotal: Improved Open Space	38.79	38.79	38.79	38.79	38.79	38.79	38.79	38.79	38.79	38.79	
Passive Open Space											
Elderberry openspace block 41	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	\$14,200
Elderberry openspace block 42	1.09	1.09	1.09	1.09	1.09	1.09	1.09	1.09	1.09	1.09	\$14,200
Brookvalley openspace blks. 78,79,80,81	1.76	1.76	1.76	1.76	1.76	1.76	1.76	1.76	1.76	1.76	\$14,200
Prato openspace Blk.	0.49	0.49	0.49	0.49	0.49	0.49	0.49	0.49	0.49	0.49	\$14,200
Preserve Openspace #1	0.49	0.49	0.49	0.49	0.49	0.49	0.49	0.49	0.49	0.49	\$14,200
Preserve Openspace #2	2.41	2.41	2.41	2.41	2.41	2.41	2.41	2.41	2.41	2.41	\$14,200
State Farm openspsce blk 5&7	7.19	7.19	7.19	7.19	7.19	7.19	7.19	7.19	7.19	7.19	\$14,200
State Farm openspsce blk 11&15	1.44	1.44	1.44	1.44	1.44	1.44	1.44	1.44	1.44	1.44	\$14,200
Brentwood openspace blk.29	6.34	6.34	6.34	6.34	6.34	6.34	6.34	6.34	6.34	6.34	\$14,200



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Development
Unit Measure: Hectares of Parkland

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Hectare)
Bayview Wellington N. blk. 26	1.68	1.68	1.68	1.68	1.68	1.68	1.68	1.68	1.68	1.68	\$14,200
Alliance Wood Lot (wetland)	5.67	5.67	5.67	5.67	5.67	5.67	5.67	5.67	5.67	5.67	\$14,200
Atkinson Park (wetland)	3.33	3.33	3.33	3.33	3.33	3.33	3.33	3.33	3.33	3.33	\$14,200
Evans Park (openspace adjacent park)	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	\$14,200
Bayview Vandorf Open Space	12.93	12.93	12.93	12.93	12.93	12.93	12.93	12.93	12.93	12.93	\$14,200
Case Wood Lot	19.87	19.87	19.87	19.87	19.87	19.87	19.87	19.87	19.87	19.87	\$14,200
Catail Openspace (wetland)	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	\$14,200
Confederation Park (water course)	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	\$14,200
Copland Park (wetland)	2.53	2.53	2.53	2.53	2.53	2.53	2.53	2.53	2.53	2.53	\$14,200
Craddock Park Openspace	3.13	3.13	3.13	3.13	3.13	3.13	3.13	3.13	3.13	3.13	\$14,200
Cranberry Lane/Marsh H. Openspace	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31	\$14,200
Rachewood Detention Pond	1.62	1.62	1.62	1.62	1.62	1.62	1.62	1.62	1.62	1.62	\$14,200
Elizabeth Hader (openspace wetland) Timpson Dr	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	\$14,200
Factory Theatre Openspace	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	\$14,200
Hadley Grange Openspace (wetland)	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	\$14,200
Hamilton Park Openspace	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	\$14,200
Harriman Road Openspace	1.38	1.38	1.38	1.38	1.38	1.38	1.38	1.38	1.38	1.38	\$14,200
Henderson Drive Openspace	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	\$14,200
Kennedy St W. Openspace (swmpond)	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40	\$14,200
Kenned St. at Murray Drive Openspace	12.26	12.26	12.26	12.26	12.26	12.26	12.26	12.26	12.26	12.26	\$14,200
Lakeview Openspace	12.26	12.26	12.26	12.26	12.26	12.26	12.26	12.26	12.26	12.26	\$14,200
Lions Park Openspace	0.73	0.73	0.73	0.73	0.73	0.73	0.73	0.73	0.73	0.73	\$14,200
Lundy Park Openspace (wetland)	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	\$14,200
North Holland Valley Openspace	1.42	1.42	1.42	1.42	1.42	1.42	1.42	1.42	1.42	1.42	\$14,200
Pinnacle Trail Openspace	1.96	1.96	1.96	1.96	1.96	1.96	1.96	1.96	1.96	1.96	\$14,200



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Development
Unit Measure: Hectares of Parkland

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Hectare)
Corridor Openspace trail connection	4.42	4.42	4.42	4.42	4.42	4.42	4.42	4.42	4.42	4.42	\$14,200
Tamarac Green Openspace	1.46	1.46	1.46	1.46	1.46	1.46	1.46	1.46	1.46	1.46	\$14,200
Vandorf Wood Lot Holland Valley Trail South	14.46	14.46	14.46	14.46	14.46	14.46	14.46	14.46	14.46	14.46	\$14,200
Subtotal: Passive Open Space	145.80	145.80	145.80	145.80	145.80	145.80	145.80	145.80	145.80	145.80	
Total	272.29	272.29	272.29	272.29	273.99	276.03	279.88	292.78	292.78	292.78	

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	0.005	0.005	0.005	0.005	0.005	0.005	0.005	0.005	0.005	0.005

10 Year Average	2011-2020
Quantity Standard	0.0050
Quality Standard	\$152,408
Service Standard	\$762

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$762
Eligible Amount	\$8,909,772



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Soccer Pitches											
Fleury Park	1	1	1	1	1	1	1	1	1	1	\$688,000
Highland Field	1	1	1	1	1	1	1	1	1	1	\$688,000
Lambert Wilson Park(Legion) Dome	1	1	1	1	1	1	1	1	1	1	\$688,000
Optimists Park	1	1	1	1	1	1	1	1	1	1	\$688,000
Sheppards Bush Artificial Turf	1	1	1	1	1	1	1	-	-	-	\$802,700
Stewart Burnett Artificial Turf	-	-	-	-	-	-	-	1	1	1	\$1,800,000
Soccer Pitches - Unlit									-	-	
Summit Park	1	1	1	1	1	1	1	1	1	1	\$458,700
Craddock Park	1	1	1	1	1	1	1	1	1	1	\$458,700
Machell Park	1	1	1	1	1	1	1	1	1	1	\$458,700
Lambert Willson Park	1	1	1	1	1	1	1	1	1	1	\$458,700
Norm Weller Park	1	1	1	1	1	1	1	1	1	1	\$458,700
Sheppards Bush	1	1	1	1	1	1	1	1	1	1	\$458,700
Magna	2	2	2	2	2	2	2	2	2	2	\$458,700
St. Andrew's College	5	5	5	5	5	5	5	5	5	5	\$458,700
Williams High School	2	2	2	2	2	2	2	2	2	2	\$458,700
Aurora High School	2	2	2	2	2	2	2	2	2	2	\$458,700
Aurora Grove School	1	1	1	1	1	1	1	1	1	1	\$458,700
Light of Christ School	1	1	1	1	1	1	1	1	1	1	\$458,700
Cardinal Carter High School	1	1	1	1	1	1	1	1	1	1	\$458,700
Confederation	1	1	1	1	1	1	1	1	1	1	\$454,700
Soccer - Micro & Mini									-	-	
Sheppards Bush (Micro Fields)	2	2	2	2	2	2	2	2	2	2	\$55,000
Town Park (micro)	1	1	1	1	1	1	1	1	1	1	\$55,000
Harmon Park (mini)	1	1	1	1	1	1	1	1	1	1	\$55,000
Confederation Park (mini)	1	1	1	1	1	1	1	1	1	1	\$55,000
St Josephs catholic school (mini)	1	1	1	1	1	1	1	1	1	1	\$68,800
Hamilton Park (mini)	1	1	1	1	1	1	1	1	1	1	\$54,800
Holy Spirit School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,800
Civic Square (mini)	1	1	1	1	1	1	1	1	1	1	\$54,800



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Williams High School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
Sunoco Field (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
Ecole St John School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
Devins Dr. School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
George St. School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
Our Lady of Grace School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
Sheppards Bush (Mini)	10	10	10	10	10	10	10	10	10	10	\$54,900
Senior Public School (mini)	1	1	1	1	1	1	1	1	1	1	\$54,900
Magna (Mini)	4	4	4	4	4	4	4	4	4	4	\$54,900
Magna (Micro)	13	13	13	13	13	13	13	13	13	13	\$54,800
Machell Park (mini)	1	1	1	1	1	1	1	1	1	1	\$54,800
McMahon Park (micro)	2	2	2	2	2	2	2	2	2	2	\$54,800
Ada Johnson (mini)	1	1	1	1	1	1	1	1	1	1	\$54,800
Hickson (mini)	1	1	1	1	1	1	1	1	1	1	\$54,300
Queen's Diamone Jubilee Park (mini)	-	-	-	-	-	-	1	1	1	1	\$54,300
									-	-	
Artificial Multi-Use Fields Lit									-	-	
Sheppard's Bush	-	-	-	-	-	-	-	1	1	1	\$2,040,000
St. Max	-	1	1	1	1	1	1	1	1	1	\$2,040,000
									-	-	
Lawn Bowling Lanes									-	-	
McMahon Park	12	12	12	12	12	12	12	12	12	12	\$172,000
									-	-	
Ball Diamond - Lit									-	-	
Leisure Complex -hard ball - Diamond #4	1	1	1	1	1	1	1	1	1	1	\$1,376,000
Town Park	1	1	1	1	1	1	1	1	1	1	\$917,400
Norm Weller Park	1	1	1	1	1	1	1	1	1	1	\$917,400
Fleury Park	1	1	1	1	1	1	1	1	1	1	\$917,400
Leisure Complex	3	3	3	3	3	3	3	3	3	3	\$917,400
James Lloyd Park	1	1	1	1	1	1	1	1	1	1	\$917,400
Optimists Park	1	1	1	1	1	1	1	1	1	1	\$917,400
Stewart Burnett Park - Baseball	1	1	1	1	1	1	1	1	1	1	\$1,376,000



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Ball Diamond - Unlit									-	-	
Copland Park	1	1	1	1	1	1	1	1	1	1	\$516,000
Confederation Park	2	2	2	2	2	2	2	2	2	2	\$516,000
Valhalla Park	1	1	1	1	1	1	1	1	1	1	\$516,000
Machell Park	2	2	2	2	2	2	2	2	2	2	\$516,000
Elizabeth Hader Park	1	1	1	1	1	1	1	1	1	1	\$516,000
Summit Park	1	1	1	1	1	1	1	1	1	1	\$516,000
High View School	1	1	1	1	1	1	1	1	1	1	\$516,000
Aurora Grove School	1	1	1	1	1	1	1	1	1	1	\$516,000
									-	-	
Tennis Courts - lit									-	-	
McMahon Park	3	3	3	3	3	3	3	3	3	3	\$201,800
Fleury Park	4	4	4	4	4	4	4	4	4	4	\$201,800
Norm Weller Park	2	2	2	2	2	2	2	2	2	2	\$201,800
Summit Park	2	2	2	2	2	2	2	2	2	2	\$201,800
David English Park	-	2	2	2	2	2	2	2	2	2	\$201,800
Thomas Coates	-	-	-	-	-	-	2	2	2	2	\$230,000
									-	-	
Pickle Ball Courts									-	-	
Edward Coltham	-	-	-	-	-	-	-	2	2	2	\$40,000
Thomas Coates	-	-	-	-	-	-	2	2	2	2	\$40,000
Trent Park	-	-	-	-	-	2	2	2	2	2	\$40,000
									-	-	
Basketball - Full Courts									-	-	
James Lloyd Park	2	2	2	2	2	2	2	2	2	2	\$37,800
Confederation Park	2	2	2	2	2	2	2	2	2	2	\$37,800
Summit Park	1	1	1	1	1	1	1	1	1	1	\$37,800
Tamarac Green	1	1	1	1	1	1	1	1	1	1	\$37,800
Hamilton Park	1	1	1	1	1	1	1	1	1	1	\$37,800
Chapman Park	1	1	1	1	1	1	1	1	1	1	\$37,800
Hickson Park	1	1	1	1	1	1	1	1	1	1	\$37,800
Edward Coltham	-	-	-	-	-	-	-	1	1	1	\$40,000
Thomas Coates	-	-	-	-	-	-	1	1	1	1	\$40,000



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Basketball - Half Courts									-	-	
William Kennedy Park	1	1	1	1	1	1	1	1	1	1	\$18,300
Seston Park	1	1	1	1	1	1	1	1	1	1	\$18,300
Thompson Park	1	1	1	1	1	1	1	1	1	1	\$18,300
Ada Johnson Park		1	1	1	1	1	1	1	1	1	\$18,300
Atkinson	1	1	1	1	1	1	1	1	1	1	\$20,000
Thomas Coates	-	-	-	-	-	-	1	1	1	1	\$20,000
									-	-	
Outdoor Ice Rinks									-	-	
Machell Park	1	1	1	1	1	1	1	1	1	1	\$45,900
Fleury Park	1	1	1	1	1	1	1	1	1	1	\$45,900
Confederation Park	1	1	1	1	1	1	1	1	1	1	\$45,900
James Lloyd Park	1	1	1	1	1	1	1	1	1	1	\$45,900
Town Park	1	1	1	1	1	1	1	1	1	1	\$45,900
Ada Johnson Park	1	1	1	1	1	1	1	1	1	1	\$45,900
									-	-	
Playgrounds									-	-	
Town Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Fleury Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Machell Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Leisure Complex	1	1	1	1	1	1	1	1	1	1	\$307,300
Harmon Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Copland Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Confederation Park	1	1	1	1	1	1	1	1	1	1	\$307,300
William Kennedy Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Elizabeth Hader Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Atkinson Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Allenvale Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Seston Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Tamarac Green	1	1	1	1	1	1	1	1	1	1	\$307,300
Summit Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Graham Parkette	1	1	1	1	1	1	1	1	1	1	\$307,300
Tom's Park	1	1	1	1	1	1	1	1	1	1	\$307,300



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Wilson Park	1	1	1	1	1	1	1	1	1	1	\$307,300
McMahon Park	1	1	1	1	1	1	1	1	1	1	\$307,300
James Lloyd Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Khamissa Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Hamilton Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Lundy Park	1	1	1	1	1	1	1	1	1	1	\$307,300
McMaster Drive Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Taylor Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Evans Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Highview PS (Playground for Physically Disabled)	1	1	1	1	1	1	1	1	1	1	\$307,300
Hickson Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Optimist Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Thompson Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Timbers Park	1	1	1	1	1	1	1	1	1	1	\$307,300
Ada Johnson Park	1	1	1	1	1	1	1	1	1	1	\$307,300
David English Park		1	1	1	1	1	1	1	1	1	\$307,300
Benjamin Pearson Parkette	1	1	1	1	1	1	1	1	1	1	\$304,600
Brookfield Parkette	-	-	-	-	-	-	1	1	1	1	\$304,600
Chapman	1	1	1	-	-	-	-	-	-	-	\$304,600
Edward Coltham	-	-	-	-	-	-	-	1	1	1	\$304,600
Jackwood	1	1	1	1	1	1	1	1	1	1	\$304,600
Martin Jaekel	1	1	1	-	-	-	-	-	-	-	\$304,600
Norm Weller	1	1	1	-	-	-	-	-	-	-	\$304,600
Queen's Diamond Jubilee Park	-	-	-	-	-	-	1	1	1	1	\$304,600
Stewart Burnett	-	-	-	-	-	-	-	1	1	1	\$304,600
Thomas Coates	-	-	-	-	-	-	1	1	1	1	\$304,600
Trent Park	-	-	-	-	-	1	1	1	1	1	\$304,600
									-	-	
Splash Pads									-	-	
Ada Johnson Park	-	-	-	-	-	1	1	1	1	1	\$120,000
Edward Coltham	-	-	-	-	-	-	-	1	1	1	\$120,000
Stewart Burnett	-	-	-	-	-	-	-	1	1	1	\$120,000



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Town Park	-	-	-	1	1	1	1	1	1	1	\$120,000
Trent Park	-	-	-	-	-	1	1	1	1	1	\$120,000
									-	-	
Fitness Circuit									-	-	
Ada Johnson	-	-	-	-	-	1	1	1	1	1	\$35,000
Sheppard's Bush	-	-	-	1	1	1	1	1	1	1	\$35,000
									-	-	
Other									-	-	
Children's Outdoor Spray Pad	1	1	1	1	1	1	1	1	1	1	\$200,700
Portable Skateboard Park	1	1	1	1	1	1	1	1	1	1	\$114,700
Beach Volleyball Court	1	1	1	1	1	1	1	1	1	1	\$22,900
BMX Course (Hickson Park)	1	1	1	1	1	1	1	1	1	1	\$11,500
Skateboard Park (Hickson Park)	1	1	1	1	1	1	1	1	1	1	\$91,700
Minor Skateboard Park (Thompson Park)	1	1	1	1	1	1	1	1	1	1	\$9,200
Aurora Family Leisure Complex Skateboard Park	-	-	-	-	-	1	1	1	1	1	\$600,000
Sensory Garden- Queen's Diamond Jubilee Park	-	-	-	-	-	-	1	1	1	1	\$30,000
									-	-	
Bridges (# of bridges)									-	-	
Brentwood Park	1	1	1	1	1	1	1	1	1	1	\$34,400
Confederation Park	1	1	1	1	1	1	1	1	1	1	\$34,400
Edward St. Valley System(Cousins/Rotary/Jack Wood)	2	2	2	2	2	2	2	2	2	2	\$34,400
Fleury Park	1	1	1	1	1	1	1	1	1	1	\$34,400
Holland River Valley Park/Nokiidaa Trail	5	5	5	5	5	5	5	5	5	5	\$34,400
Lions Park	1	1	1	1	1	1	1	1	1	1	\$34,400
Delayne Drive	1	1	1	1	1	1	1	1	1	1	\$34,400
Machell Park	2	2	2	2	2	2	2	2	2	2	\$34,400
Bridge to Newmarket/ Nokiidaa	-	1	1	1	1	1	1	1	1	1	\$137,600



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Aurora War Memorial Structure	1	1	1	1	1	1	1	1	1	1	\$573,300
									-	-	
Other Buildings									-	-	
Greenhouse	1	1	1	1	1	1	1	1	1	1	\$158,600
Fleury Park Washrooms	1	1	1	1	1	1	1	1	1	1	\$400,000
Town Park Washroom/Concession	1	1	1	1	1	1	1	1	1	1	\$79,300
Sheppards Bush Washroom	1	1	1	1	1	1	1	1	1	1	\$61,600
Lambert Willson Parks Washrooms/Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$229,000
Town Park Bandshell	1	1	1	1	1	1	1	1	1	1	\$211,400
Fleury Park Gazebo	1	1	1	1	1	1	1	1	1	1	\$70,500
James Lloyd Park Gazebo	1	1	1	1	1	1	1	1	1	1	\$44,000
Lambert Willson Gazebo	1	1	1	1	1	1	1	1	1	1	\$79,300
Confederation Park Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$41,300
Sheppards Bush Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$83,000
Ada Johnson Park Washroom	1	1	1	1	1	1	1	1	1	1	\$86,000
Optimist Park Picnic Shelter	-	1	1	1	1	1	1	1	1	1	\$55,900
Ada Johnson Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$55,900
David English Picnic Shelter	-	1	1	1	1	1	1	1	1	1	\$55,900
McMahon Park Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$44,000
Hickson Park Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$55,900
Benjamin Pearson Parkette Shade Structure	1	1	1	1	1	1	1	1	1	1	\$60,000
Edward Coltham Washroom	-	-	-	-	-	-	-	1	1	1	\$300,000
Edward Coltham Shade Structure	-	-	-	-	-	-	-	1	1	1	\$60,000
Jean Marie Iacovetta Picnic Shelter	-	-	-	-	-	1	1	1	1	1	\$60,000
Martin Jaekel Picnic Shelter	1	1	1	1	1	1	1	1	1	1	\$60,000
Mattamy Phase 3 Parkette Shade Shelter	-	-	-	-	-	-	-	1	1	1	\$60,000
Stewart Burnett Shade Shelter	-	-	-	-	-	-	-	1	1	1	\$60,000
Stewart Burnett Washroom	-	-	-	-	-	-	-	1	1	1	\$300,000
Thomas Coates Picnic Shelter	-	-	-	-	-	-	1	1	1	1	\$60,000



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Amenities
Unit Measure: No. of parkland amenities

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Trent Park Picnic Shelter	-	-	-	-	-	1	1	1	1	1	\$60,000
Trent Park Washroom Building	-	-	-	-	-	-	1	1	1	1	\$300,000
JOC Greenhouse						1	1	1	1	1	\$422,800
Total	210	218	218	217	217	227	240	253	253	253	

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	0.0039	0.0041	0.0041	0.0041	0.0041	0.0041	0.0041	0.0043	0.0043	0.0042

10 Year Average	2011-2020
Quantity Standard	0.0041
Quality Standard	\$243,866
Service Standard	\$1,000

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$1,000
Eligible Amount	\$11,690,246



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks Depots
Unit Measure: ft² of building area

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Bld'g Value (\$/sq.ft.)	Value/ft² with land, site works, etc.
Parks & Recreation Depot (9 Scanlon)	7,780	7,780	7,780	7,780	7,780	7,780	-	-	-	-	\$344	\$449
Yard Storage (Machell Avenue)	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	\$63	\$139
Joint Operations Centre - 66,000 sq.ft. (Parks Share 41%)	-	-	-	-	-	27,060	27,060	27,060	27,060	27,060	\$349	\$504
Total	9,280	9,280	9,280	9,280	9,280	36,340	28,560	28,560	28,560	28,560		

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	0.1744	0.1753	0.1755	0.1772	0.1752	0.6554	0.4862	0.4816	0.4806	0.4769

10 Year Average	2011-2020
Quantity Standard	0.3458
Quality Standard	\$462
Service Standard	\$160

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$160
Eligible Amount	\$1,866,394



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parkland Trails
Unit Measure: Square Metres of Paths and Trails

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/ Square Metre)
Pathways & Trails (Square metres)											
Asphalt Paved Trail	20,159	20,159	20,159	20,159	20,159	20,159	20,159	20,159	20,159	20,159	\$60
Boardwalk Trail	75	75	75	75	75	75	75	75	75	75	\$380
Limestone Trail	42,983	42,983	42,983	42,983	42,983	42,983	42,983	42,983	42,983	45,983	\$30
Paved Trail	1,215	1,215	1,215	1,215	1,215	1,215	1,215	1,215	1,215	1,215	\$70
Woodchip Trail	2,708	2,708	2,708	2,708	2,708	2,708	2,708	2,708	2,708	2,708	\$30
Elevated Boardwalk	360	360	360	360	360	360	360	360	360	360	\$370
Total	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	67,500	70,500	

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	1.27	1.28	1.28	1.29	1.27	1.22	1.15	1.14	1.14	1.18

10 Year Average	2011-2020
Quantity Standard	1.2201
Quality Standard	\$42
Service Standard	\$51

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$51
Eligible Amount	\$596,760



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Vehicle)
Trench box trailer	1	1	1	1	1	1	1	1	1	1	\$15,900
1/2 ton Pick-up	1	1	1	1	1	1	1	1	1	1	\$31,800
3/4 ton Pick-up (200-19)	-	-	-	-	-	-	-	-	1	1	\$47,700
3/4 ton Pick-up	-	1	1	1	1	1	1	1	1	1	\$25,100
3/4 ton Pick-up (202-19)	-	-	-	-	-	-	-	-	1	1	\$47,700
1 ton Pick-up Crewcab	1	1	1	1	1	1	1	1	1	1	\$34,500
3/4 ton Pick-up	1	1	1	1	1	1	1	1	1	1	\$26,500
3/4 ton Pick-up	-	1	1	1	1	1	1	1	1	1	\$25,100
3/4 ton Pickup	-	-	1	1	1	1	1	1	1	1	\$25,100
1 ton 4x4 Pick-up	1	1	1	1	1	1	1	1	1	1	\$34,300
3/4 ton Pick-up 4x4	-	-	-	-	1	1	1	1	1	1	\$40,400
3/4 ton Pick-up 4x4	-	-	-	-	1	1	1	1	1	1	\$40,400
1/2 ton Pick-up	1	1	1	1	1	1	1	1	1	1	\$31,800
Grass Crew Trailer	1	1	1	1	1	1	1	1	1	1	\$12,700
Utility Flatbed Trailer	1	1	1	1	1	1	1	1	1	1	\$8,500
Equipment Trailer (234-19)	-	-	-	-	-	-	-	-	1	1	\$10,000
Portable Welder	1	1	1	1	1	1	1	1	1	1	\$20,100
3 ton Arborist Truck	-	-	-	-	1	1	1	1	1	1	\$64,900
1 ton Pick-up Crewcab	1	1	1	1	1	1	1	1	1	-	\$42,400
2 ton Dump Truck	-	-	-	-	1	1	1	1	1	1	\$62,000
1 ton Dump Truck	1	1	1	1	1	1	1	1	1	-	\$41,800
2 ton Dump Truck	-	-	1	1	1	1	1	1	1	1	\$60,100
1 ton Dump Truck	1	1	1	1	1	1	1	1	1	1	\$58,300
3 ton Garbage Compactor	-	-	-	1	1	1	1	1	1	1	\$139,300
Off-Road Utility Vehicle	1	1	1	1	1	1	1	1	1	1	\$21,400
Utility Trailer	1	1	1	1	1	1	1	1	1	1	\$7,400
Utility Trailer	-	-	-	1	1	1	1	1	1	1	\$7,400
Top Dresser Attachment	1	1	1	1	1	1	1	1	-	-	\$26,500
Greens Mower	1	1	1	1	1	1	1	1	1	1	\$8,500
Backhoe	1	1	1	1	1	1	1	1	1	1	\$164,300
Tractor Massy(Ball)(240-20)	-	-	-	-	-	-	-	-	-	1	\$45,300
Tractor Massy(Ball)(241-20)	-	-	-	-	-	-	-	-	-	1	\$51,400
Tractor	1	1	1	1	1	1	1	1	1	1	\$58,300
Tractor	1	1	1	1	1	1	1	1	1	1	\$71,000



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Vehicle)
Tractor	-	-	-	1	1	1	1	1	1	1	\$102,200
Line Painter	1	1	1	1	1	1	1	1	1	1	\$26,500
Grass Crew Trailer	1	1	1	1	1	1	1	1	1	1	\$9,300
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,300
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,300
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,700
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,700
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,700
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,700
Zero Turn Mower	-	-	-	-	-	-	1	1	1	1	\$15,700
Skid Steer Loader	1	1	1	1	1	1	1	1	-	-	\$53,000
Skid Steer (253-19)	-	-	-	-	-	-	-	-	1	1	\$69,700
Mini Excavator (253-19)	-	-	-	-	-	-	-	-	1	1	\$46,700
Articulating Compact Wheel Loader	-	-	1	1	1	1	1	1	1	1	\$109,000
Wide Area Mower	-	-	-	1	1	1	1	1	1	1	\$91,800
Wide Area Mower (255-19)	-	-	-	-	-	-	-	-	1	1	\$143,000
Wide Area Mower (256-19)	-	-	-	-	-	-	-	-	1	1	\$143,000
Zero Turn Mower	1	1	1	1	1	1	1	1	1	1	\$15,900
Grass Crew Trailer	1	1	1	1	1	1	1	1	1	1	\$10,600
Wood Chipper	-	-	-	-	-	-	1	1	1	1	\$63,200
Roller Attachment	-	-	-	-	-	1	1	1	1	1	\$2,600
Rough Cut Mower Attachment	1	1	1	1	1	1	1	1	1	1	\$10,100
Box Blade Attachment	-	-	-	-	-	-	-	-	-	1	\$5,600
Box Blade Attachment	1	1	1	1	1	1	1	1	1	-	\$1,600
Tiller Attachment	1	1	1	1	1	1	1	1	1	1	\$5,300
Triplex 13' Mower Attachment	-	1	1	1	1	1	1	1	1	1	\$15,900
Snowblower Attachment	1	1	1	1	1	1	1	1	1	1	\$10,600
Snow Plow Attachment	-	-	1	1	1	1	1	1	1	1	\$19,100
Grapple Bucket Attachment	-	-	1	1	1	1	1	1	1	1	\$15,900
Aerator Attachment	-	1	1	1	1	1	1	1	1	1	\$3,800
Aeraseeder Attachment	1	1	1	1	1	1	1	1	1	1	\$4,800
Fertilizer Spreader Attachment	1	1	1	1	1	1	1	1	1	1	\$1,600
Turf Mower Attachment	1	1	1	1	1	1	1	1	1	1	\$2,600
Snow Plow Attachment	-	-	-	1	1	1	1	1	1	1	\$2,600



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Vehicle)
Tiller Attachment	1	1	1	1	1	1	1	1	1	1	\$1,600
Tiller Attachment	-	-	-	-	1	1	1	1	1	1	\$19,100
Groomer Attachment	-	-	-	-	-	-	-	-	-	1	\$4,700
Groomer Attachment	-	-	-	-	1	1	1	1	1	1	\$7,900
Top Dresser Attachment	-	-	-	-	-	1	1	1	1	1	\$47,600
Utility Trailer	-	-	-	-	-	-	1	1	1	1	\$4,000
Off-Road Utility Vehicle	-	-	-	-	1	1	1	1	1	1	\$26,500
Bush Hog Mower Attachment	1	1	1	1	1	1	1	1	1	1	\$2,200
Tractor	-	-	1	1	1	1	1	1	1	1	\$43,100
Water Trailer	1	1	1	1	1	1	1	1	1	1	\$2,800
Greens Mower	-	1	1	1	1	1	1	1	1	1	\$7,400
1/2 ton Pick-up	1	1	1	1	1	1	1	1	1	1	\$31,800
3/4 ton Cargo Van	1	1	1	1	1	1	1	1	1	1	\$37,100
1/2 ton Pick-up	-	-	1	1	1	1	1	1	1	1	\$23,400
1/2 ton Pick-up	1	1	1	1	1	1	1	1	1	1	\$31,800
1/2 ton Pick-up	1	1	1	1	1	1	1	1	1	1	\$31,800
3/4 ton Cargo Van	-	1	1	1	1	1	1	1	1	1	\$32,900
Ice Edger	1	1	1	1	1	1	1	1	1	1	\$3,700
Ice Edger	1	1	1	1	1	1	1	1	1	1	\$3,700
Ice Edger	1	1	1	1	1	1	1	1	1	1	\$3,700
Ice Edger	1	1	1	1	1	1	1	1	1	1	\$3,700
3PH Snow Blower	1	1	1	1	1	1	1	1	1	1	\$6,400
Scissor Lift	1	1	1	1	1	1	1	1	1	1	\$17,000
Telescopic Lift	1	1	1	1	1	1	1	1	1	1	\$5,700
Ice Resurfacer	-	-	-	-	-	1	1	1	1	1	\$84,800
Ice Resurfacer	1	1	1	1	1	1	1	1	1	1	\$84,800
Ice Resurfacer	-	-	-	-	-	1	1	1	1	1	\$91,100
Ice Resurfacer	1	1	1	1	1	1	1	1	1	1	\$84,800
Ice Resurfacer	1	1	1	1	1	1	1	1	1	1	\$82,200
Ice Resurfacer	-	-	-	-	-	1	1	1	1	1	\$91,100



**Town of Aurora
Service Standard Calculation Sheet**

Service: Parks & Recreation - Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/Vehicle)
Kubota 4 x 4 Tractor	1	1	1	1	1	1	1	1	-	-	\$10,600
JD4x4 Tractor Plow (Town Hall)	-	-	-	-	-	-	-	-	1	1	\$35,800
Total	49	55	62	67	74	79	88	88	93	94	

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	0.0009	0.0010	0.0012	0.0013	0.0014	0.0014	0.0015	0.0015	0.0016	0.0016

10 Year Average	2011-2020
Quantity Standard	0.0013
Quality Standard	\$32,338
Service Standard	\$42

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$42
Eligible Amount	\$491,532



Town of Aurora
Service Standard Calculation Sheet

Service: Parks & Recreation - Indoor Recreation Facilities
Unit Measure: ft² of building area

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Bld'g Value (\$/sq.ft.)	Value/ft² with land, site works, etc.
Aurora Community Centre	81,000	81,000	81,000	81,000	81,000	81,000	81,000	81,000	81,000	81,000	\$344	\$449
Aurora Leisure Complex	61,000	61,000	61,000	61,000	61,000	70,300	70,300	70,300	70,300	70,300	\$344	\$449
Victoria Hall	875	875	875	875	875	875	875	875	875	875	\$229	\$322
Former Aurora Senior's Centre (52 Victoria)	4,000	4,000	4,000	4,000	4,000	4,000	4,000	-	-	-	\$344	\$449
McMahon Building	1,400	1,400	1,400	1,400	1,400	1,400	1,400	1,400	1,400	1,400	\$229	\$322
Jack Wood's Property				-	-	-	-	-	-	-	\$229	\$322
Church Street School	17,500	17,500	17,500	17,500	17,500	17,500	17,500	17,500	17,500	17,500	\$344	\$449
Old Library	17,700	17,700	17,700	17,700	17,700	17,700	17,700	-	-	-	\$229	\$322
Town Hall Meeting Space	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	\$344	\$449
Stronach Aurora Recreation Complex	104,000	104,000	104,000	104,000	104,000	104,000	104,000	104,000	104,000	104,000	\$344	\$449
Aurora Senior's Centre	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	\$344	\$449
Library Meeting Space (Magna and Lebovic)	5,500	5,500	5,500	5,500	5,500	5,500	5,500	5,500	5,500	5,500	\$436	\$550
Staff Offices within Town Hall	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	\$344	\$449
Lambert Wilson Park (Legion) Dome and Clubhouse	62,000	62,000	62,000	62,000	62,000	62,000	62,000	62,000	62,000	62,000	\$32	\$32
Total	376,975	376,975	376,975	376,975	376,975	386,275	386,275	364,575	364,575	364,575		

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	7.0856	7.1211	7.1305	7.1965	7.1160	6.9669	6.5753	6.1479	6.1355	6.0873

10 Year Average	2011-2020
Quantity Standard	6.7563
Quality Standard	\$377
Service Standard	\$2,544

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$2,544
Eligible Amount	\$29,742,227



**Town of Aurora
Service Standard Calculation Sheet**

Service: Library Facilities
Unit Measure: ft² of building area

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Bld'g Value (\$/sq.ft.)	Value/ft² with land, site works, etc.
Aurora Public Library	39,200	39,200	39,200	39,200	39,200	39,200	39,200	39,200	39,200	39,200	\$436	\$744
Total	39,200	39,200	39,200	39,200	39,200	39,200	39,200	39,200	39,200	39,200		

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	0.7368	0.7405	0.7415	0.7483	0.7400	0.7070	0.6673	0.6610	0.6597	0.6545

10 Year Average	2011-2020
Quantity Standard	0.7057
Quality Standard	\$744
Service Standard	\$525

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$525
Eligible Amount	\$6,138,417



**Town of Aurora
Service Standard Calculation Sheet**

Service: Library Collection Materials
Unit Measure: No. of library collection items

Description	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2019 Value (\$/item)
Books	131,035	129,324	139,557	127,546	137,382	132,685	143,718	125,299	118,709	127,241	\$47
Paperbacks	17,415	17,086	19,030	-	-	-	-	-	-	-	\$19
Periodicals- print	251	241	299	275	248	229	211	197	189	182	\$122
Periodicals -micro-forms	1	1	1	1	1	1	1	1	1	1	\$10,130
Periodicals -Digitization	1	1	1	1	1	1	1	1	1	1	\$7,284
Audiocassettes	1	-	-	-	-	-	-	-	-	-	\$10
Compact Discs	4,076	3,585	3,585	3,659	3,524	3,096	2,906	2,657	2,827	2,587	\$26
Talking Books	3,462	4,059	4,059	3,825	3,713	3,252	2,943	2,602	2,735	2,807	\$61
Videocassettes	589	2	2	-	-	-	-	-	-	-	\$48
CD-ROMS	32	32	32	30	28	24	18	14	9	6	\$36
Database Subscriptions	33	34	45	75	72	71	62	67	57	53	\$1,190
DVD	5,335	8,005	8,005	8,504	9,317	9,805	10,967	11,595	13,475	14,373	\$41
Video Games	-	-	-	-	110	267	360	450	617	810	\$50
Miscellaneous	28	58	58	65	72	85	111	119	125	130	\$53
eBooks - owned	609	887	870	2,105	2,621	3,407	4,272	4,813	8,905	9,390	\$29
eAudiobooks-owned	-	49	160	189	266	326	420	561	1,990	2,094	\$103
eBooks- consortium	7,515	34,506	49,238	65,572	82,914	100,413	116,097	123,780	164,198	228,701	\$0.23
eAudiobooks - consortium	9,519	12,686	15,500	17,642	19,500	20,767	22,253	27,220	42,657	75,959	\$2.00
Total	179,902	210,556	240,442	229,489	259,769	274,429	304,340	299,376	356,495	464,335	

Population	53,203	52,938	52,868	52,383	52,976	55,444	58,746	59,301	59,421	59,891
Per Capita Standard	3.38	3.98	4.55	4.38	4.90	4.95	5.18	5.05	6.00	7.75

10 Year Average	2011-2020
Quantity Standard	5.0123
Quality Standard	\$26
Service Standard	\$132

D.C. Amount (before deductions)	10 Year
Forecast Population	11,692
\$ per Capita	\$132
Eligible Amount	\$1,546,150



Appendix C

Draft Amending Development Charge By-law



The Corporation of the Town of Aurora

By-law Number ____-21

Being a By-Law of The Corporation of the Town of Aurora To Amend By-Law 6166-19, Respecting Development Charges

Whereas the Town of Aurora enacted By-law 6166-19 pursuant to the *Development Charges Act, 1997*, S.O. 1997, c. 27, as amended (the “Act”), which Act authorizes Council to pass by-laws for the imposition of development charges against land;

And Whereas the Town has undertaken a study pursuant to the Act which has provided an updated Schedule B to By-law 6166-19;

And Whereas Council has before it a report entitled “Town of Aurora 2021 Development Charge Update Study” prepared by Watson & Associates Economists Ltd., dated April 22, 2021 (the “update study”);

And Whereas the update study and proposed amending by-law were made available to the public on April 22, 2021 and Council gave notice to the public pursuant to section 12 of the Act.

And Whereas Council, on May 18, 2021 held a meeting open to the public, pursuant to section 12 of the Act, at which Council considered the study, and written and oral submissions from the public;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF AURORA HEREBY ENACTS AS FOLLOWS:

1. By-law 6166-19 is hereby amended as follows:

A. Addition of Rental Housing to the definitions in section 1 as follows:

“Rental housing” means development of a building or structure with four or more dwelling units all of which are intended for use as rented residential premises

B. Addition of Institutional development to the definitions in section 1 as follows:

“Institutional development” means development of a building or structure intended for use,



- a) as a long-term care home within the meaning of subsection 2(1) of the *Long-Term Care Homes Act, 2007*;
- b) as a retirement home within the meaning of subsection 2(1) of the *Retirement Homes Act, 2010*;
- c) by any of the following post-secondary institutions for the objects of the institution:
 - i. a university in Ontario that receives direct, regular, and ongoing operating funding from the Government of Ontario,
 - ii. a college or university federated or affiliated with a university described in subclause (i), or
 - iii. an Indigenous Institute prescribed for the purposes of section 6 of the *Indigenous Institutes Act, 2017*;
- d) as a memorial home, clubhouse or athletic grounds by an Ontario branch of the Royal Canadian Legion; or
- e) as a hospice to provide end of life care.

C. Addition of non-profit housing development to the definitions in section 1 as follows:

"Non-profit housing development" means development of a building or structure intended for use as residential premises by,

- a) a corporation without share capital to which the *Corporations Act* applies, that is in good standing under that Act and whose primary object is to provide housing;
- b) a corporation without share capital to which the *Canada Not-for-profit Corporations Act* applies, that is in good standing under that Act and whose primary object is to provide housing; or
- c) a non-profit housing co-operative that is in good standing under the *Co-operative Corporations Act*.

D. Addition of Interest rate to the definitions in section 1 as follows:

"Interest rate" means the annual rate of interest calculated at the Town's D.C. Interest Policy;

E. Addition of Class to the definitions in section 1 as follows:



“Class” means a grouping of services combined to create a single service for the purposes of this by-law and as provided in section 7 of the Development Charges Act;

F. Replace Section 2.0 with the following:

Designation of Services/Class of Services

2.1 The categories of services/class of services for which development charges are imposed under this By-law are as follows:

- a) Library Services;
- b) Fire Services;
- c) Parks and Recreation Services;
- d) Municipal Parking Spaces;
- e) General Government (Studies);
- f) Services Related to a Highway;
- g) Wastewater Services; and
- h) Water Supply and Distribution Services.

2.2 The components of the services/class of services designated in subsection 2.1 are described in Schedule “A” to this By-law.

G. Addition of the following university exemption to Section 3.5:

New bullet (i) – Land vested in or leased to a university that receives regular and ongoing operating funds from the government for the purposes of post-secondary education is exempt from development charges imposed under the Development Charges Act, 1997 if the development in respect of which development charges would otherwise be payable is intended to be occupied and used by the university.

H. Addition of policies related to the timing of development charges payments.
These will be included after section 3.15 of the development charges by-law:

New Section – 3.16 Notwithstanding subsections 3.14 and 3.15, development charges for rental housing and institutional developments are due and payable in 6 installments commencing with the first installment



payable on the date of first occupancy certificate issued, and each subsequent installment, including interest, payable on the anniversary date each year thereafter.

New Section –3.17 Notwithstanding subsections 3.14 and 3.15 development charges for non-profit housing developments are due and payable in 21 installments commencing with the first installment payable on the date of first occupancy certificate issued, and each subsequent installment, including interest, payable on the anniversary date each year thereafter.

New Section –3.18 Where the development of land results from the approval of a site plan or zoning by-law amendment received on or after January 1, 2020, and the approval of the application occurred within 2 years of building permit issuance, the development charges under subsections 3.6 and 3.7 shall be calculated on the rates set out in Schedule "B" on the date of the planning application, including interest. Where both planning applications apply development charges under subsections 3.6 and 3.7 shall be calculated on the rates, including interest, set out in Schedule "B" on the date of the later planning application, including interest.

- I. Sections 3.16 and 3.17 of the by-law are renumbered to 3.19 and 3.20 respectively.
- J. Addition of a Section 3.21 for "Rules with Respect to Exemptions for New Development"

"3.21 Notwithstanding the provisions of this By-law, no development charge shall be payable where the development:

(a) is limited to the creation of an additional dwelling unit as prescribed, in prescribed classes of new residential buildings as set out in the Regulations to the Development Charges Act, 1997; and

(b) is limited to the creation of an additional dwelling unit ancillary to a new dwelling unit for prescribed classes of new residential buildings as set out in the Regulations to the Development Charges Act, 1997."



K. Replace Section 6 with the following:

“The following schedules to this By-law form an integral part of this By-law:

Schedule “A” – Components of Services/Classes of Services Designated in subsection 2.1

Schedule “B” – Residential and Non-Residential Development Charges

Schedule “C” – Calculation of Development Charge Credits Provided to Residential Derelict Buildings

L. Schedule “A” is deleted and the attached Schedule “A” is substituted therefore.

M. Schedule “B” is deleted and the attached Schedule “B” is substituted therefore.

2. This by-law shall come into force and effect at 12:01am on the June 23, 2021.

3. Except as amended by this by-law, all provisions of By-law 6166-19, as amended, are and shall remain in full force and effect.

By-law read a first and second time this 22nd day of June, 2021.

By-law read a third time and finally passed this 22nd day of June, 2021.

Corporation of the Town of Aurora

Mayor: _____

Clerk: _____



Schedule A
Town of Aurora
Components of Services/Class of Services

Town-wide Services/Class of Services:

- 1) Library Services;
- 2) Fire Services;
- 3) Parks and Recreation Services
- 4) Municipal Parking Spaces;
- 5) General Government (Studies);

Town-wide Engineered Services:

- 6) Services Related to a Highway;
- 7) Wastewater Services; and
- 8) Water Supply and Distribution Services.



SCHEDULE B SCHEDULE OF DEVELOPMENT CHARGES

Service	RESIDENTIAL					NON-RESIDENTIAL	
	Single and Semi-Detached Dwelling	Multiples	Apartments - Large	Apartments - Small	Special Care/Special Dwelling Units	(per sq.ft. of Gross Floor Area)	(per sq.m. of Gross Floor Area)
Town-Wide Services:							
Fire Services	891	662	538	369	275	0.37	3.98
Parks and Recreation Services	14,683	10,916	8,867	6,079	4,524	0.65	7.00
Library Services	1,525	1,134	921	631	470	0.07	0.75
General Government	776	577	469	321	239	0.32	3.44
Total Town-Wide Services	17,875	13,289	10,795	7,400	5,508	1.41	15.17
Town-Wide Engineered Services							
Services Related to a Highway	6,139	4,564	3,707	2,542	1,892	2.55	27.45
Wastewater Services	734	546	443	304	226	0.30	3.23
Water Supply and Distribution Services	377	280	228	156	116	0.16	1.72
Total Town-Wide Engineered Services	7,250	5,390	4,378	3,002	2,234	3.01	32.40
GRAND TOTAL	25,125	18,679	15,173	10,402	7,742	4.42	47.57

Municipal Parking Development Charges - Effective until September 18, 2022

Service	RESIDENTIAL					NON-RESIDENTIAL	
	Single and Semi-Detached Dwelling	Multiples	Apartments - Large	Apartments - Small	Special Care/Special Dwelling Units	(per sq.ft. of Gross Floor Area)	(per sq.m. of Gross Floor Area)
Town-Wide Services:							
Municipal parking spaces	12	9	7	5	4	0.01	0.11

Total Development Charges Payable

Service	RESIDENTIAL					NON-RESIDENTIAL	
	Single and Semi-Detached Dwelling	Multiples	Apartments - Large	Apartments - Small	Special Care/Special Dwelling Units	(per sq.ft. of Gross Floor Area)	(per sq.m. of Gross Floor Area)
Development Charges Payable:							
Effective until September 18, 2022	25,137	18,688	15,180	10,407	7,746	4.43	47.68
Effective September 19, 2022	25,125	18,679	15,173	10,402	7,742	4.42	47.57