



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2022-16

APPLICANT: Ahmadi

PROPERTY: 9 Craiglee Court
PLAN 65M2685 LOT 34

RELATED APPLICATIONS: n/a

ZONING: R2(74) (Detached Second Density Residential Exception Zone)

PURPOSE: A Minor Variance Application has been submitted to facilitate a deck.

BY-LAW REQUIREMENT:

- 1) Section 4.20 of the Zoning By-law specifies maximum encroachment of 3.7m into minimum rear yard of 9m for Zone R2(74)

PROPOSAL:

- a) The applicant is proposing a deck encroaching 4.8m into minimum required rear yard.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	June 9, 2022
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town's website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on June 7, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form---Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on June 9, 2022.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on June 10, 2022.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123.**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended.* Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the “Act”)* public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act.* Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 30th DAY OF MAY 2022



Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

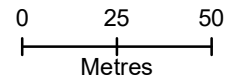
Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>

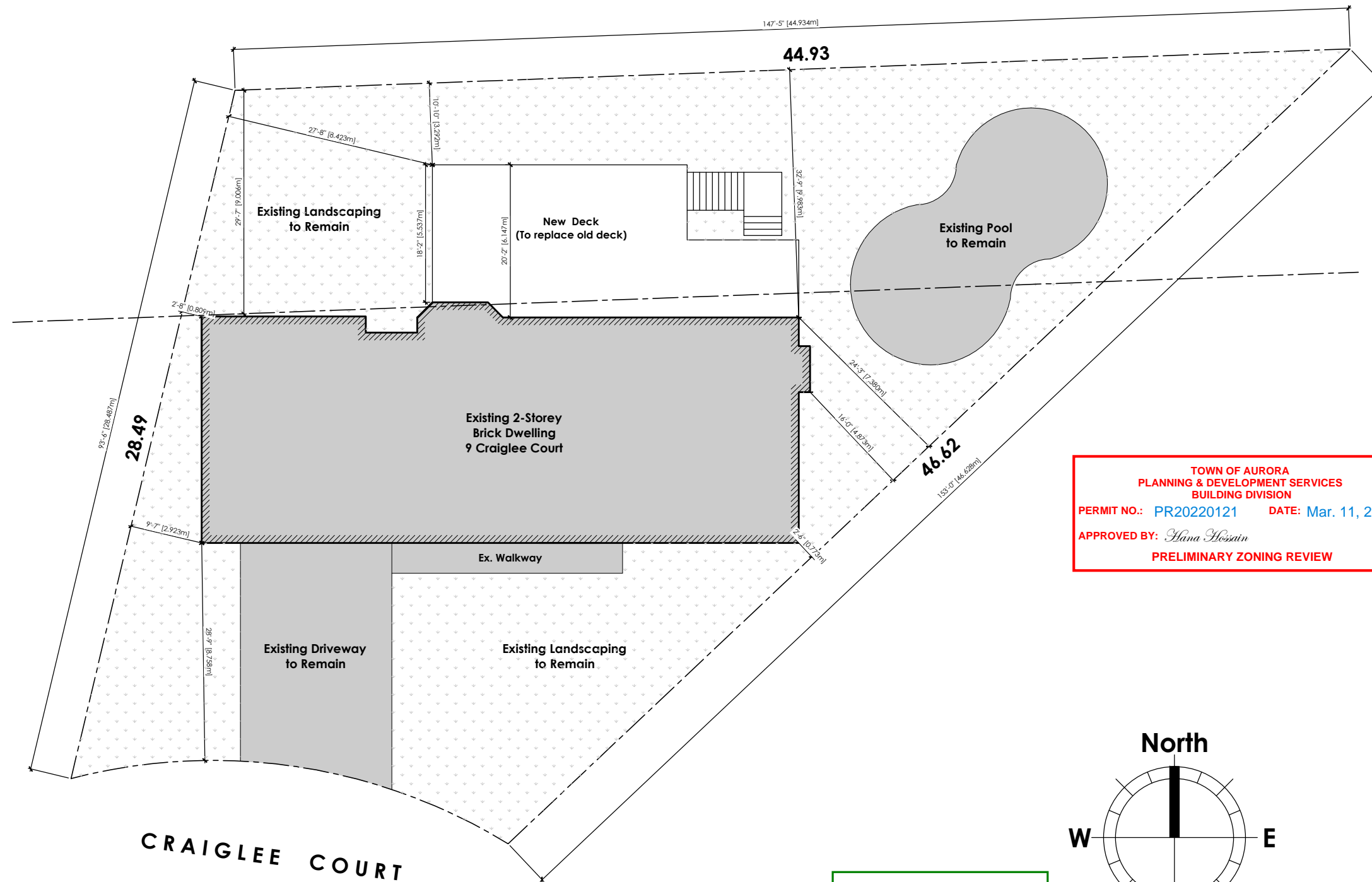


LOCATION MAP
9 CRAIGLEE COURT
FILE: MV-2022-16
TOWN OF AURORA
COMMITTEE OF ADJUSTMENT

 **SUBJECT LANDS**

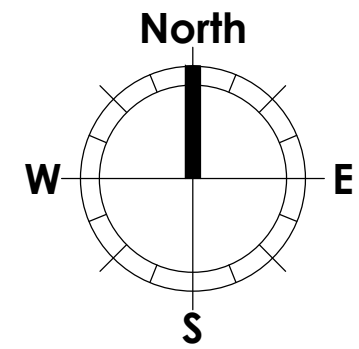


New Deck Permit (To replace old deck)



TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
 PERMIT NO.: PR20220121 DATE: Mar. 11, 2022
 APPROVED BY: *Hana Hossain*
PRELIMINARY ZONING REVIEW

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: April 26th, 2022
RECEIVED



General notes

1. All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguys prior to continuation of work.
2. The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
3. All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
4. All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal r.O.W.
5. Prior to the commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
6. The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body at the contractors expense.
7. Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
8. The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties

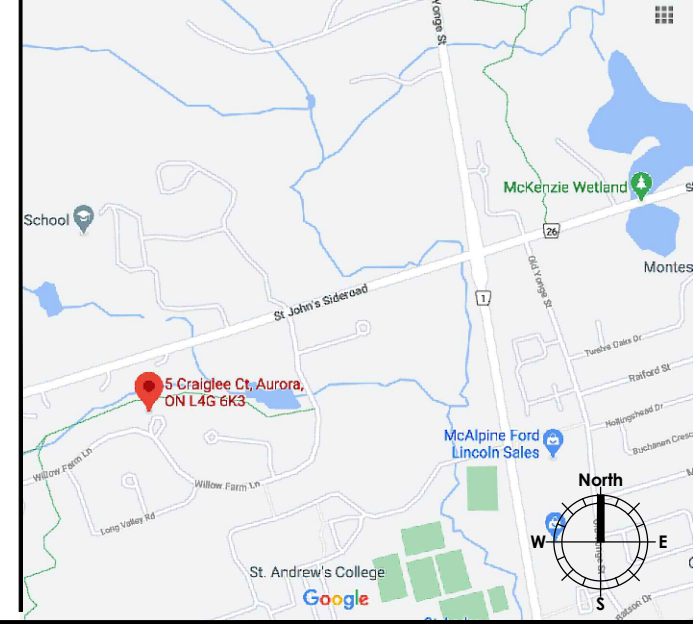
Site Statistics

All Units in Metric

Lot Depth	46.62	
Lot Area	921.15	
Zone	R2	
Lot Coverage		
Dwelling Area	219.85	
Proposed Rear Yard Deck	82.93	
Total	302.78	
Total Coverage	32.8%	

Scope of Work

New Deck to Replace Old Deck at Rear Yard



Site Plan

permitguys
 80 Clementine Dr, Unit 15
 Brampton ON L6Y 5R5
 Tel: 416 479 9556
 Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information
Aamou Rafiq 113576
 Name
 Registration Info. Permitguys.ca Inc, 110882

Site Plan

Project Name
9 Craiglee Court
 Project No. 21-56 Drawn By DF Checked By MZ Date 2022-01-24 Scale 1/16"=1'0"
 Municipality
Aurora, ON
 File name
 9 CRAIGLEE CRT-V4
 Sheet No.
A1

C1 Exterior/Interior Stairs

At least one stair between each floor level within a dwelling unit, and exterior stairs and required exit stairs serving a single dwelling unit, shall have a width of not less than 860mm (2'-0"). minimum height over stairs and landing within dwelling units shall be 1950mm (6'-5"). the vertical height between any landings shall not exceed 3700 mm (12'-2").

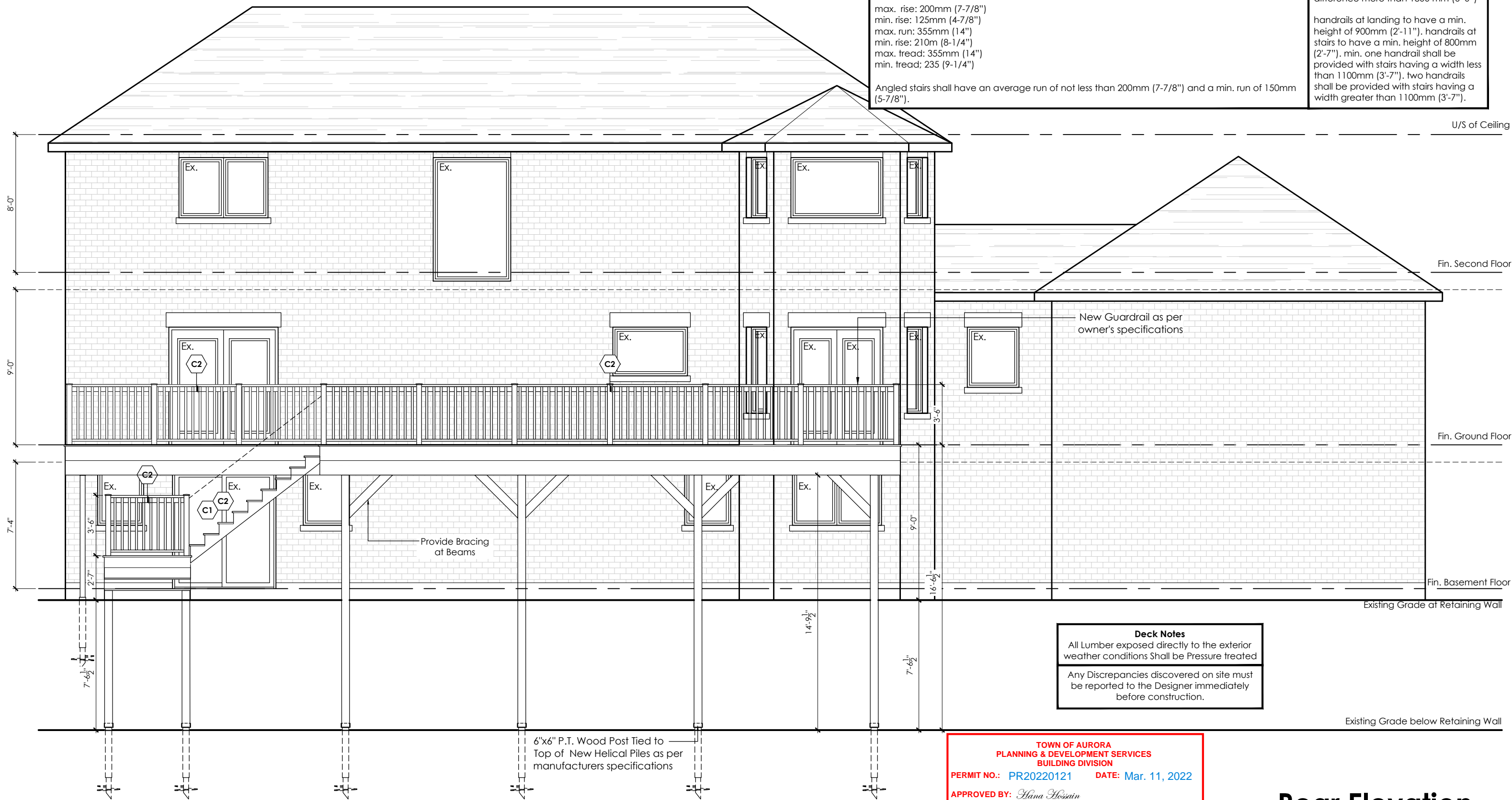
max. rise: 200mm (7-7/8")
 min. rise: 125mm (4-7/8")
 max. run: 355mm (14")
 min. rise: 210mm (8-1/4")
 max. tread: 355mm (14")
 min. tread: 235 (9-1/4")

Angled stairs shall have an average run of not less than 200mm (7-7/8") and a min. run of 150mm (5-7/8").

C2 Exterior/Interior Guard

Interior guards: 900mm (2'-11") min.
 exterior guards: 900mm (2'-11") min. for a grade difference less than 1800 mm (6'-0"). 1070mm (3'-6") min. for a grade difference more than 1800 mm (6'-0")

handrails at landing to have a min. height of 900mm (2'-11"). handrails at stairs to have a min. height of 800mm (2'-7"). min. one handrail shall be provided with stairs having a width less than 1100mm (3'-7"). two handrails shall be provided with stairs having a width greater than 1100mm (3'-7").



Deck Notes
 All Lumber exposed directly to the exterior weather conditions Shall be Pressure treated
 Any Discrepancies discovered on site must be reported to the Designer immediately before construction.

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
 PERMIT NO.: PR20220121 DATE: Mar. 11, 2022
 APPROVED BY: *Hana Hossain*
PRELIMINARY ZONING REVIEW

Rear Elevation

C1 Exterior/Interior Stairs

At least one stair between each floor level within a dwelling unit, and exterior stairs and required exit stairs serving a single dwelling unit, shall have a width of not less than 860mm (2'-0"). minimum height over stairs and landing within dwelling units shall be 1950mm (6'-5"). the vertical height between any landings shall not exceed 3700 mm (12'-2").

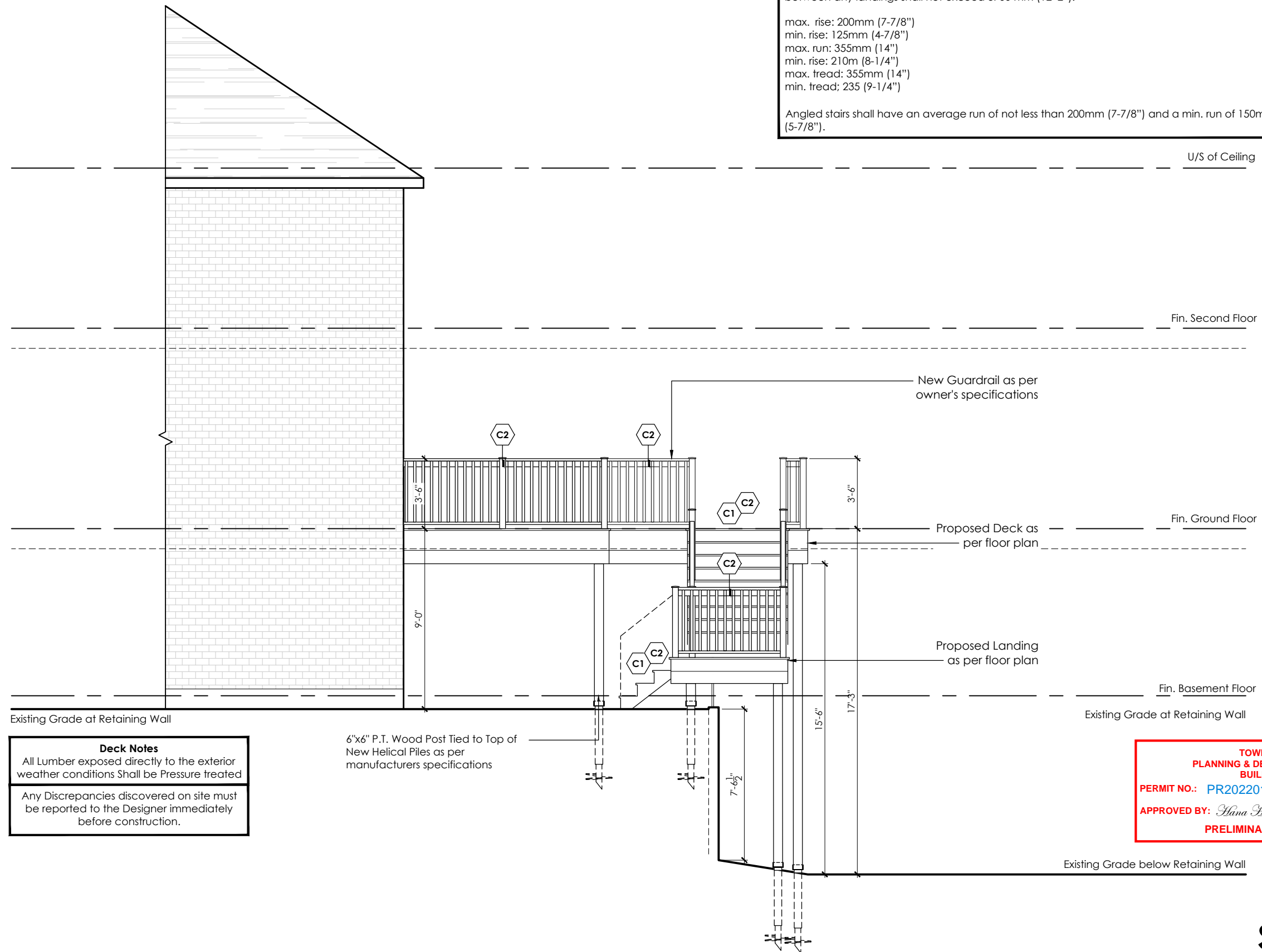
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**TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION**
 PERMIT NO.: PR20220121 DATE: Mar. 11, 2022
 APPROVED BY: *Hana Hossain*
 PRELIMINARY ZONING REVIEW

Side Elevation



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771