



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

- FILE NUMBER:** MV-2022-08
- APPLICANT:** Silhouette Aurora Inc.
- PROPERTY:** 15086, 15094 & 15106 Yonge Street
PLAN 9 PT LOTS 1 AND 2 PLAN 246 LOTS 51 AND 52 RP
65R38151 PARTS 1 TO 4
- ZONING:** PDS1 (502)
- PURPOSE:** A Minor Variance Application has been submitted to facilitate the development of a stacked townhouse development consisting of 53 dwelling units
- BY-LAW REQUIREMENT:**
- 1) Section 24.502.2.1 of the Zoning By-law requires a minimum Lot Area of 4000 square meters
 - 2) Section 24.502.2.1 of the Zoning By-law requires a minimum Lot Frontage of 75.8 meters.
 - 3) Section 7.5.2.2 of the Zoning By-law requires any Multi-Unit Development provide a minimum Amenity Area of eighteen (18) square meters per dwelling unit, provided a minimum of 50% of the required Amenity Area is provided as interior Amenity Area.
 - 4) Section 4.20 of the Zoning By-law requires that open porches, uncovered terraces and decks (3.2 meters in height or less) may encroach a maximum of 2.5 meters into a required Front & Exterior Side yards where no case shall be 4.5 meters from the Front Lot Line and 3 meters from the Exterior Side Yard Lot Line.
 - 5) Section 4.20 of the Zoning By-law requires that Steps and Landings may encroach a maximum of 2 meters into all yards where no case shall be closer than 4.5 meters from the Front Lot Line and 2.1 meters from the Exterior Side Lot Line. Also, in no case shall be closer than 0.3 meters from the Interior Side Lot Line.

6) Section 4.8.1 (d) states where the rear lot line of any lot in a non-residential zone abuts a lot in a Residential Zone, a minimum 3.0-meter-wide continuous landscaping strip shall be provided along the abutting lot line of the lot.

PROPOSAL:

- a) The applicant is proposing 3994 square meters.
- b) The applicant is proposing 75.0 meters.
- c) The applicant is proposing 0 square meters indoor Amenity Area.
- d) The applicant is proposing 0.7 meters from the east property line.
- e) The applicant is proposing 0.0 meters from the east property line.
- f) The applicant is proposing 1.5 meters along the west lot line.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

| | |
|------------------|---|
| DATE: | April 14, 2022 |
| TIME: | 7:00 p.m. |
| LOCATION: | Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting) |

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on April 12, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website:
<https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form--Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on April 14, 2022.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on April 15, 2022.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223.**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (*the “Act”*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 31st DAY OF MARCH 2022



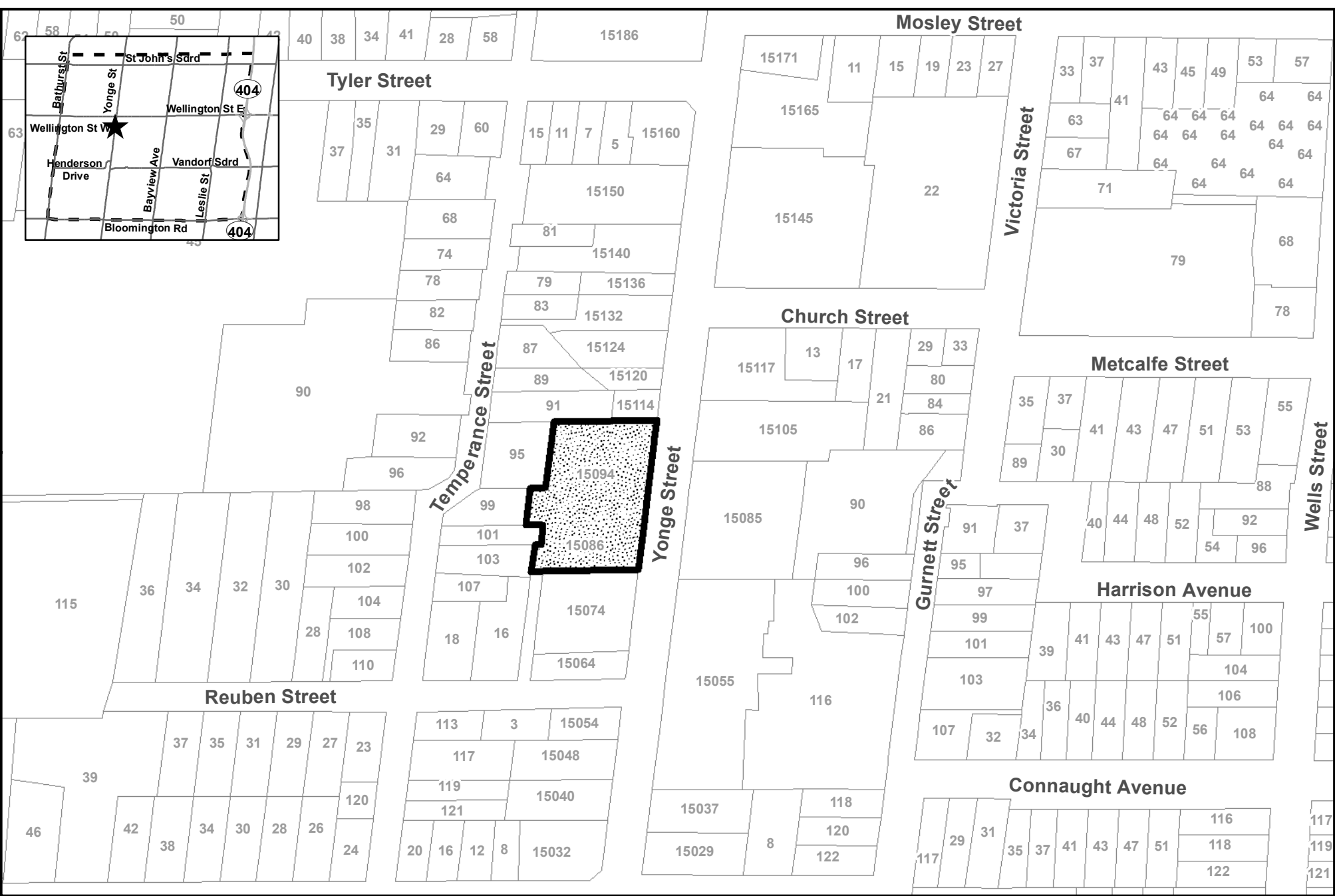
Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

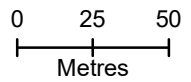
Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



LOCATION MAP
15086 YONGE STREET & 15094 - 15106 YONGE STREET
FILE: MV-2022-08
TOWN OF AURORA
COMMITTEE OF ADJUSTMENT

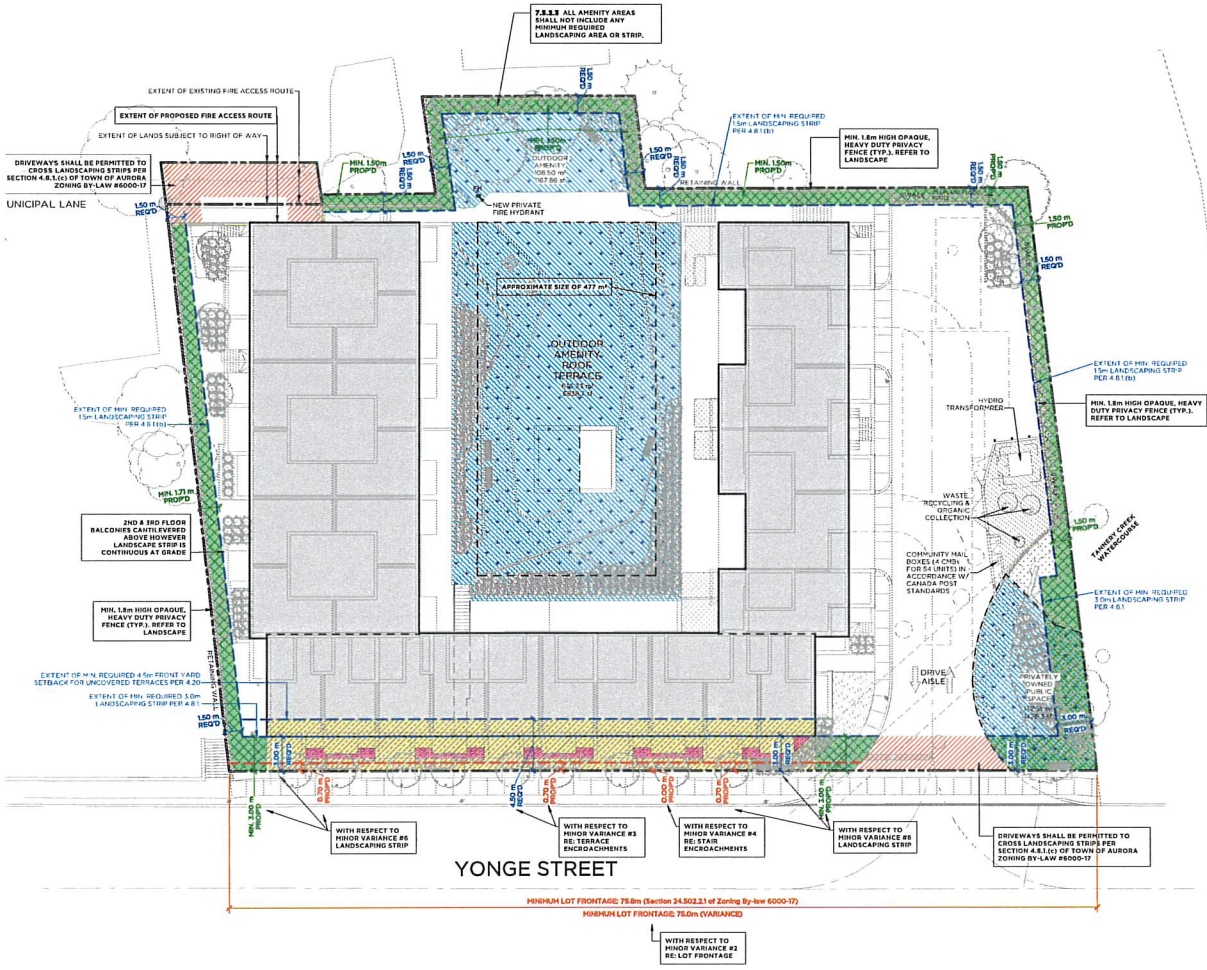
 **SUBJECT LANDS**



TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
 PERMIT NO.: PR2022132 DATE: Feb. 11, 2022
 APPROVED BY: *Bill Jean*
 PRELIMINARY ZONING REVIEW

TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: Feb. 11, 2022
RECEIVED

SUBMISSION No. 1



Site Plan Application
 15086, 15084, 15106 Yonge Street
 File Number: SP-2018-03 Submission 5

| Zoning (Proposed) (Effective to 2021) | Rezoning (Effective to 2021) |
|---|---|
| <p>1. According to Section 75.2.2, Any Premise-Zone District which contains any Multi-Unit Development requires a minimum amenity area of 18 square metres per dwelling unit provided a minimum of 50% of the required Amenity Area is provided as exterior amenity space. The PDSB(2021) does not provide any exception for indoor amenity area for this Stacked Fourstorey development.</p> | <p>1. With 53 units * 18 m² per unit a total of 954 m² total amenity area (477 m² indoor amenity area + 477 m² outdoor amenity area) is required. An indoor amenity area is not appropriate for a stacked fourstorey development. The entire proposed development is zipping with the complex topography. An outdoor amenity area of 477 m² is not possible to accommodate within the type of built form. To make up for the shortfall of indoor amenity, 744 m² of shared outdoor amenity is proposed (87.7 m² outdoor amenity is grade along the west to opening to the 45.3 m of outdoor amenity is roof terrace above the parking). In addition 928 m² of private outdoor area is provided through the 3 lots. In total, 1926 m² of amenity area is proposed, which exceeds the 954 m² per unit. The proposed amenity area total is the proposed 1926 m² at the northeast corner which is 128.6 m². A minor variance will be required to allow for 0 m² of indoor amenity area.</p> |
| <p>2. The minimum lot area of 4000 square metres is not met. The proposed is 3594 square metres.</p> | <p>2. The actual lot area is 3594 square metres or 0.3994 ha. We suspect the min. 4000 m² lot area requirement is a rounding error.</p> |
| <p>3. Zoning Bylaw 6000-17 has been amended to require a 3.0 meter continuous landscaping strip along the front and side lot lines. This has not been provided.</p> | <p>3. A 1.8m high opaque fence is proposed at the side lot lines. Therefore a 1.5m landscaping strip is required per 4.8 (B). The side and fire route at the southeast corner are not included in the landscaping strip definition. The side lot line comply with the 1.5m landscaping strip requirement in the bylaw. Without a fence at the front lot line, a 3m landscaping strip is required. A minor variance will be required to allow for a 0.7m landscaping strip along the front lot line.</p> |
| <p>4. Zoning Bylaw 6000-17 has been amended to require in a non-residential zone a 3.0 meter landscaping strip where a 4.0 meter Residential zone for the rear lot line. This has not been provided.</p> | <p>4. A 1.8m high opaque fence is proposed at the rear lot lines, therefore a 1.5m landscaping strip is required per 4.8 (B). The facade at the southeast corner is not included in the landscaping strip definition. The rear lot lines comply with the 1.5m landscaping strip requirement in the bylaw.</p> |
| <p>5. Section 4.20 of Zoning Bylaw also uncovered terraces to be no closer than 4.5 metres from the front lot line. The proposed terraces are 8.0 metres.</p> | <p>5. 78% of the basement level terraces are covered by copings, canopies and balconies on the south side. 22% of the basement terraces are uncovered (8.3 m² of 81.4 m²). A minor variance will be required to allow for uncovered terraces within 0.9m of the front lot line.</p> |

LEGEND

- MIN REQUIRED SETBACKS OR LANDSCAPING STRIPS
- PROPOSED - MINOR VARIANCE NOT REQUIRED
- PROPOSED - MINOR VARIANCE REQUIRED
- MINOR VARIANCE NOT REQUIRED, PROPOSED CONFORMS WITH BYLAW
- MINOR VARIANCE REQUIRED, PROPOSED DOES NOT CONFORM WITH BYLAW
- OUTDOOR AMENITY OR POPS
- NOT APPLICABLE
- UNCOVERED TERRACES

MINOR VARIANCES:

| By-law | Section | Section 24.802.2.1 Lot Specifications | Variance |
|----------------|--|---|--|
| 1 | Lot Area (minimum) | 4000 m² | 3594 m² |
| 2 | Lot Frontage (minimum) | 75.0 m | 75.0 m |
| By-law 6000-17 | Section 4.20 Yard Encroachments Permitted | | |
| 1 | Open porches, uncovered terraces and decks (1.2 m in height or less) | Applicable Yard Front Yard Maximum Encroachment: 2.5m. In no case shall be 4.5 m from the Front Lot Line, 3 m from the Exterior Side Yard Lot Line. | 0.7 m |
| 4 | Steps, Landings, Accessible Yards | All Yards: Maximum Encroachment: 2 m. In no case shall be closer than 4.5 m from the front lot line and 2.1 m from the Exterior Side Lot Line. In no case shall be closer than 0.3 m from the Interior Side Lot Line. | 0.0 m |
| By-law 6000-17 | Subsection 7.5.2.2 | | Variance |
| 1 | Any Apartment Residential Zone, Commercial Zone or any Multi-Unit Development shall provide a minimum Amenity Area of Eighteen (18) square metres per dwelling unit, provided a minimum of 50% of the required Amenity Area is provided as exterior amenity space. | | 0 m of indoor amenity space |
| By-law 6000-17 | Subsection 4.8 (1) Landscaping Strip | | Variance |
| 1 | The Landscaping Strip be located adjacent to the entire length of any property line which abuts a Residential Zone, which is either: a) 3 metres in width containing an earth Berm having a maximum slope of 3:1 where slopes there is a 1.5 metre wide planting strip consisting of suitable trees and shrubs; b) 1.5 Landscaping Strip 1.5 metres in width containing an opaque fence with a minimum height of 1.5 metres. | | 0.3m in width along the front lot line (Minor variance not required of side or rear lot lines) |

Applicable By-law:
 Town of Aurora
 Zoning By-law 6000-17

SECTION 3 DEFINITIONS

Amenity Area:
 means an area which is designed and intended to be used as passive or active recreational space for the residents of a dwelling unit and may include any outdoor living area.

Landscaping/Landscaping Strip:
 means any combination of trees, shrubs, flowers, grass or other such vegetative elements, and which may include decorative stonework, paving, screening, or other architectural elements. Curbs, retaining walls and any structural walls or similar area does not include any driveway or ramp, parking area or any area with an enclosed building or structure.

Multi-Unit Development:
 means two or more residential use buildings on the same lot, but does not include an accessory structure used as a separate residential dwelling.

4.20 YARD ENCROACHMENTS PERMITTED
 Open porches, uncovered terraces and decks (1.2 m in height or less); Applicable Yard Front Yard Maximum Encroachment: 2.5m. In no case shall be 4.5 m from the Front Lot Line, 3 m from the Exterior Side Yard Lot Line.

4.8 LANDSCAPING STRIP
 The Landscaping Strip be located adjacent to the entire length of any property line which abuts a Residential Zone, which is either:
 a) 3 metres in width containing an earth Berm having a maximum slope of 3:1 where slopes there is a 1.5 metre wide planting strip consisting of suitable trees and shrubs;
 - or -
 b) 1.5 Landscaping Strip 1.5 metres in width containing an opaque fence with a minimum height of 1.5 metres.
 c) Access ramps or Driveways that be permitted to cross such Landscaping Strip.

7.5.2 Amenity Area:
7.5.2.1 Any Apartment Residential Zone, Commercial Zone or Multi-Unit Development shall provide a minimum Amenity Area of Eighteen (18) square metres per dwelling unit.

7.5.2.2 Any Apartment Residential Zone, Commercial Zone or Multi-Unit Development shall provide a minimum Amenity Area of Eighteen (18) square metres per dwelling unit, provided a minimum of 50% of the required Amenity Area is provided as exterior amenity space.

7.5.2.3 All Amenity Areas shall not include any minimum required landscaping area or strip.

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and work on the location prior to commencing work.

ISSUE RECORD

REVISION RECORD



15086-15088-15094
 15106 YONGE ST.
 AURORA, ON
 CALIBER HOMES

MINOR VARIANCE PLAN

1:200
 MVP



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771