



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2022-36

APPLICANT: CONSTANTINE RALLIS

PROPERTY: 12 Buchanan Cres, Aurora, ON L4G5J9
PLAN 65M2376 LOT 154

**RELATED
APPLICATIONS:** n/a

ZONING: R3(28) Detached Third Density Residential

PURPOSE: A Minor Variance Application has been submitted to facilitate a request for an exterior side yard set back.

**THE FOLLOWING
VARIANCES ARE
REQUIRED:**

- 1) Section 7.2 of the Zoning By-law requires a minimum exterior side yard setback of 6.0 metres.

PURPOSE:

- a) The applicant is proposing a cabana, which is 2.7 metres to the exterior side property line.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	October 13, 2022
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Peter Fan, at PFan@aurora.ca **no later than 4:30pm on October 11, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Delegation-Request>

Provide written comments. Please email your comments to the Secretary Treasurer, Peter Fan, at PFan@aurora.ca **no later than 12:00pm (noon) on October 13, 2022** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to PFan@aurora.ca **no later than 4:30pm on October 13th, 2022.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Peter Fan at PFan@aurora.ca or at (905) 726-4711

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (the "Act") public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 29th DAY OF September 2022



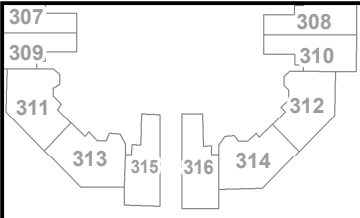
Peter Fan
Secretary-Treasurer/Assistant Planner
Committee of Adjustment

ATTACHMENTS

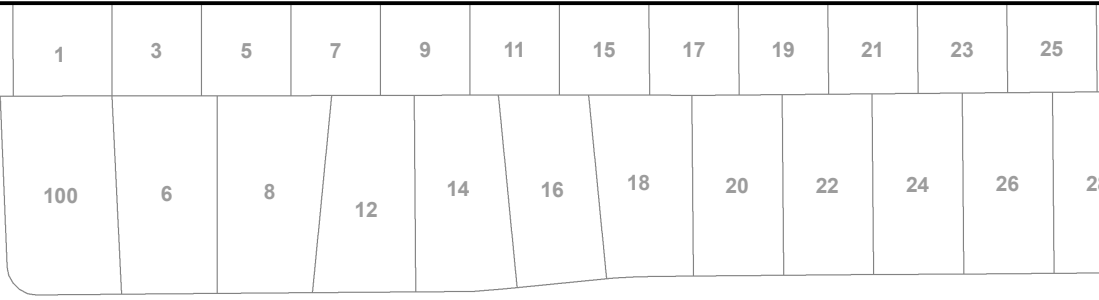
Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



Old Yonge Street



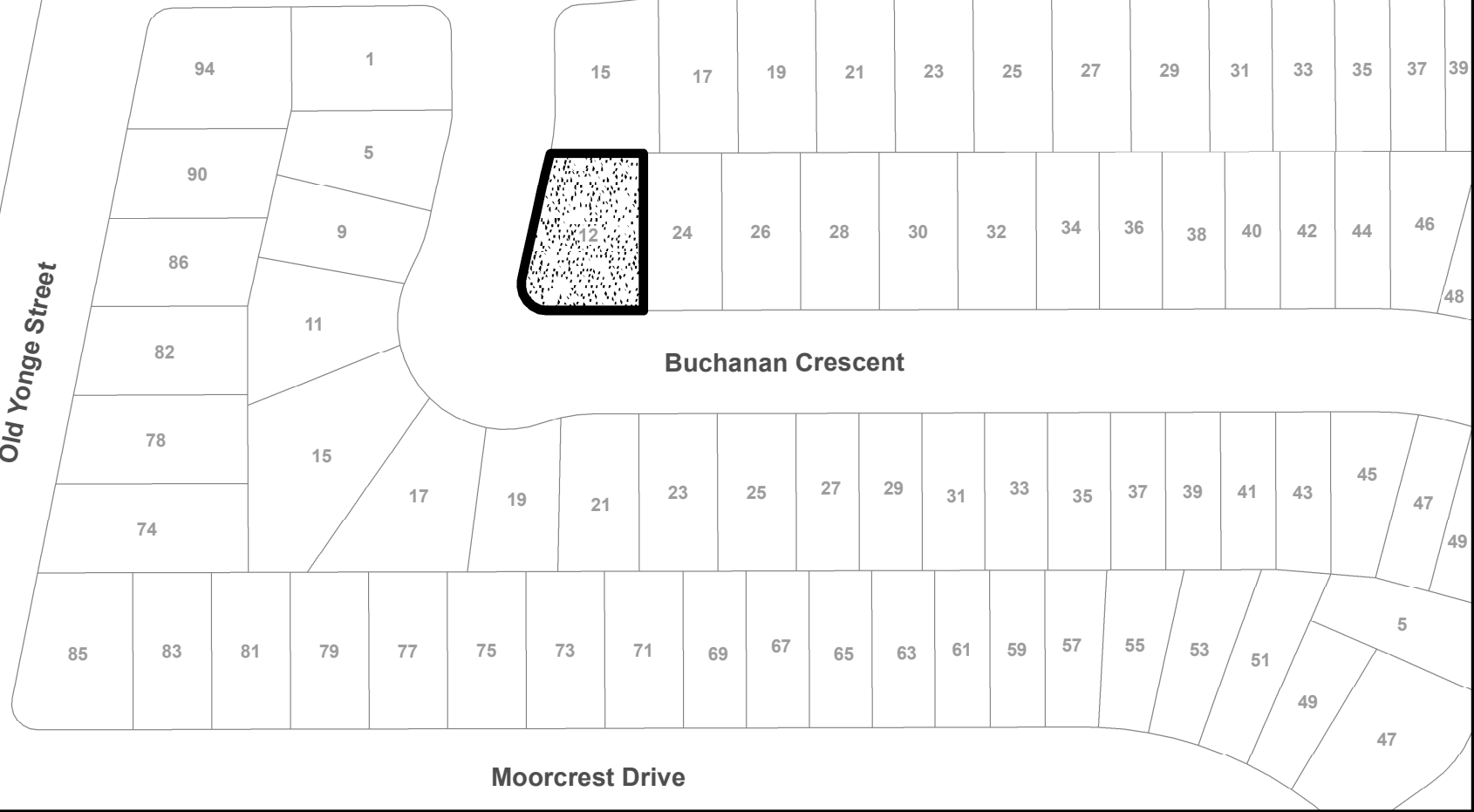
Hollingshead Drive

Hollingshead Drive

15815

Old Yonge Street

15783

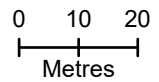


Buchanan Crescent

Moorcrest Drive

LOCATION MAP
12 BUCHANAN CRESCENT
FILE: MV-2022-36
TOWN OF AURORA
COMMITTEE OF ADJUSTMENT

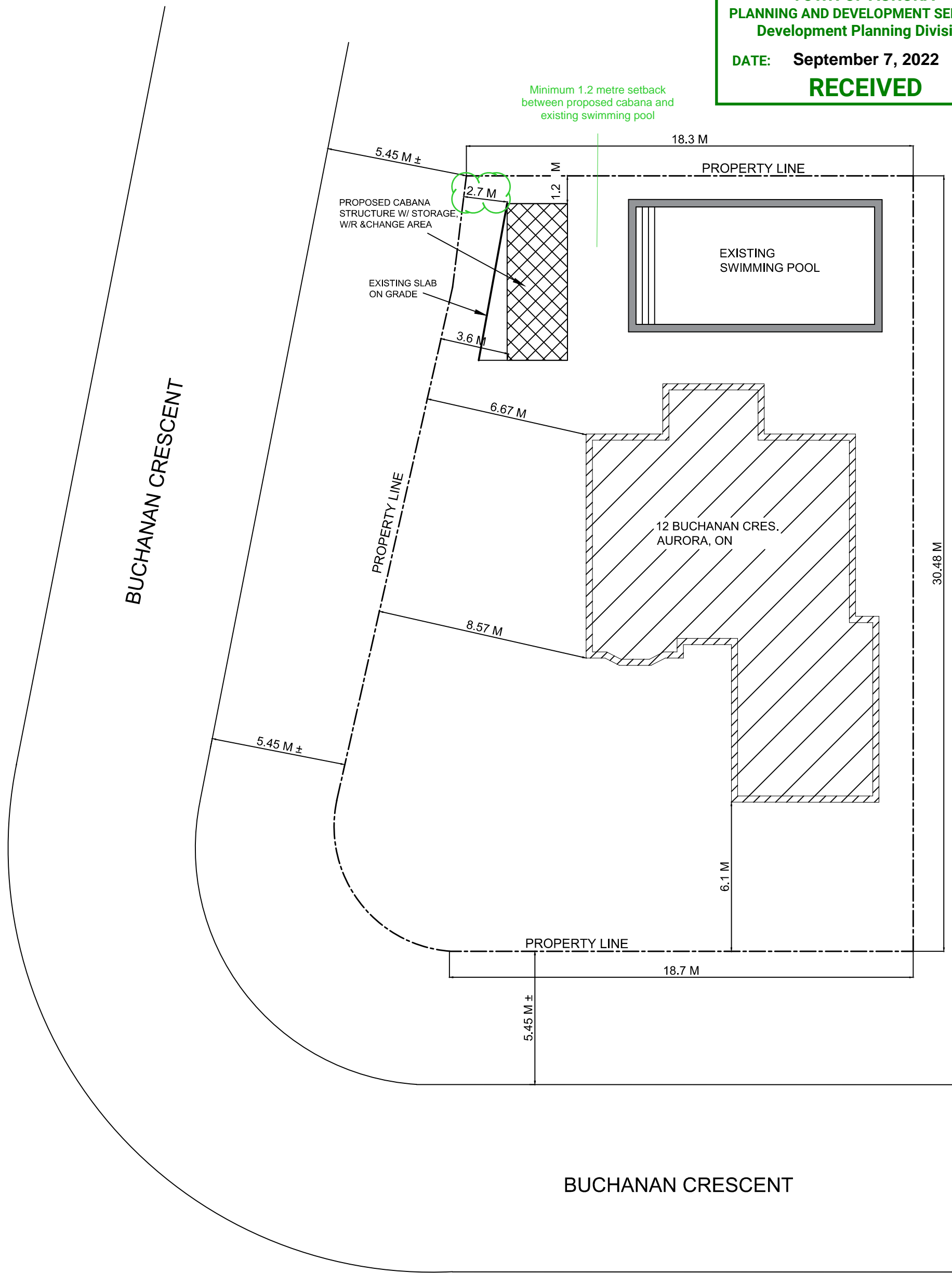
 **SUBJECT LANDS**

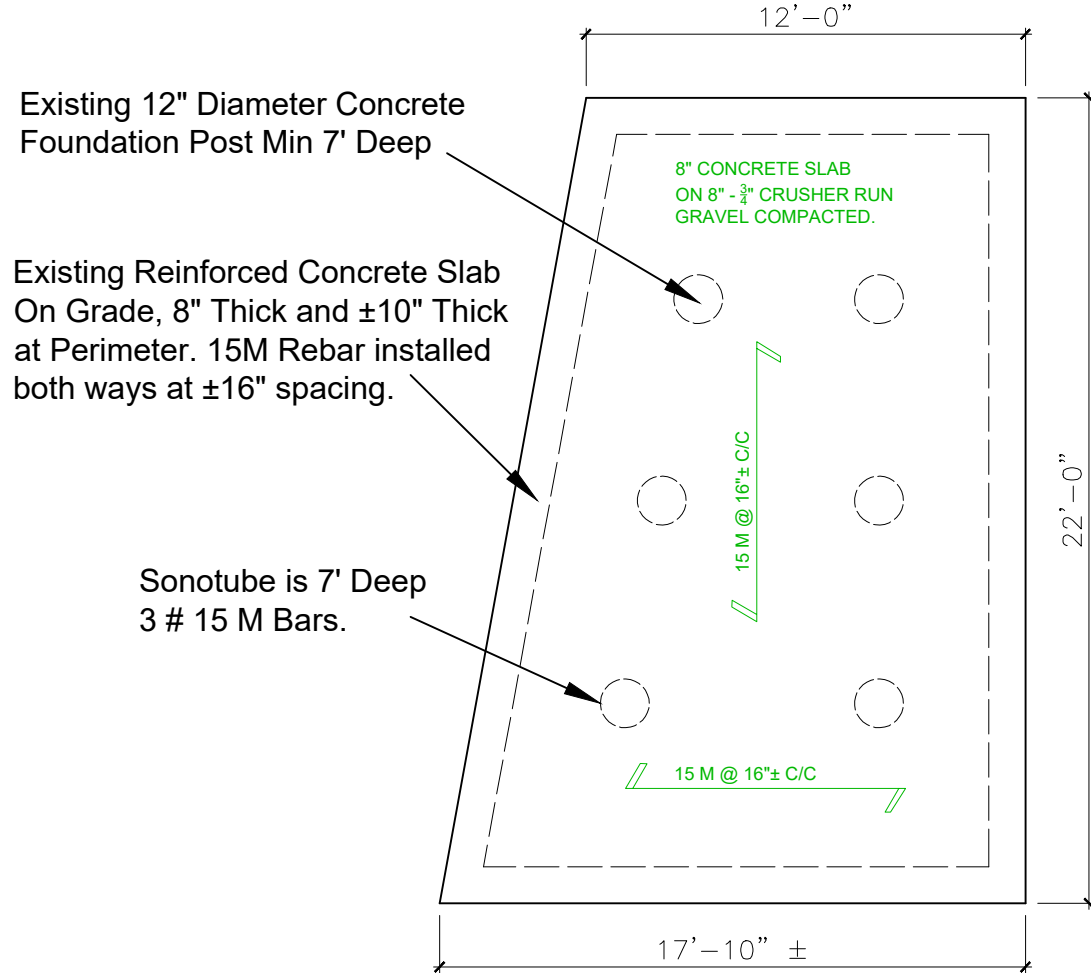


TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
 PERMIT NO.: PR20221023 DATE: Sept. 7, 2022
 APPROVED BY: *Ashley Vanderwal*
 PRELIMINARY ZONING REVIEW

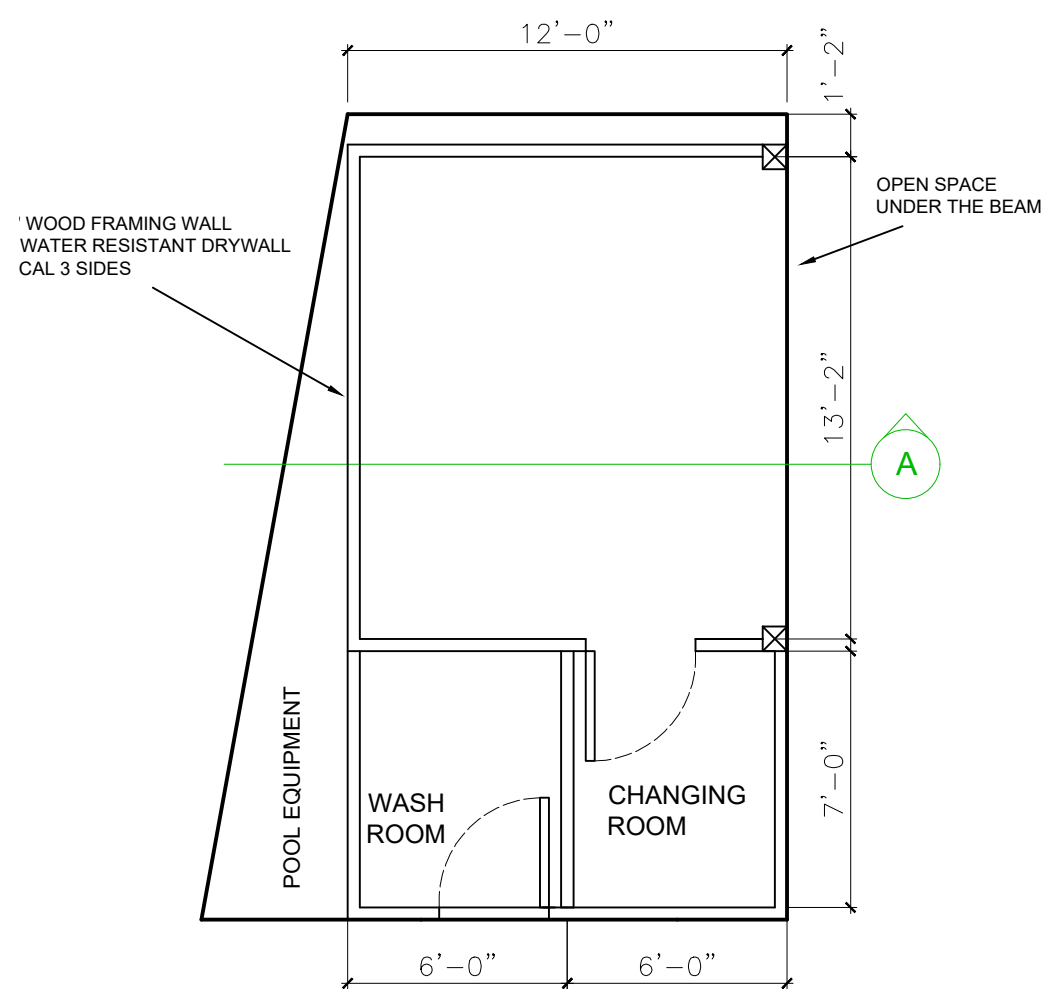
12 BUCHANAN CRES. AURORA, ON	
PROPOSED CONDITION	N.T.S

TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: September 7, 2022
RECEIVED

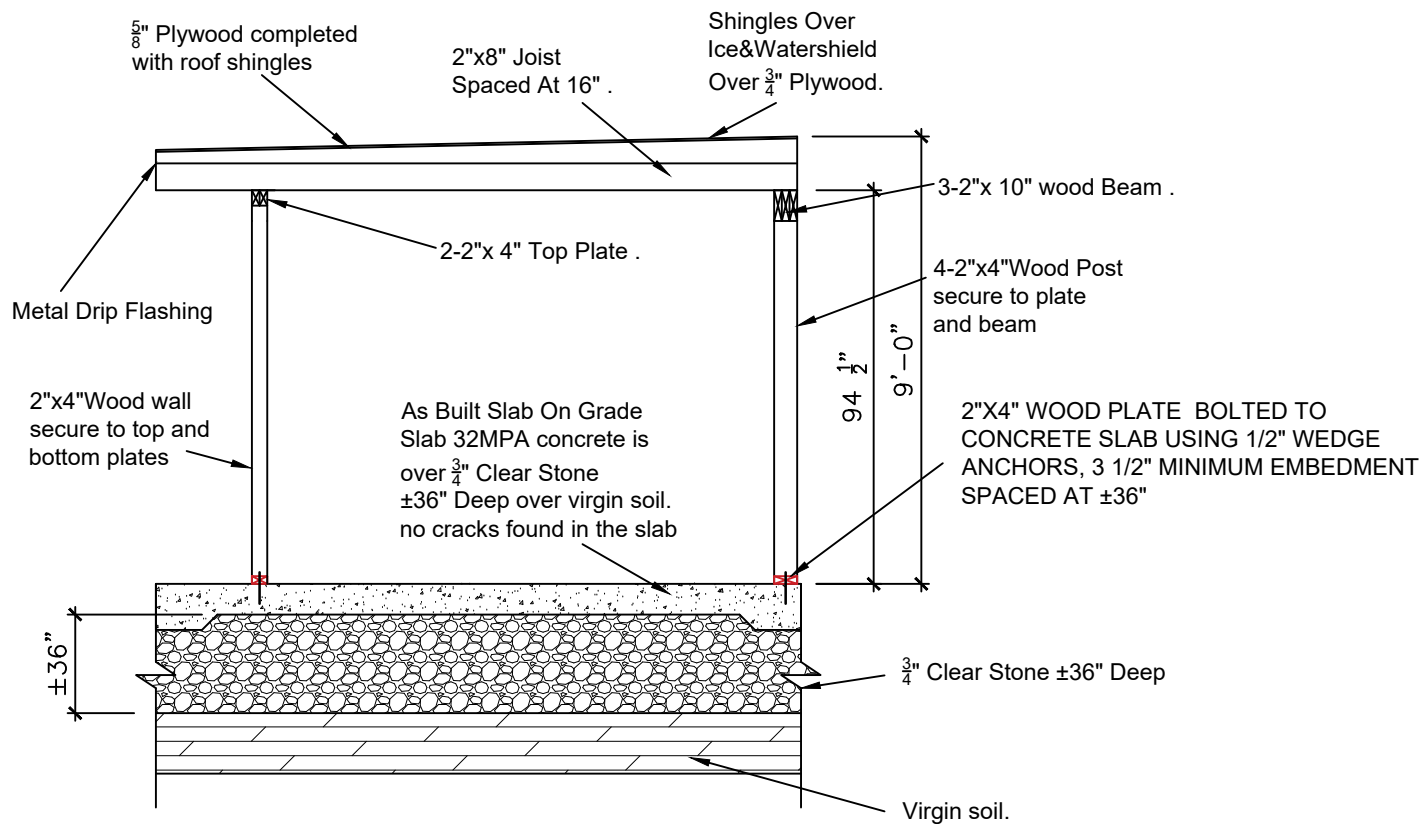




FOUNDATION SLAB (As-Built):



FLOOR PLAN:



Section A-A :

NOTES:

- CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE
- WALL TO BE CONSTRUCTED FROM 2"X4" WOOD STUDS SPACED AT @±16" O.C. C/W 2X4 SILL PLATE PLUS 2- 2X4 HEADER IN MY OPINION AND ENGINEERING JUDGEMENT, THE SUB-GRADE UNDER SLAB ON GRADE WILL SUPPORT THE SLAB AND THE PROPOSED CABANA, CONSTRUCTION OF FOOTINGS WILL HAVE NO IMPACT OF THE SLAB ON GRADE, BECAUSE THE SLAB IS RESTING OVER GRAVEL OVER VIRGIN SOIL.
- NOTIFY THIS ENGINEER FOR INSPECTION

**TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION**

PERMIT NO.: **PR20221023** DATE: **Sept. 7, 2022**

APPROVED BY: *Ashley Vanderwal*

PRELIMINARY ZONING REVIEW



Namcan Engineering and Construction Management Ltd.
john@namcanengineering.ca
416 845 8121

CABANA DESIGN AT 12 BUCHANAN CRES, AURORA, ON,

PROJECT No.: 22N-08	
SCALE: NTS	DATE: JULY.2022
DRAWN BY: A.S	CHECKED BY: J.S
DRAWING NO : S3	PAGE: 3 OF 3



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at pfan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771