

BUILDING DIVISION 2021 YEAR – END REPORT

Planning & Development Services Department



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1. Building Division Overview

The Town of Aurora's Building Division is responsible for the administration and inspection of all new construction within the town. The main function of the Division is to protect lives by ensuring buildings are constructed to meet the health and safety provisions of the Ontario Building Code, the Building Code Act, the Building By-law, and other applicable laws and standards. The Building Division is responsible for the enforcement of the Code to protect the health, safety, and welfare of the public and building occupants.

The *Building Code Act, 1992* and the Ontario Building Code (OBC) apply to all new buildings, demolitions, and changes of use. They also apply to septic systems that have a sewage design capacity of up to 10,000 litres per day. The act and the regulation exist to promote the safety and accessibility of buildings that are:

- Being constructed
- Being renovated
- Undergoing a change of use

The Building Division implemented Phase 1 of the Electronic Plan Review for Building Permits commencing April 19, 2021.

On April 19, 2021, the Building Division launched a new electronic submission process that made it easier and more efficient to submit and review building permit applications. Digital submission will reduce and eventually eliminate paper use and streamline the application process. It eliminates staff in having to scan and print building permits. This was Phase 1 of the digitization of the plan submission process

The Building Division purchased an online Portal for the submission of applications for building permits.

In Phase 2 of the project, through the Portal, Building Services will be completely transitioned online. Registered users will be able to submit building permit applications, pay online, as well check on the status of their application and inspections. With the intake of digital building permit applications, the Town will be equipped to electronically process applications creating a fully paperless submission process.

The Town of Aurora will now join the City of Markham and the City of Vaughan as being the only municipalities in the York Region to have a completely paperless e-permitting process.

**2. 2021 Building Division Financial Report
For the Year Ended December 31,2021**
With Comparative Amounts for 2020

	<u>Prior Year 2020</u>	<u>Current Year 2021</u>
<u>REVENUES</u>		
Permit Fees	1,712,108	2,500,221
Certification Fees	22,846	34,670
Other Income	890	288
TOTAL REVENUE	1,735,844	2,535,179
<u>COSTS</u>		
<u>Direct</u>		
Salaries \$ Benefits	1,280,618	1,318,631
Office Supplies	4,401	3,611
Courses & Seminars	2,407	1,562
Mileage	11,302	14,488
Cellular Charges	3,446	3,738
Consulting Services	104	0
Subscriptions	0	197
Office Equipment	268	1,239
Clothing Allowance	1,937	3,443
Bank Charges	8,307	28,066
Memberships	4,884	4,052
Photocopy Charges	6,242	6,325
Total Direct Costs	1,323,916	1,385,352
<u>Indirect</u>		
Corporate Overhead	604,600	643,800
Fire Department Review	75,000	100,000
Total Indirect Costs	679,600	743,800
TOTAL Costs	2,003,516	2,129,152

SURPLUS / (DEFICIT) for the Year	(267,672)	406,027
<i>Transfers (To) / From Reserves</i>	<u>267,672</u>	<u>(406,027)</u>
	-	-
RESERVE FUND BALANCE AT Beginning of Year	<u>5,700,228</u>	5,602,196
	-	-
Annual Funding Requirement		
Annual Clearing of Net Revenue	(267,672)	406,027
Contribution to Capital	91,897	91.897
Interest Income on Reserve Fund Balance	<u>77,743</u>	<u>77,743</u>
RESERVE FUND BALANCE AT End of Year	<u>5,602,196</u>	<u>6,177,863</u>

Statement Prepared By Town of Aurora Finance Staff



May 25, 2022

Rachel Wainwright-van Kessel, CPA, CMA
Director, Finance
Treasurer

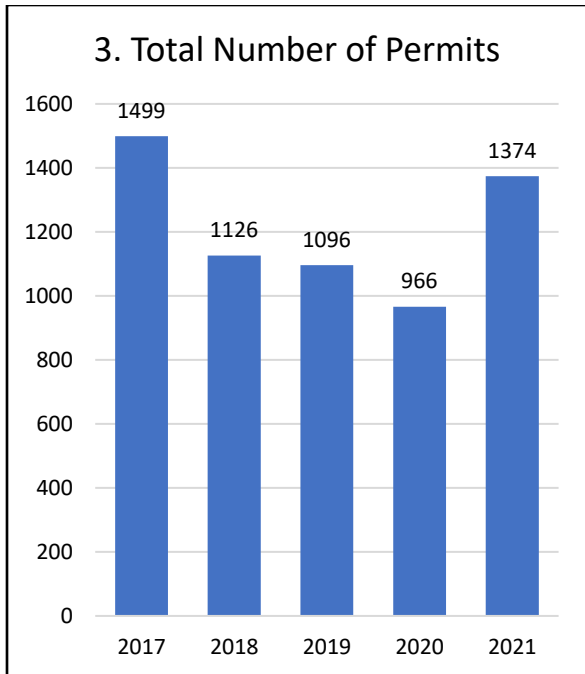


Chart is based on data from January to December.

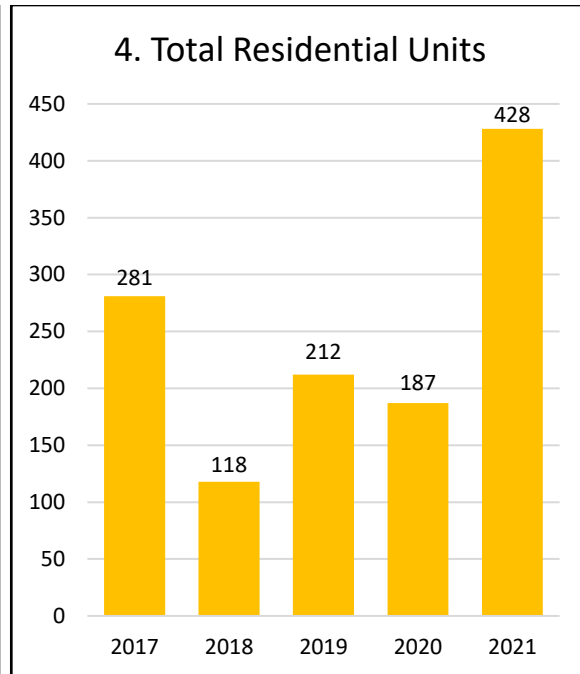


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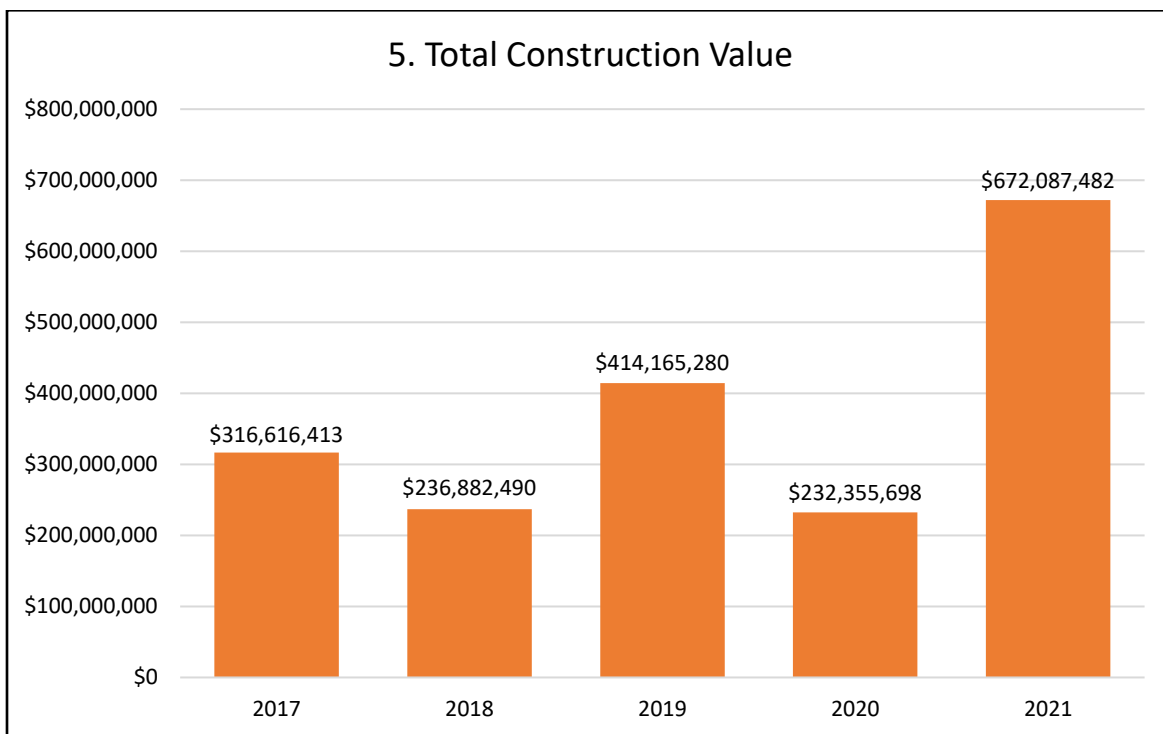
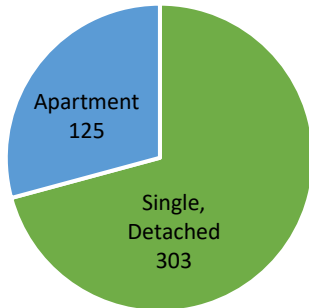


Chart is based on data from January 1, 2021 to December 31, 2021.

6. Residential Units Created By Type (2021)



7. Construction Value By Type (2021)

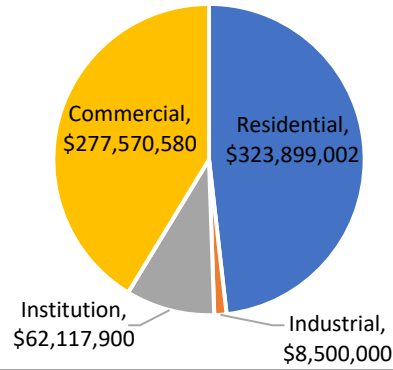


Chart is based on data from January to December.

Chart is based on data from January 1, 2021 to December 31, 2021.

8. Quantity of Complaints

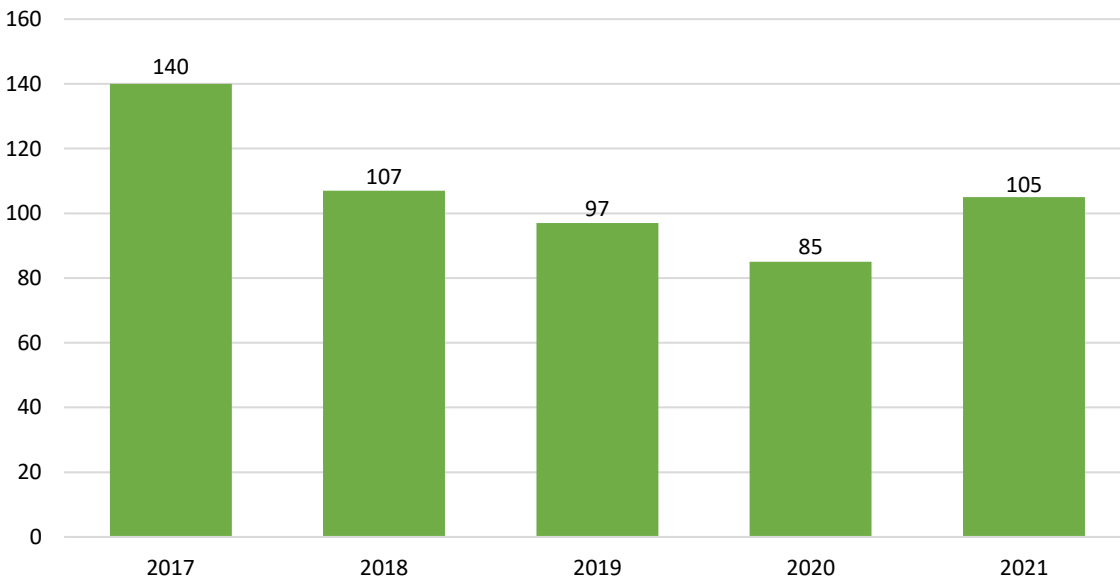


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