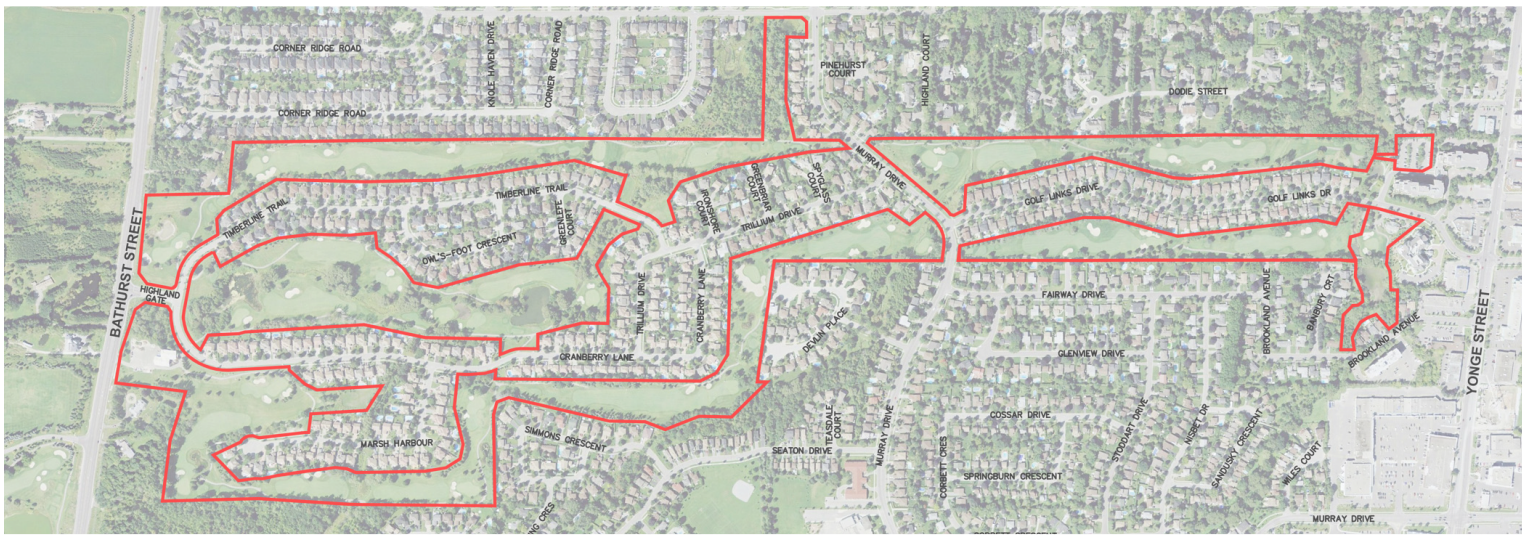


OFFICIAL PLAN AND ZONING BYLAW AMENDMENTS AND DRAFT PLAN OF SUBDIVISION

PLANNING OPINION 21 GOLF LINKS DRIVE TOWN OF AURORA



Prepared By:

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PARSONS LTD.

Prepared For:

Highland Gate Developments Inc.


February 2015

Official Plan and Zoning Bylaw Amendments and Draft Plan of Subdivision

Planning Opinion

21 Golf Links Drive,
Town of Aurora

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List of Supporting Reports

All supporting reports, including those associated with the Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision, are available on the CD included with this submission. Hard copies have been produced as per Town requirements; additional hard copies can be made available upon request.

Report Topic	Report Author
Planning	
Planning Opinion	Malone Given Parsons Ltd.
Community Services & Facilities Study	Malone Given Parsons Ltd.
Urban Design	
Urban Design Guidelines	MBTW Group
Environmental	
Phase I & Phase II Environmental Site Assessment	Golder Associates
Natural Heritage Evaluation	Beacon Environmental
Flood Impact Study (See FSR and Geomorphic Assessment)	SCS Consulting Group / Beacon Environmental
Geotechnical Investigation	Golder Associates
Geomorphic Assessment	Beacon Environmental
Preliminary Hydrogeological Investigation (including Water Budget)	Golder Associates
Tree Inventory and Assessment Report	Schollen & Company Inc.
Landform Conservation Assessment	Malone Given Parsons Ltd. / Beacon Environmental / SCS Consulting Group
Site Servicing	
Functional Servicing and Stormwater Management Report	SCS Consulting Group
Construction Impact Mitigation Study	SCS Consulting Group
Transportation	
Transportation Study (including Parking and Entrance Analyses)	BA Group
Preliminary Environmental Noise Report	Jade Acoustics Inc.
Cultural	
Stage 1 Archaeological Background Study	AMICK Consulting Ltd.
Other	
Park Facilities Fit Assessment	Schollen & Company Inc.
Architectural Control Guidelines	W. Architect

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EXECUTIVE SUMMARY

The purpose of this report is to provide a planning analysis and opinion with respect to the proposed redevelopment of an infill site, formerly operating as Highland Gate Golf Course in the Town of Aurora. The property consists of 18 parcels measuring approximately 41 hectares (101 acres) of land. The redevelopment proposal is for 184 single detached units and a high density residential building with small scale commercial at grade, together with parks and trail system and requires Official Plan and Zoning By-law Amendments and a Draft Plan of Subdivision application.

The property is within the Town of Aurora's Built-up Area (pursuant to the Growth Plan for the Greater Golden Horseshoe) and is also within the Settlement Area of the Oak Ridges Moraine Conservation Plan (ORMCP).

The property is designated *Urban Area* and *Regional Greenlands System* in the York Region Official Plan (YROP) and is designated *Private Parkland* and *Environmental Protection* in the Town of Aurora Official Plan. The proposed redevelopment represents intensification of existing urban lands through appropriate infill development utilizing existing municipal infrastructure. The proposed redevelopment is intensification that conforms with the Growth Plan and is consistent with PPS. The proposed redevelopment implements Provincial and Regional policy and will support the achievement of the Region and Town's intensification targets, which are minimums in any case. The Draft Plan of Subdivision will provide for the redevelopment of the former golf course lands in a logical and efficient manner, while ensuring that the natural heritage and hydrologically sensitive features are preserved and protected in conformity with the ORMCP and the Region and Town's Official Plans. The Draft Plan of Subdivision conforms to the policies of the Town of Aurora Official Plan when amended, to redesignate the property to *Stable Neighbourhood* with a site specific amendment for the high-density residential component. The proposed low-rise residential lot fabric is compatible with the surrounding community and maintains the primary character of the area. The proposed high-density residential building represents an appropriate built form for the area as it completes the last remaining developable parcel in the minor higher-density node around the regional transit stop, while providing alternative and affordable housing types for the community. The design concept for the high-density residential building is appropriate considering its location near existing residential and commercial areas. The proposed height of ten storeys is appropriate considering that shadows from the

building will be acceptable and that in all cases, a 45-degree angular plane is maintained from existing properties in regard to the northern and western building elevations. These are elements of good urban design. A 45-degree angular plane must be applied, where new development on sites within the Aurora Promenade abut properties that are designated *Stable Neighbourhoods*. Although the development site is not within the Aurora Promenade, nor does the high-density residential block directly abut a *Stable Neighbourhood* area (it abuts lands proposed to be designated for *Environmental Protection*) it is our opinion that consideration of building height should be guided by the 45-degree angular plane to achieve transition and compatibility.

The western portion of the property is designated *Settlement Area* within the ORMCP. Development proposals in this portion of the plan are required to conform to the provisions identified in Sections 19(3) and 31(4) of the ORMCP. As discussed further in Section 2.5 of this report, the proposed Draft Plan of Subdivision conforms to the provisions of the ORMCP. Key natural heritage features (KNHF) and hydrologically sensitive features (HSF) were identified on the property and addressed in the Natural Heritage Evaluation by Beacon Environmental. These features and their associated buffers are proposed to either be retained and protected, or altered in conformity with the policies of the ORMCP. Ground water quality will be protected and stormwater runoff will be conveyed in accordance with Town standards through the methods outlined in the Functional Servicing Report by SCS Consulting, including the use of Low Impact Development (LID) measures.

The entire site is within the Lake Simcoe watershed and, as such, the proposed plan is required to conform to Designated Policies and have regard to other policies of the Lake Simcoe Protection Plan (LSPP). As discussed in Section 2.6, the proposed Draft Plan of Subdivision conforms to the designated policies of the LSPP.

The proposed development will require a Zoning By-law Amendment to rezone the subject site from Major Open Space (O/O-2) to Detached Dwelling Second Density Residential Exception1 and 2 (R2-XX1/R2-XX2), Third Density Apartment Residential (RA3-X), Environmental Protection Zone (EP-X), and Major Open Space (O-X) to permit the 184 residential lots and the high-density residential units with small scale commercial at grade. The proposed rezoning appropriately implements the Official Plan (as proposed to be amended) and facilitates the redevelopment proposal.

In our opinion the Official Plan and Zoning By-law Amendments and Draft Plan of Subdivision applications are consistent with, comply with and conform to the applicable Provincial, Regional and Municipal planning policies. The proposed redevelopment will enhance or protect natural heritage, ecological or hydrologically sensitive features in keeping with the policies of the LSPP, ORMCP and, to the extent required, the Town of Aurora Official Plan. The proposed uses and development standards are appropriate, will provide for compatible redevelopment of the former golf course lands, and represent good planning.

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1.0

INTRODUCTION

Highland Gate Developments Inc. is proposing Official Plan and Zoning By-law Amendments and Draft Plan of Subdivision applications, which will permit the redevelopment of the Highland Gate Golf Club lands in the Town of Aurora. The purpose of this section is to describe the purpose of the report and summarize the development application.

1.1 Purpose

The Highland Gate Golf Club was officially closed on November 9, 2014 by its owner citing that the golf course was no longer financially viable. The closure of the Highland Gate Golf Course represents a prime opportunity for a significant reinvestment in the community through the redevelopment of these now underutilized lands through an infill residential community that is compatible within the broader context of the surrounding residential neighbourhood.

While the existing Official Plan designation and Zoning By-law standards permit the site to be used as a golf course, the policies anticipate the site being used for other uses. As the golf course is no longer operating, there is a need to plan for the future use of the subject site.

The purpose of this report is to provide a planning opinion on the applications made by Highland Gate Developments Inc. for an Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision for the redevelopment of the golf course for 184 single detached dwellings and a high-density block

containing an estimated 144 high-density residential units with small scale local serving commercial uses at grade. In addition to the proposed residential units, an open space and trail system is proposed to extend through the site between Bathurst and Yonge Streets, consisting of parkettes, trails and protected natural and hydrologically sensitive areas.

This report addresses the requirements of the Provincial Policy Statement (2014), Growth Plan for the Greater Golden Horseshoe, York Region Official Plan (YROP), Town of Aurora Official Plan, Oak Ridges Moraine Conservation Plan (ORMCP), Lake Simcoe Protection Plan (LSPP) and Zoning By-law 2213-78, as well as other applicable policies and guidelines.

This report also summarizes the findings of the technical reports prepared in accordance with the required supporting information identified following a pre-submission consultation meeting with the Town, LSRCA and other municipal and regulatory staff on January 13, 2015.

1.2 Site Configuration and Adjacent Uses

The subject site is comprised of 18 properties, located in the Town of Aurora between Yonge Street and Bathurst Street, south of Wellington Street West. Figure 1.1 provides a location map and Table 1.1 provides the legal description of the properties.

Figure 1.1: Subject Site Properties




 Subject Lands

Table 1-1: Legal Description of the Properties

#	Party to:	Legal Description	PIN	Municipal Address
1	Aurora (HGD) Inc.	PCL PLAN-1 SEC M2034; BLKS 58 & 59 PL M2034 EXCEPT PTS 1, 2, 3, 4 & 5 65R10870, PTS 1 & 2 65R4519, PTS 2, 4 65R10908, PTS 1, 2 65R17094; T/W PT LT 79 CON 1 (KING) & PT LT 29 PL 246 OVER PTS 13 & 14 65R3669 AS IN KI15981 & AU5886; T/W COMMON ELEMENTS ON YORK REGION CONDOMINIUM PLAN NO. 692 PT 45 65R10908 AS IN LT646591 (S/T LT62521, LT419874, LT642025); T/W PT BLK 58 PL M2034 PTS 56, 57, 62, 63 & 64 65R10908 AS IN LT601701 (S/T LT62521, LT86392, LT255324, LT255398, LT346177, LT419874, LT601687, LT601688, LT601697 & LT601698); T/W PT BLKS 58 & 59 PL M2034 PTS 48, 50, 54 & 55 65R10908 AS IN LT601699 (S/T LT62521, LT86392, LT255324, LT255398, LT346177 & LT419874); T/W PT BLK 58 PL M2034 PTS 38, 39, 43, 56, 59 & 60 65R10908 AS IN LT601697 (S/T LT62521, LT86392, LT255324, LT255398, LT346177, LT419874, LT601687, LT601688); T/W BLK 58 PL M2034 PTS 64, 66, 39 & 41 65R10908 AS IN LT601687 (S/T LT62521, LT86392, LT255324, LT255398, LT346177 & LT419874); S/T PTS 14, 15 19, 28 & 30 65R10908 & PTS 3, 5 & 6 65R13142 AS IN LT601689; S/T PT 3 65R11616 AS IN LT601703; S/T PT 4 65R11616 AS IN LT601706; S/T PTS 44 & 46 65R10908 AS IN LT622833; S/T PT 47 65R10908 AS IN LT622834 ; S/T AU7862,B1195B,B52350B,LT601679, LT601684,LT86268,LT86270,LT86271,LT8628 9 AURORA (AMENDED 97/11/25 AT 7:59. S. HOULAHAN)	036590164	21 Golf Links Drive
2	Aurora (HGD) Inc.	PCL PLAN-1 SEC M2035; BLK 100 PL M2035 EXCEPT NW PORTION OF BLK 100 PL M2035 NOW BEING PT OF LT 3 PL 65M2304; T/W PT LT 79 CON 1 & PT LT 29 PL 246 PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT726704, LT86269,LT86272,LT86273,LT86289 AURORA TOWN OF AURORA	036590177	21 Golf Links Drive

#	Party to:	Legal Description	PIN	Municipal Address
3	Aurora (HGD) Inc.	PCL PLN-1, SEC 65M2243; BLK 10, PL 65M2243, SAVE & EXCEPT PTS 2 & 3 ON 65R12241; T/W AS IN A7123A; S/T PT BLK 10, PL 65M2243 LYING WITHIN THE LIMITS OF PT 1 ON 65R7486 IN LT210915. S/T EASE OVER PT BLK 1 & 2 PL 65R26288 IN FAVOUR OF THE CORPORATION OF THE TOWN OF AURORA, AS IN YR484161. S/T EASEMENT OVER BLK 10, PL 65M2243, SAVD & EXCEPT PTS 2 & 3, 65R12241, IN FAVOUR OF PT NE1/4 LT 16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA	036560291	21 Golf Links Drive
4	Aurora (HGD) Inc.	BLOCK 52, PLAN 65M3679, AURORA.	036560353	21 Golf Links Drive
5	Aurora (HGD) Inc.	PCL PLAN-1 SEC M2035; BLK 96 PL M2035 EXCEPT PL 65M2243; T/W PT LT 79 CON 1 (KING) & PT LT 29 PL 246 PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT210914, LT210915, LT86272 AURORA. S/T EASE OVER PT 1 65R26050 AS IN YR324631; S/T EASEMENT OVER BLK 96, M2035 EXCEPT PL 65M2243, IN FAVOUR OF PT NE1/4 LT 16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA	036560289	21 Golf Links Drive
6	Aurora (HGD) Inc.	PCL 71-1 SEC 65M2336; BLK 71 PL 65M2336; T/W PT LT 79, CON 1 & PT LT 29 PL 246, PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT210915, LT259074, LT259833, LT260030 AURORA. S/T EASE OVER PT 2 65R26050 AS IN YR324631; S/T EASEMENT OVER, BLK 71, 65M2336, IN FAVOUR OF PT NE 1/4 LT 16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA	036560176	21 Golf Links Drive
7	Aurora	PCL 28-1 SEC 65M2391; BLK 28 PL 65M2391; T/W PT LT 79, CON 1 & PT LT 29	036560149	14929 Bathurst Street

#	Party to:	Legal Description	PIN	Municipal Address
	(HGD) Inc.	PL 246, PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT363155,LT363156 SUBJECT TO AN EASEMENT OVER PT 1, 65R28406, IN FAVOUR OF PT LOT 78, CON 1, KING , AS IN R394857 AS IN YR1788452 TOWN OF AURORA		
8	Aurora (HGD) Inc.	PCL 31-1 SEC 65M2391; BLK 31 PL 65M2391; T/W PT LT 79 CON 1 & PT LT 29 PL 246 PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT259833,LT363155 AURORA; S/T EASEMENT OVER BLK 31, PL 65M2391, IN FAVOUR OF PT NE1/4 LT 16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA	036570016	21 Golf Links Drive
9	Aurora (HGD) Inc.	PCL 67-1 SEC 65M2336; BLK 67 PL 65M2336; T/W PT LT 79 CON 1 & PT LT 29 PL 246 PTS 13 & 14 65R3669 AS IN KI15981 & AU5886; T/W PT CRANBERRY LANE PL 65M2259 PT 13 65R7492 AS IN LT210951; T/W PT LT 1 PL 65M2259 PTS 7 & 11 65R7492 AS IN LT482282 ; S/T LT259799, LT259833,LT260030; S/T EASEMENT OVER BLK 67, PLAN 65M2336, IN FAVOUR OF PT NE 1/4 LT 16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA	036570064	21 Golf Links Drive
10	Aurora (HGD) Inc.	PCL 54-1 SEC 65M2259; BLK 54 PL 65M2259; T/W PT LT 79 CON 1 & PT LT 29 PL 246 PTS 13 & 14 PL 65R3669 AS IN KI15981 & AU5886 ; S/T LT259799 AURORA; S/T EASEMENT OVER BLK 54, PL 65M2259,IN FAVOUR OF PT NE1/4 LT 16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA	036570097	21 Golf Links Drive
11	Aurora (HGD) Inc.	PCL 75-1 SEC 65M2358; BLK 75 PL 65M2358; T/W PT LT 79 CON 1 & PT LT 29 PL 246 (AK) OVER PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT273689,LT273691, LT273692,LT363155 AURORA; S/T EASEMENT OVER BLK 75, PL 65M2358, IN FAVOUR OF PT NE1/4 LT	036580189	21 Golf Links Drive

#	Party to:	Legal Description	PIN	Municipal Address
		16, CON 2(KING) & PT LTS 17 & 18, CON 2(KING) PTS 1 & 3, PL 65R15552, AS IN YR2228876 TOWN OF AURORA		
12	Aurora (HGD) Inc.	PCL 36-1 SEC 65M2198; BLK 36 PL 65M2198; T/W PT CRANBERRY LANE PL 65M2259 OVER PT 13 65R7492 AS IN LT210951 ; T/W PT LT 49 PL 65M2259 OVER PTS 2 & 15 65R7492 AS IN LT267697 ; T/W PT LT 2 PL 65M2259 OVER PTS 8, 10 & 12 65R7492 AS IN LT273001 ; T/W PT LT 50 PL 65M2259 OVER PTS 3 & 14 65R7492 AS IN LT482283 ; S/T LT205483, LT86257 TOWN OF AURORA	036580083	21 Golf Links Drive
13	Aurora (HGD) Inc.	PCL 56-1 SEC 65M2259; BLK 56 PL 65M2259; T/W PT LT 79 CON 1 & PT LT 29 PL 246 (AK) OVER PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; AURORA	036580140	21 Golf Links Drive
14	Aurora (HGD) Inc.	PCL PLAN-1 SEC M2036; BLK 11 PL M2036; T/W PT LT 79 CON 1 & PT LT 29 PL 246 (AK) OVER PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; AURORA	036580338	21 Golf Links Drive
15	Aurora (HGD) Inc.	PCL 97-1 SEC M2035; BLK 97 PL M2035; T/W PT LT 79 CON 1 & PT LT 29 PL 246 (AK) OVER PTS 13 & 14 65R3669 AS IN KI15981 & AU5886 ; S/T LT86273 AURORA	036580337	21 Golf Links Drive
16	Aurora (HGD) Inc.	PCL 99-1 SEC M2035; BLK 99 PL M2035; T/W PT LT 79 CON 1 & PT LT 29 PL 246, PTS 13 & 14, 65R3669 AS IN KI15981 & AU5886 ; S/T LT86273 AURORA S/T EASEMENT IN GROSS OVER PTS 1 & 2, 65R28792, AS IN YR801173.	036600013	21 Golf Links Drive
17	Aurora (HGD) Inc.	PT BLK 60 PL M2034, EXCEPT PT 1 65R4520, PT 1 65R10273 & PTS 1, 2, 3, 4 & 12, 65R25544 ; T/W PT LT 79 CON 1 & PT LT 29 PL 246, PTS 13 & 14, 65R3669, AS IN KI15981 & AU5886 . S/T LT86268, LT86269, LT86271 & LT86289 TOWN OF AURORA	036600758	21 Golf Links Drive
18	Aurora	BLK 7 PL 65M2441, EXCEPT PTS 7 & 8, 65R25544 ; T/W PT LT 79 CON 1 & PT LT 29	036600760	21 Golf Links Drive

#	Party to:	Legal Description	PIN	Municipal Address
	(HGD) Inc.	PL 246, PTS 13 & 14, 65R3669, AS IN KI15981 & AU5886 . S/T PT 6 65R24131, EXCEPT PT 8 65R25544, IN FAVOUR OF LT 1 PL 65M2441, AS IN LT366750. S/T PT 7 65R24131 & PT 6 65R24131, EXCEPT PT 8 65R25544, IN FAVOUR OF LT 2 PL 65M2441, AS IN LT366751 . S/T PT 8 65R24131 IN FAVOUR OF LT 3 PL 65M2441, AS IN LT366752 . S/T PT 8 65R24131 IN FAVOUR OF LT 4 PL 65M2441, AS IN LT366753 . S/T PT 9 65R24131 IN FAVOUR OF LT 5 PL 65M2441, AS IN LT366754 . S/T PT 9 65R24131 IN FAVOUR OF LT 6 PL 65M2441, AS IN LT366755 . S/T EASE OVER PTS 9, 10 & 11, 65R25544 IN FAVOUR OF PT BLK 60, PL M2034, PTS 3, 4 & 12, 65R25544 AS IN YR464477. S/T EASE OVER PTS 9, 10 & 11, 65R25544 IN FAVOUR OF PT LOT 82, PL 246, PTS 5 & 6, 65R25544 AS IN YR464477. S/T EASE OVER PTS 9, 10 & 11, 65R25544 IN FAVOUR OF PT BLK 7, PL 65M2441, PTS 7 & 8, 65R25544 AS IN YR464477 TOWN OF AURORA		

The subject site was formerly a golf course operating as the Highland Gate Golf Club. The surrounding community consists of single detached dwellings, a senior’s residence and two apartment buildings. The following summarizes the surrounding uses:

To the North:

- Single Detached Residential

To the East:

- Seniors Home
- Apartment Buildings
- Yonge Street
- Commercial Uses

To the South:

- Single Detached Residential

To the West:

- Bathurst Street
- Kings Riding Golf Course
- Vacant Land

1.3 Current Land Use

The subject site was formerly used as a golf course with three buildings on site: a clubhouse, pump house and a turf maintenance building. The subject site has a variety of grades reflecting the design of the golf course. The surrounding homes were built around the fabric of the golf course, resulting in linear stretches along the former golf course holes where existing dwellings abut the property on one or more sides. There are a number of natural heritage and hydrologically sensitive features on and adjacent to the site, including a watercourse and two on-line ponds bisecting portions of the site, and wetland and wooded areas on portions of the site and on adjacent lands.

1.4 Development Proposal

The overall layout provides for the redevelopment of the subject site within the linear stretches of developable land, while ensuring that the natural heritage, ecological and hydrologically sensitive features are preserved including appropriate buffers and mitigation measures between the proposed lots and existing residential areas, as shown in Figure 1.1. The Draft Plan of Subdivision, which proposes 184 lots for single detached dwellings and a block for a high-density building (estimated to yield 144 units plus small scale commercial at grade), will be built in accordance with Architectural Design Standards to ensure the new development is a compatible, attractive and desirable addition to the community. The high-density block will be the subject of further site plan control and draft plan of condominium development applications.

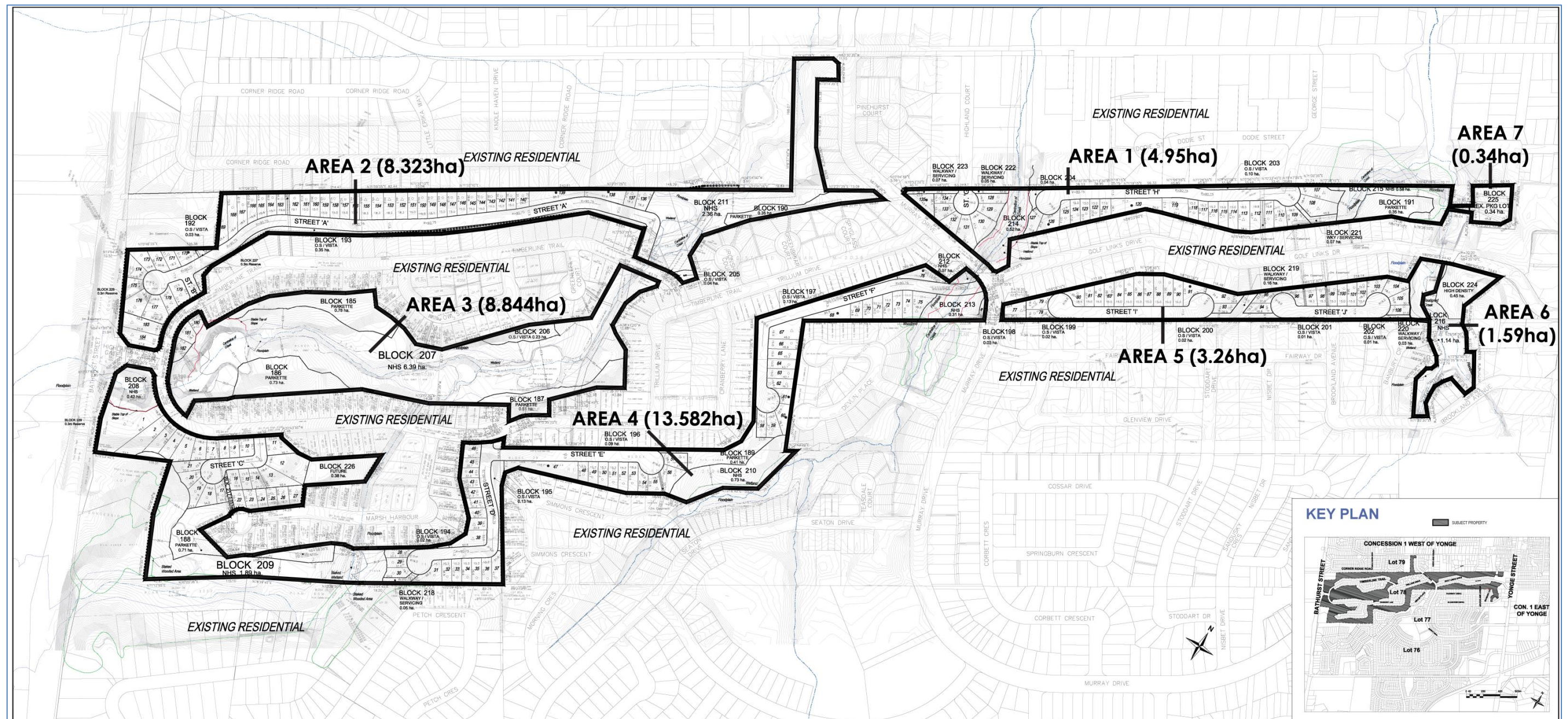
The Draft Plan has been designed to provide an efficient lot layout; this has necessitated single-loaded roads throughout most of the plan area. The proposed streets are designed to minimize, to the extent possible, the impact to existing residences from noise and light impacts from new vehicle movements, and the need for terrain modification through cut and fill or the need for retaining walls. Efforts have been made to minimize the potential environmental impact of new development through the use of Low Impact Development (LID) stormwater management techniques. In addition, the development will be municipally serviced.

The single detached residential lots generally have frontages between 15 and 23 metres and lot depths of between 29 and 45 metres. The subject site can be divided into seven main areas, as illustrated in Figure 1.2. The distribution of lots within each area of the draft plan is shown in Table 1-2.

Table 1-2: Distribution of Lots within the Draft Plan

Plan Area	Number of Lots
1	29
2	46
3	3
4	76
5	30
6	High Density Site
7	0
TOTAL	184

Figure 1.2: Subject Site by Area

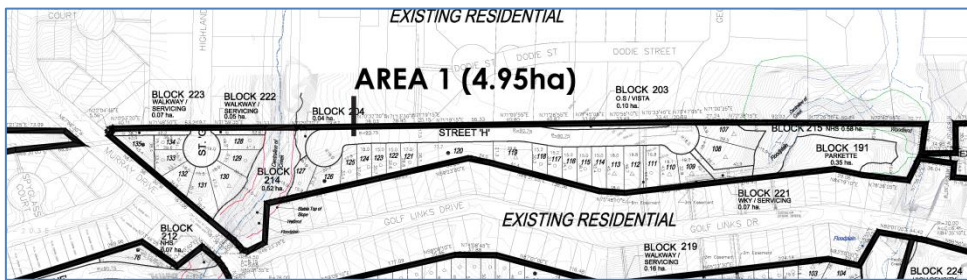


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1.4.1 Area 1

Area 1 is located on the northeast portion of the Draft Plan and is composed of the extension and completion of two existing streets, George Street and Highland Court. Street ‘G’ is the final portion of Highland Court, maintaining the road standard existing on this street and terminating in a cul-de-sac with a radius of 19.0m. Street ‘H’ is a new single-loaded local street proposed at an Alternative Development Standard of 17.5m in width and is aligned to work with the existing grading to minimize the need for additional infrastructure. An additional unit is provided off of Murray Drive. On the eastern side of Area 1, a walkway is provided in order to access a parkette with proposed tennis courts.

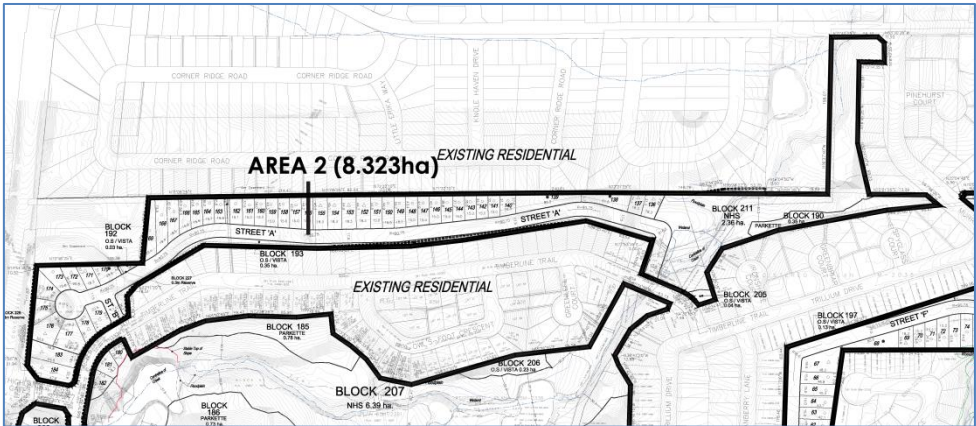
Figure 1.3: Area 1 of Draft Plan



1.4.2 Area 2

Area 2 is located on the northwest portion of the Draft Plan and is composed of a mostly single-loaded street (Street ‘A’). Street ‘A’ is a new Alternative Development Standard 17.5m local street proposed directly connected to the existing road network (Timberline Trail) on the eastern side and is connected via Street ‘B’ (Alternative Development Standard 17.5m local street) on the western side, providing two access points for ease of access into the area for residents and emergency services. Similar to Area 1, the alignment of the street has been designed to work with existing grading and eliminate the need for a retaining wall along the southern portion of Area 2.

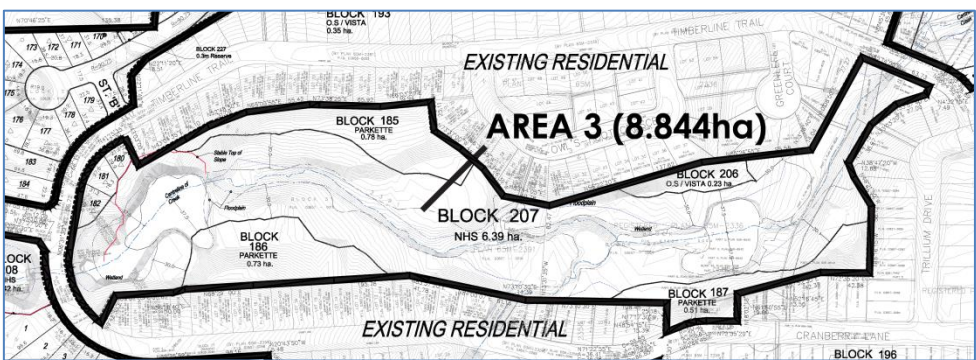
Figure 1.4: Area 2 of Draft Plan



1.4.3 Area 3

Area 3 is located in the central portion of the Draft Plan and is intended to be the primary area accommodating open space and recreation opportunities for surrounding residents. There are three residential units proposed fronting onto Timberline Trail in this area to complete the lotting and streetscape on this road. The presence of natural heritage and hydrologically sensitive features bisecting this area provide an opportunity for it to function as a central place of environmental protection, enhancement and amenity space in the proposed plan. Accordingly, this area is proposed to be predominantly open space, providing protection of the watercourse and wetlands, enhancement of the ecological function of these features through the removal of two online ponds at the request of the Lake Simcoe Region Conservation Authority, and recreational opportunities through three parkettes and low-intensity recreational uses such as trails.

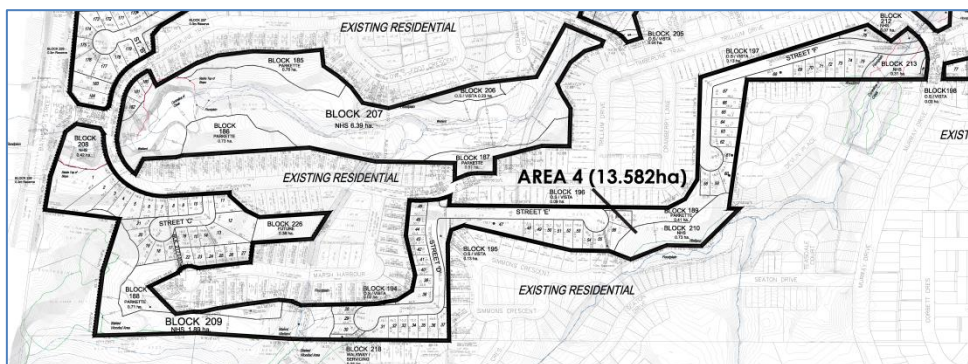
Figure 1.5: Area 3 of Draft Plan



1.4.4 Area 4

Area 4 is located on the southwest and southern portion of the Draft Plan and is composed of single-detached units on new local roads that connect to Cranberry Lane and Murray Drive/Golf Links Drive, and single detached units that complete the streetscape of Cranberry Lane. Street ‘C’ is an Alternative Development Standard 17.5m wide short cul-de-sac off Cranberry Lane; a walkway and servicing block is provided to access the proposed parkette in the southwestern portion of the Draft Plan at the western limit of Marsh Harbour. Streets ‘D’ and ‘E’ (both Alternative Development Standard 17.5m wide local streets) also connect to Cranberry Lane. The placement of the streets accounts for the grading characteristics of the area and serves to minimize grading issues on the residential lots. Street ‘F’ converts the three-way intersection at Murray Drive and Golf Links Drive into a four-way intersection, crossing a watercourse to a proposed Alternative Development Standard 17.5m wide local street to develop the central portion of the draft plan; the design and siting of Street ‘F’ mitigates the grading issues on residential lots and the need for retaining walls as per the Functional Servicing Report prepared by SCS Consulting dated February 2015.

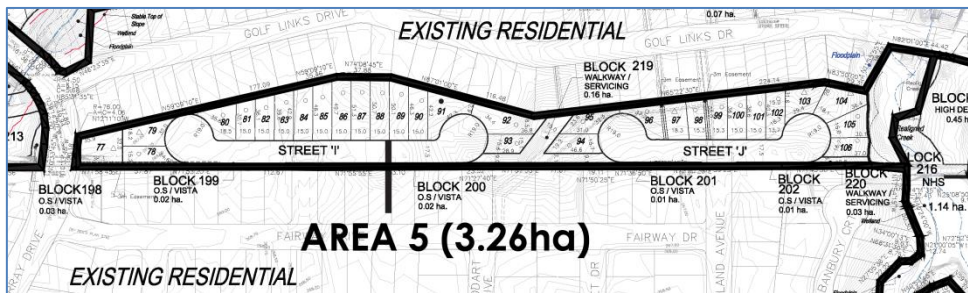
Figure 1.6: Area 4 of Draft Plan



1.4.5 Area 5

Area 5 is located on the southeastern portion of the Draft Plan and is composed of two streets (Streets ‘I’ and ‘J’, both proposed Alternative Development Standard 17.5m wide streets) that extend two existing dead-ended streets (Eldon Court and Brookland Avenue). Both streets are short and terminate with cul-de-sacs on each side; however, a walkway and servicing block is provided to connect the two.

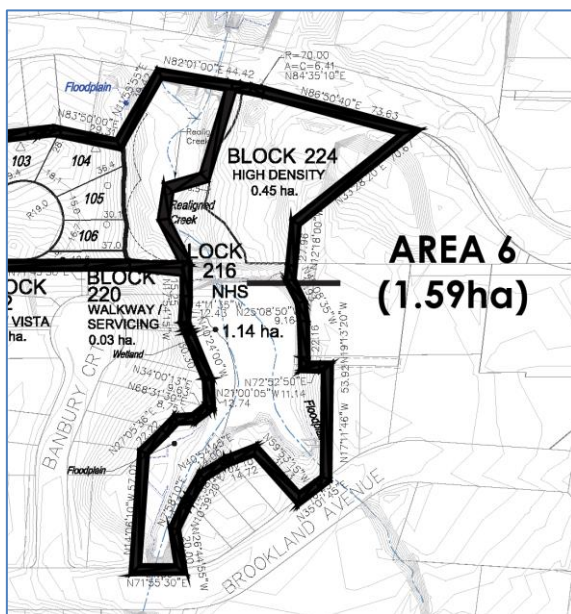
Figure 1.7: Area 5 of Draft Plan



1.4.6 Area 6

Area 6 is located on the eastern side of the Draft Plan and is the site of the proposed high density residential building. The block contains a creek, which is proposed to be naturalized and realigned following redevelopment, and a wetland. The tableland area on the northeast corner of Area 6 is proposed to be developed with a high-density residential building. The resulting natural buffer between the existing residential neighbourhood and the proposed high-density residential building is a minimum of 30 metres, providing an ample setback to protect the required sightlines.

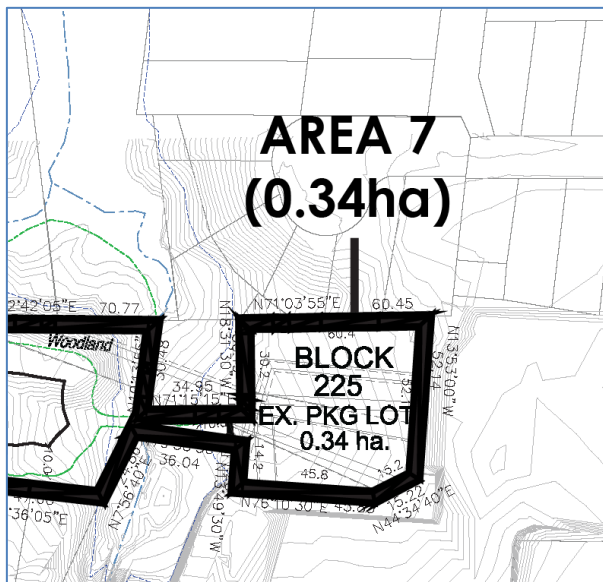
Figure 1.8: Area 6 of Draft Plan



1.4.7 Area 7

Area 7 is also located on the eastern portion of the Draft Plan, north of Golf Links Drive. It was used as a parking lot for the former Highland Gate Golf Club, with an arrangement for occasional parking with the adjacent apartment buildings. The parking lot use is proposed to remain, and provide visitor and additional parking for the proposed high-density residential building.

Figure 1.9: Area 7 of Draft Plan



1.4.8 Housing Forms, Densities, Lot Dimensions

The mix of single detached lots, ranging from 15 metres to over 18 metres in lot frontage achieves a net residential density (the number of lots divided by the area of those lots) of 13.2 units/net hectare. As compared to the surrounding community, the new development is a lower density (largely as a result of the single loaded roads) than the existing neighbourhood adjacent to the subject site and the neighbourhoods to the south and northwest. Refer to Figure 1.10: Net Residential Densities of Surrounding Neighbourhoods which illustrates the net densities in the surrounding neighbourhoods.

The slightly lower density of the proposed plan is partly a result of the generally larger lots, due primarily to generous lot depths and the single-loaded roads throughout the site. There are a total of 121 15-metre wide lots or greater proposed, 52 18-metre or greater lots proposed, and 11 custom lots that will require their own zoning category but provide a lot area that is comparable to a 15m lot (460 square metres) or greater.

Although no minimum lot depth is required by the R2 Zone Standard (used in determining the appropriate lot types for the development), a minimum lot width of 15.0m and lot area of 460 square metres would require a minimum lot depth of 30.7 metres. Throughout the draft plan, the proposed lots generally exceed either the minimum lot width or depth, with many lots (for instance along Street A, E, F, G, H, and I) providing over 40m of depth. The extra depth of these lots is appropriate given the geometry of the developable areas and the necessity for single loaded roads. The extra deep lots provide more amenity space, and the opportunity for greater separation of new and existing homes. While specific lots will require site specific zone requirements and will be built as custom lots, the overall summation of the low density housing forms and lot dimensions is that these lots will be compatible with the surrounding community and in keeping with the character and development standards of the area.

Overall, we are of the opinion that the density and housing form in the low density areas of the plan is in keeping with the intent of the zoning bylaw for the R2 standard, generally in keeping with or slightly below the density of surrounding neighbourhoods, and is appropriate given the immediate context and interface with lots of equal or smaller size.

With regard to the high density block, at this time it is estimated that a total of 144 units, together with small scale local serving commercial at grade, can be accommodated in a ten-storey building on 0.45 hectares, resulting in an efficient density of 320 units/net hectare. The scale and location of the building is generally in keeping with the nearby 7 and 6 storey apartment buildings and 4 storey seniors' residence, which collectively form a minor node of higher density housing for the surrounding neighbourhoods.

The draft plan locates this use on a Block that is separated from existing residences by an *Environmental Protection Area* (consisting of a watercourse and wetland with their buffer) forming a natural setback. The design of the building will conform with a 45⁰ angular plane on the north and west elevations with regard to nearby properties. It is our opinion that the density of the proposed high density block can be supported and the Block is appropriately located at the

eastern end of the plan where it is within walking distance of commercial uses on Yonge Street, and a transit stop at Golf Links Drive and Yonge Street on the Region’s rapid transit corridor. Moreover, the building will provide a greater mix of housing in the neighbourhood, allowing both young families and older residents greater opportunities to locate in the area and to have the opportunity to move through a full life cycle of housing in the same neighbourhood. The high density building additionally provides an opportunity for affordable housing as required by the Region of York Official Plan Policy 3.5.6 and the Aurora Official Plan Policy 6.3. Policy 6.3a)i), specifically states that “affordable housing may be achieved by promoting higher density housing forms, where housing is more affordable due to reduced per unit land costs.” Forthcoming site plan and draft plan of condominium applications will propose a building designed within the estimated density and height of 320 units/net hectare and ten storeys respectively.

In regard to the additional units in the study area shown in **Figure 1.10: Net Residential Densities of Surrounding Neighbourhoods,**

Table 1-3 Dwelling Units in the Study Area below summarizes the total units in the study area as per the 2011 Census versus the change in the units from the addition of the proposed plan (184 single detached units and 144 apartments over 5 storeys). As can be seen, the effect will be to maintain the percentage of single-detached units in the study area at 57% of the overall unit mix, while slightly increasing the proportion of apartments over 5 storeys from 11% to 14%. It is our opinion that this modest change reflects a positive increase in the variety and choice of housing in the study area that contributes to creating a more complete community while maintaining the overall housing character.

Figure 1.10: Net Residential Densities of Surrounding Neighbourhoods

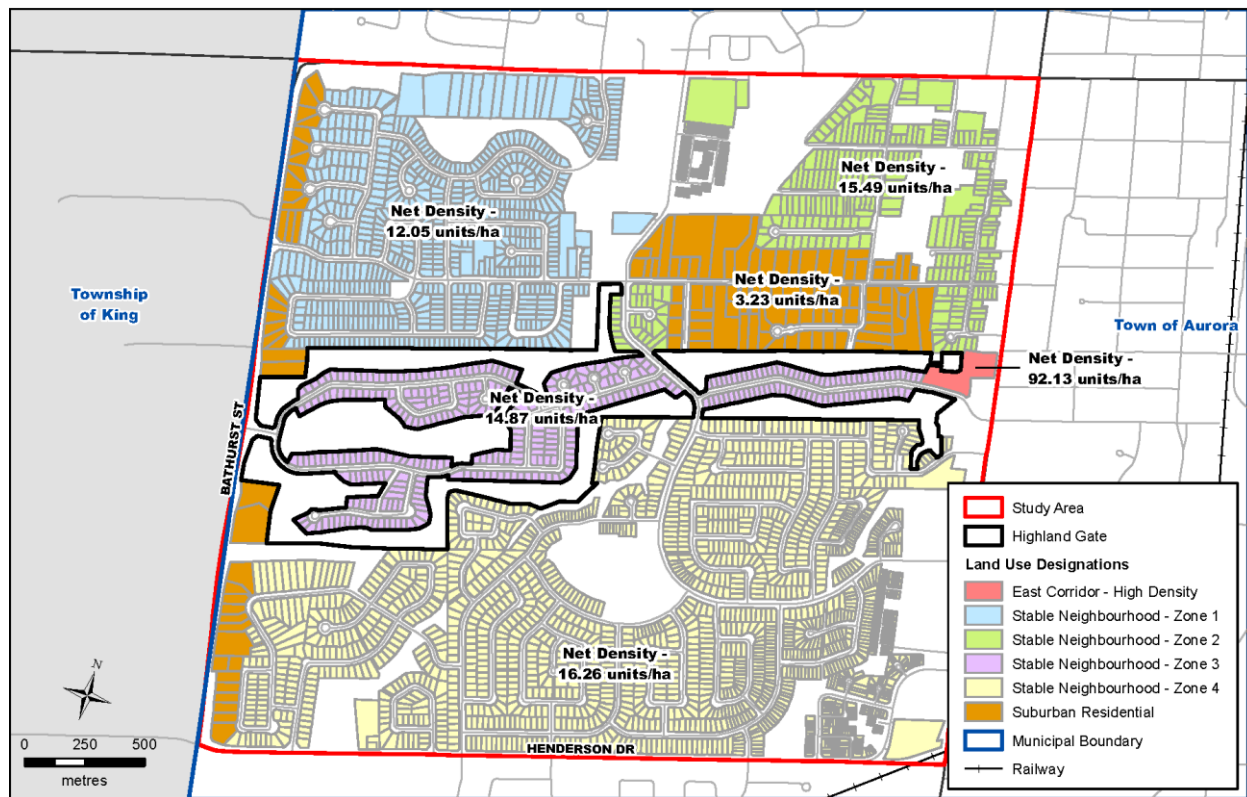


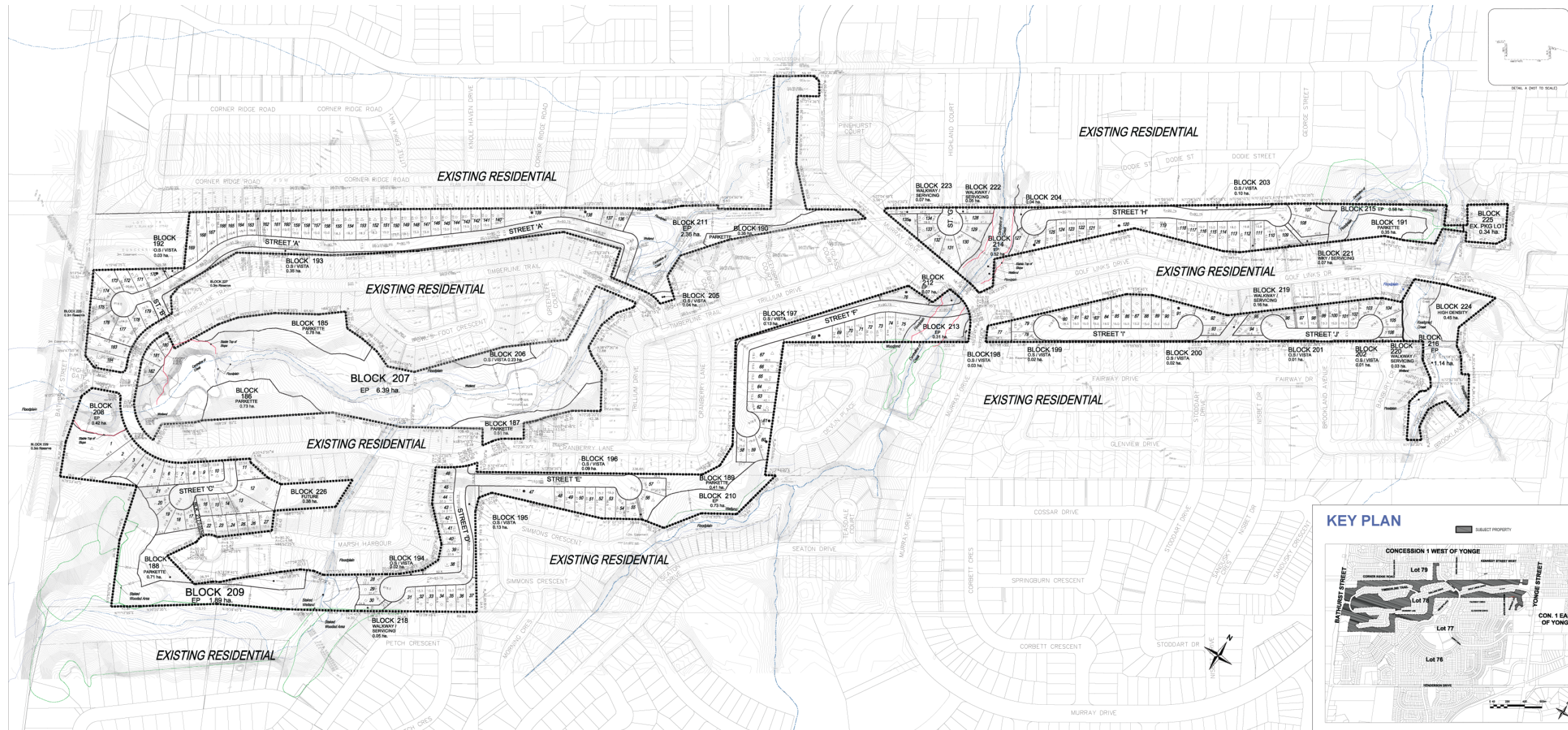
Table 1-3 Dwelling Units in the Study Area

Occupied Private Dwelling Type	2011 Census Occupied Private Dwellings	% of Total Dwellings	Adjusted Dwellings (with Highland Gate Proposal)	% of Total Dwellings
Single-detached house	2,440	57%	2,624	57%
Apartment 5 or more storeys	485	11%	629	14%
Movable dwelling	0	0%	0	0%
Semi-detached house	250	6%	250	5%
Row house	435	10%	435	9%
Apartment, detached duplex	180	4%	180	4%
Apartment less than 5 storeys	465	11%	465	10%
Other single-attached house	0	0%	0	0%
Total	4,255	100%	4,583	100%

Source: PCensus Statistics Canada, Census Profile, 2011 & Highland Gate Draft Plan February 2015, MGP.

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Figure 1.11: Draft Plan of Subdivision



DRAFT PLAN OF SUBDIVISION

Block 28 & 31, Plan 65M-2391 & Block 75, Plan 65M-2358, Part of Blocks 58, 59 & 60, Plan M-2034, Part of Block 7, Plan 65M-2441, Blocks 97 & 99 & Part of Blocks 96 & 100, Plan M-2035 & Block 11, Plan M-2036 & Block 36, Plan 65M-2198 & Blocks 67 & 71, Plan 65M-2336 & Block 54, Plan 65M-2259 & Part of Block 10, Plan 65M-2243 & Block 52, Plan 65M-3679
 Town of Aurora
 Regional Municipality of York

ADDITIONAL INFORMATION

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13 (R.S.O. 1990).
 (a), (b), (e), (f), (g), (i), (j) - As shown on the Draft Plan.
 (c) - As shown on the Draft and Key Plan
 (d) - Land to be used in accordance with the Schedule of Land Use.
 (i) - Soil is clay loam.
 (h), (k) - Full municipal services to be provided.
 NOTE: Contours relate to Canadian Geodetic Datum. Contour interval is 1m with 0.5m interpolated. All corner radii on locals are 5.0m.

SCHEDULE OF LAND USE

LOT/BLOCK	LAND USE	UNITS	AREA (ha)
1-184	Min. 18.0m Single Family Detached	52	13.92
	Min. 15.0m Single Family Detached	121	
	Custom Single Family Detached	11	
Blocks 185-191	Parkettes		3.84
192-206	Open Space / Vistas		1.25
207-216	Environmental Protection		14.41
217-223	Walkways / Servicing Blocks		0.46
224	High Density Block		0.45
225	Existing Parking Lot		0.34
226	Future Residential		0.38
227-229	Reserves		0.01
STREETS A-J	17.5m Road with a length of 2,976m		5.83
TOTAL		184	40.89

OWNER'S AUTHORIZATION

I hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the Town of Aurora.

HIGHLAND GATE DEVELOPMENTS INC. Date _____

SURVEYOR'S CERTIFICATE

I hereby certify that the boundaries of the lands to be subdivided as shown on this Plan and their relationship to the adjacent lands are accurately and correctly shown.

Rady-Pentek Surveying, O.L.S. Date _____

Prepared for:
HIGHLAND GATE DEVELOPMENTS INC.
 3190 Steeles Avenue East, Suite 300
 Markham, Ontario L3R 1G9
 (905) 477-1177

Prepared by:
MALONE GIVEN PARSONS LTD.
 140 Renfrew Drive, Suite 201
 Markham, Ontario, L3R 6B3
 Tel. (905) 513-0170
 www.mgp.ca

Date: February 24, 2015
 Project No: 14-2260
 Scale: 0 10 50 100 150m

Date	Revision	By

Source: Malone Given Parsons Ltd. (2015)

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1.5 Urban Design Guidelines

MBTW Group prepared Urban Design Guidelines for the subject site in February 2015. The guidelines discuss how various elements of the new and existing development work together to create a balanced and integrated community that is supported by the urban design goals and objectives outlined in the Town of Aurora Official Plan.

The redevelopment is proposing a high quality infill community that reinvents the former golf course lands as a complete and connected residential neighbourhood. The design approach will include high quality architecture and an effective landscape strategy for open space. The proposed lot fabric, housing types, streetscapes and architectural styles will be compatible with the surrounding established residential neighbourhood. New development will consist of high quality architecture and landscaping, and will employ sustainable development practices.

The streetscape composition and architectural character and style of new development will respect and be complementary to the existing forms and styles in the neighbourhood so as to integrate the proposed development into the Town's urban fabric and to ensure that compatibility is achieved.

1.6 Environmental Site Assessment

Golder Associates completed a Phase I Environmental Site Assessment (ESA) for the property, dated February 2015. The report includes a review of current and historic information on the subject site and surrounding properties including topographical maps, a site walkover, interviews, and the results of the preliminary geotechnical and hydrological investigation.

Based on the findings of the Phase I ESA, a Phase II ESA was required to investigate certain areas that align with best practices related to the application of pesticides, fertilizers, and the presence of above ground storage tanks in the former golf course maintenance area.

A Phase II ESA was completed in February 2015 by Golder Associates. The reported contaminant potential in all soil samples were below the applicable site condition standards, however one sediment sample and one groundwater sample were found above the applicable criteria. Further delineation and/or the completion of a risk assessment/remediation is required prior to the submission of a Record of Site Condition.

1.7 Natural Environment

Beacon Environmental completed a Natural Heritage Evaluation for the subject site. The majority of the site consists of a former golf course, and includes significant and non-significant environmental features. As recommended by Beacon, the floodplain areas are environmentally protected on the Draft Plan. Lands outside of the floodplain that are within the Environmental Protection Area, including environmental features and their associated buffers, are further protected. The remaining open space system provides opportunities for passive and active recreation, as further detailed in the Parks and Open Space section of this Report. The entire open space system is shown in Figure 1.12.

The woodland boundaries were staked by the LSRCA in December 2014. There are three woodlands on the Oak Ridges Moraine, to which a Minimum Vegetation Protection Zone (MVPZ) of 30 metres has been applied in accordance with the ORCMP. East of Murray Drive the woodland in the northeast corner meets the York Region and Town of Aurora criteria for significant woodland and, accordingly, has been protected with a ten metre buffer.

There are wetlands identified on the subject site which are associated with drainage features. The boundaries of these wetlands will be confirmed through staking with the LSRCA during the summer months of 2015. At this time, wetland boundaries have been estimated from field investigations in the Summer/Fall of 2014. For those wetlands within the ORMCP Area, MVPZs of 30 metres are provided, with the exception of the area just downstream of Timberline Trail and Highland Gate, where a reduced buffer is warranted with the removal of on-line ponds and a coincident reduction in size of the extent of associated wetland. Wetlands that are not within the ORM (i.e., east of Murray Drive) will receive a buffer of 15 m, as per the policies of the York Region and Town of Aurora Official Plans.

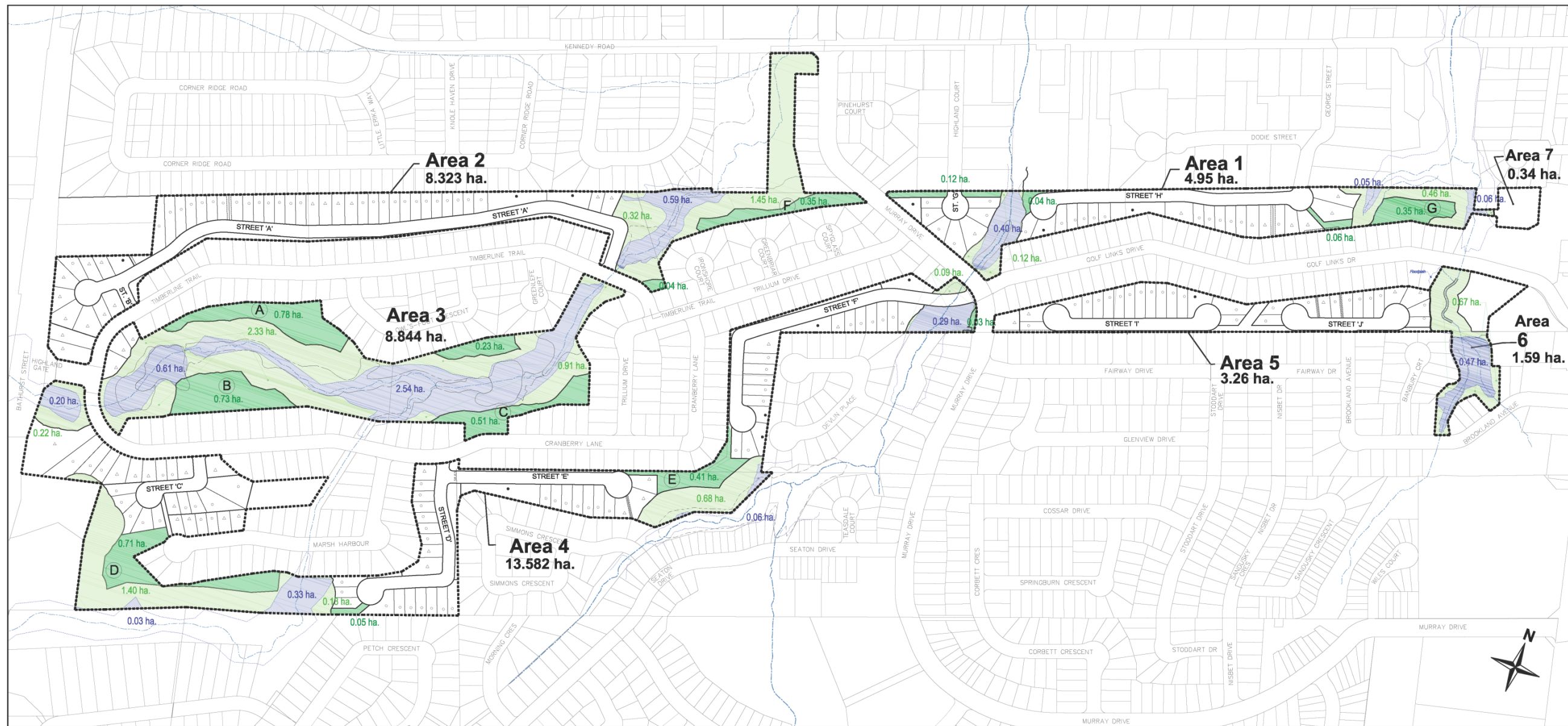
Where drainage features do not have associated wetland communities, a buffer of 15 metres from the centreline of the watercourse has been applied.

No Species at Risk or provincially rare species were recorded on site, however this will be confirmed through breeding amphibian surveys and leaf-on assessment of the Black Walnuts in the Summer of 2015. The Black Walnut species closely resembles the endangered Butternut tree, and as mentioned, a reassessment will occur in the coming summer months during leaf-on conditions to confirm their identification. A Butternut Health Assessment will be conducted if a Butternut is located.

The Draft Plan of Subdivision is adjacent to an existing residential community and will protect KNHF's or HSF's in accordance with the policies of the ORMCP. With the proposed protections there will be no negative impact to significant natural or hydrologically sensitive features. In addition, there will be a positive impact and net environmental benefit with regard to the quality of the watercourse resulting from the removal of the man-made on-line ponds. Additional work will be completed in 2015 including: breeding amphibian surveys, wetland staking with the LSRCA and walnut/butternut confirmation; the results will be provided as an Addendum to the Natural Heritage Evaluation.

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Figure 1.12: Constraints and Open Space



HIGHLAND GATE GOLF COURSE REDEVELOPMENT - CONSTRAINTS AND OPEN SPACE

AREAS OF CONSTRAINT AND OPEN SPACE

	Floodplain -	5.63 ha.
	Environmental Protection (outside the Floodplain)	8.78 ha.
	Open Space	4.41 ha.
	Centreline of Creek	
TOTAL		18.82 HA.

TABLELAND PARKS

	Tableland Parks A-G	3.84 ha.
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HIGHLAND GATE DEVELOPMENTS INC.

Date: February 24, 2015

Project No: 14-2260

Scale: 0 10 50 100 150m

Prepared by:

MALONE GIVEN PARSONS LTD.

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1.8 Geomorphic Assessment

Beacon Environmental completed a Geomorphic Assessment of the watercourses traversing the site. The results of their assessment are set out in a report dated February 2015. The assessment concludes that the following mitigative measures should be implemented in conjunction with the proposed redevelopment:

- Protection against erosion hazards through the implementation of appropriate development setbacks and crossing structure spans;
- Mitigation of channel erosion beyond natural rates through the implementation of an appropriate stormwater management plan; and
- Mitigation for net loss of existing natural features through proposed channel restoration or naturalized channel designs (i.e., enhancement of morphologic diversity, aquatic and terrestrial habitat) water balance and low impact development (LID) techniques.

Moreover, from a geomorphic perspective, there are opportunities for the enhancement of channel stability, form and function for each tributary as well as benefits for the associated aquatic and terrestrial communities.

1.9 Preliminary Hydrogeological and Geotechnical Investigation

Golder Associates completed a Preliminary Hydrogeological Investigation and Geotechnical Investigation for the subject site. The results of their investigations are set out in their report dated February 2015. The borehole investigation program was carried out in two phases. Eight boreholes were drilled between July and August 2014 in the first phase at a depth of approximately 8 to 11 metres and seventeen boreholes were drilled between November and December 2014 at a depth of approximately 5 to 16 metres. Two subsurface investigations were additionally carried out at the site in early 2015.

In general, surficial soils encountered on-site are primarily fine-textured unconsolidated silty clay and clayey silt material. Underlying the upper confining unit is a deposit of silt and sand material with a slightly higher hydraulic conductivity. These deposits come to the surface towards the western boundary of the property and in some locations flowing artesian conditions are found. A lower confined aquifer at an elevation of approximately 210 metres above sea level (masl) (or approximately 75 metres below ground level (mbgl)) is actively

being used for domestic water supply for some properties to the west of the site. A deeper confined aquifer at an elevation of approximately 155 masl is actively being used for municipal water supply by the Region of York.

Water levels within the surficial confining unit were observed between 0.38 mbgl to 11.59 mbgl with the exception of the low-lying areas surrounding the natural drainage features on-site where flowing artesian conditions were observed. Within the underlying confined aquifer deposits flowing artesian conditions were observed.

The overall increase in surplus to the Tannery Creek tributary from the site between the pre-development and post-development scenarios is 40%, which may be broken out into a significant decrease in site infiltration and corresponding significant increase in site runoff. Discontinuation of water taking from the on-line pond is also expected to make additional water available in the creek. Stormwater control measures should be considered to increase infiltration where possible.

The site development will require grading with cuts of up to 6 metres and up to 4 metres of fill. Consolidation of the soft to firm native clayey silt and silty clay soils is anticipated to occur. Preloading / surcharging the affected areas and use of Settlement Monitoring Points (SMPs) is recommended.

In summary, the geotechnical investigation found that the native soils or the engineered fill materials on the subject property are suitable for supporting single detached homes and the high density building within the proposed redevelopment. As such, the development of the Draft Plan of Subdivision is generally supportable on the subject site further to additional review of the subsurface conditions and final design of homes / services in site specific locations. The overall layout of the Draft Plan of Subdivision for servicing is technically achievable.

1.10 Landform Conservation

Malone Given Parsons Ltd., Beacon Environmental, Golder Associates and SCS Consulting jointly completed a Landform Conservation Assessment for the subject site, dated February 2015. The Plan describes the methods by which the proposed redevelopment strategy minimizes modifications to existing landform features, employs low impact development measures and maintains required water balance.

The proposed grading plan employs selective grading techniques to minimize disturbance to the existing landform character. Furthermore, development is concentrated on the portions of the subject site that are least restricted by natural heritage and landform constraints..

1.11 Servicing

SCS Consulting Group completed a Functional Servicing and Stormwater Management Report for the subject site, dated February 2015. The report notes that there are existing municipal sanitary sewers, watermains, and storm sewers available to service the site.

Stormwater will be conveyed from the site through a combination of Low Impact Development approaches including roadside enhanced swales with infiltration trenches or bioretention systems, reduced lot grading, increased topsoil depth, overland flow and storm sewers that generally follow the existing drainage patterns.

A detailed erosion and sediment control plan will be prepared for review and approval by the Town and LSRCA prior to any site grading being undertaken. This is normally undertaken as a condition of draft plan approval at the detailed design stage in accordance with the Town and LSRCA Erosion and Sediment Control guidelines.

The Draft Plan of Subdivision achieves all required elements for the provision of sanitary and water supply, water quality and quantity controls. As such, the Draft Plan of Subdivision can be developed and adequately serviced in accordance with Town standards.

1.12 Transportation

BA Group completed a Transportation Considerations for the subject site, dated February 2015. Based on the traffic operations analyses, the study area intersections will operate acceptably during the key peak hours once the development is built-out.

The Alternative Development Standard 17.5m wide right-of-way local roads proposed in the draft plan are appropriate given that they consist of single loaded roads, or a short cul-de-sac in the case of Street ‘C’. On the single loaded roads, opportunity has been provided to accommodate LIDS on the boulevard portion of the road, which will provide both an aesthetic and functional benefit in the road allowance, while minimizing the requirement of landscaping and ongoing

maintenance obligations to the Town. In addition, the provision of 19m radii on the cul-de-sac bulbs can accommodate both the movements of emergency and waste management vehicles, while providing enough room for the potential location of LIDS in the centre of the bulbs.

The Draft Plan of Subdivision will have minimal effect on the area transportation system and no off-site improvements are needed to accommodate the future traffic volumes. Furthermore, based on a sight distance analysis, there are no sight line safety issues associated with the development of the proposed intersections within the proposed redevelopment.

As such, the transportation requirements of the proposed Draft Plan of Subdivision can be adequately met by the existing transportation system and will have the benefit of improving overall connectivity in the neighbourhood.

1.13 Noise

Jade Acoustics completed a Preliminary Environmental Noise Report for the subject site in February 2015. The noise source investigated was road traffic from internal collector roads: Golf Links Drive, Murray Drive, Cranberry Lane, Timberline Trail and Highland Gate, in addition to Bathurst Street located west of the proposed redevelopment. The report concluded that all proposed residential lots in the development will meet the applicable noise guidelines with appropriate mitigative measures.

Recommended mitigative measures include:

- Mandatory central air conditioning for all lots directly adjacent to Bathurst Street;
- Sound barriers for all lots immediately adjacent to Bathurst Street and certain lots along Murray Drive; and,
- Mandatory forced air heating system sized to accommodate central air conditioning at a later date if noise becomes a concern for all lots within 115m of the centreline of Bathurst Street that do not require mandatory central air conditioning.

Based on the preliminary analysis, standard window, exterior door with a glass component and exterior wall configurations would be adequate to ensure all lots achieve the appropriate indoor sound level criteria; standard roof construction with ventilated attic space would also be satisfactory for all lots. As such, based

on the acoustics analysis, the noise mitigation measures proposed for the Draft Plan of Subdivision will achieve the required environmental noise criteria.

1.14 Archaeology

AMICK Consultants Limited completed a Stage 1 Archaeological Background Study for the subject site, dated January 2015. The report reviewed the subject site's geography, history, previous archaeological fieldwork and current land condition to evaluate in detail any archaeological potential.

Based on the data from Stage 1, it was concluded that further examination was required for potential archaeological resources on the subject site. The report will be submitted to the Ontario Ministry of Tourism, Culture and Sport with the recommendation that a Stage 2 archaeological assessment be conducted, prior to development and as a condition of draft plan approval.

1.15 Architectural Control

The Draft Plan of Subdivision proposes residential lots of similar size and identical zoning standards as the majority of lots surrounding the subject site. The Architectural Design Guideline prepared by W. Architect outlines further design requirements to ensure that the character of the existing community is respected with the addition of the new residences. The high level of quality and attention to detail that is envisioned for the proposed dwellings will ensure the integrity of the neighbourhood is maintained.

House design features including style, detailing, massing, shaping, roofs, entries, windows, building materials, grades, utilities, mechanical equipment, lighting and garages will all be subject to the guidelines in order to achieve a consistent level of harmony between varied architectural forms on the streetscapes.

The Draft Plan of Subdivision is planned to complement and integrate with the existing Highland Gate community. The Architectural Design Guidelines are intended to foster imaginative design solutions that have regard for the traditional building forms and vernacular, which have a simple shape and express a balance and harmony in composition of the building elements. House designs should attempt to capture or incorporate distinctive architectural elements, typical massing or building shape, proportions, and place emphasis on the entry area.

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2.0

PLANNING POLICY AND REGULATORY CONTEXT ANALYSIS

This section of the report reviews the existing Provincial, Regional, and Municipal policies applicable to the proposed redevelopment, particularly those related to residential growth and environmental protection within the planning context.

2.1 Provincial Policy Statement, 2014

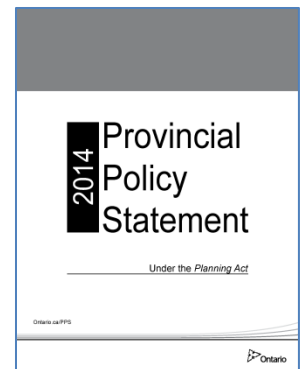
The Provincial Policy Statement (PPS) 2014 was issued under Section 3 of the Planning Act and came into effect on April 30, 2014. It provides policy direction on matters of provincial interest related to land use planning and development. The key policies that apply to the site are recounted below and a statement of consistency is provided for each:

Section 1.0 Building Strong Communities

“1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) accommodating an appropriate range and mix of residential (including second units, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;*



- d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*
- e) *promoting cost-effective development patterns and standards to minimize land consumption and servicing costs;*
- f) *improving accessibility for persons with disabilities and older persons by identifying, preventing and removing land use barriers which restrict their full participation in society;*
- g) *ensuring that necessary infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities are or will be available to meet current and projected needs; and,*
- h) *promoting development and land use patterns that conserve biodiversity and consider the impacts of a changing climate.*

1.1.2 Sufficient land shall be made available to accommodate an appropriate range and mix of land uses to meet projected needs for a time horizon of up to 20 years. However, where an alternate time period has been established for specific areas of the Province as a result of a provincial planning exercise or a provincial plan, that time frame may be used for municipalities within the area.

Within settlement areas, sufficient land shall be made available through intensification and redevelopment and, if necessary, designated growth areas.

Intensification and redevelopment is also supported in Section 1.1.2 to accommodate an appropriate range and mix of employment opportunities, housing and other land uses to meet projected needs for a time horizon of up to 20 years.”

Consistency:

The proposed Draft Plan employs an efficient land use pattern that maximizes the developable area of the site while maintaining compatible forms of housing. A 17.5 right-of-way local road standard is proposed to minimize the area required for road on the predominantly single loaded roads of the plan, and servicing costs are minimized by proposing development with no stormwater management ponds and minimal extensions of services.

The use of low impact development techniques provide localized flood controls and enhanced landscaping throughout the plan area, which, in combination with the Alternative Development Standard 17.5m right-of-way for local roads also contribute to greater biodiversity in municipal boulevards and less of an urban heat island effect through the minimization of paved surface.

The plan provides an extensive open space and natural heritage system that protects the natural environment and minimizes risks to human health and safety by improving the flood controls in the area, particularly through the removal of two on-line ponds in Area 3. A series of parkettes and a trail system that connects into the Town’s large trails master plan provide recreation opportunities for local residents that complement existing nearby neighbourhood parks and schools.

An appropriate range of housing is provided in context with the surrounding development, and the proposed high density site will slightly increase the overall availability of apartment units in the surrounding area.

1.1.3 Settlement Areas

“1.1.3.2 Land use patterns within settlement areas shall be based on:

- a) *Densities and a mix of land uses which:*
 - i. *efficiently use land and resources;*
 - ii. *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
 - iii. *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
 - iv. *support active transportation;*
 - v. *are transit-supportive, where transit is planned, exists or may be developed; and,*
 - vi. *are freight-supportive; and,*
- b) *A range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.*

1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.

Intensification and redevelopment shall be directed in accordance with the policies of Section 2: Wise Use and Management of Resources and Section 3: Protecting Public Health and Safety.

1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.”

Consistency:

An appropriate density and mix of land uses is proposed on the draft plan of subdivision that:

- efficiently uses land by redeveloping a closed golf course for residential uses within the Built Boundary that serve to infill and complete the surrounding neighbourhood;
- relies primarily on existing infrastructure and minimizes the cost of additional stormwater management requirements;
- supports active transportation through the continuous trail and open space system within the site (from Bathurst Street to Yonge Street);
- provides transit supportive densities within walking distance to the planned York Region rapid transit stop; and,
- provides growth through intensification in context with appropriate development standards to ensure compatibility with existing development, and supports the Town’s achievement of its minimum intensification target.

1.4 Housing

“1.4.1 To provide for an appropriate range and mix of housing types and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:

- a) *maintain at all times the ability to accommodate residential growth for a minimum of 10 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development; and*
- b) *maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.*

1.4.3 Planning authorities shall provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents of the regional market area by:

- a) *establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality*

in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;

b) permitting and facilitating:

i. all forms of housing required to meet the social, health and well-being requirements of current and future residents, including special needs requirements; and

ii. all forms of residential intensification, including second units, and redevelopment in accordance with policy 1.1.3.3;

c) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;

d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed; and

e) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.”

Consistency:

The proposed plan provides a mix of single detached and apartments units, which is appropriate in context with existing uses. The nature of the site as an infill site means that, once approved, the site will contribute to the Town’s achievement of maintaining lands with servicing capacity to provide a minimum of three years of residential units within lands zoned for intensification. The additional single detached homes provide additional family oriented housing in the Town and Region. The proposed apartments would provide housing for individuals and young families that is more affordable than much of surrounding housing stock and would enhance the opportunity for residents to move through a full life cycle of housing in the same neighbourhood. The infill nature of the development allows the direction of growth to take advantage of existing servicing and community infrastructure to ensure the continued viability of public service facilities and nearby schools. The extensive trail and open space system provides parkettes and passive recreational opportunities throughout the development, allowing residents to walk through the community, experience natural heritage features and have easy active transportation access to transit on Yonge Street. The

nature of the proposed apartment building will be to provide a cost effective form of housing in a compact built form.

1.5 Public Spaces, Recreation Parks, Trails and Open Space

“1.5.1 Healthy, active communities should be promoted by:

- a) planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity;*
- b) planning and providing for a full range and equitable distribution of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources;*
- c) providing opportunities for public access to shorelines; and,*
- d) recognizing provincial parks, conservation reserves, and other protected areas, and minimizing negative impacts on these areas.”*

Consistency:

The plan provides seven parkettes, walkways, and linear open spaces that are connected by a trail system that extends through the site. The proposed trail will partly traverse the natural heritage system buffer areas and also be on-street providing a variety of visual stimuli and interest for pedestrians and cyclists. The combination of trail access ensures that an active transportation path is provided throughout the entire site, so that residents can walk or bicycle to enjoy recreational opportunities within a short distance from home. There is a positive mix of natural and programmed recreational opportunities afforded through the open space and natural heritage system blocks in the plan. Moreover, the open space, recreation and active transportation opportunities on the plan connect into both the larger Town and Regional trail networks and to Rapid Transit on Yonge Street.

1.6 Infrastructure and Public Service Facilities

“1.6.1 Infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities shall be provided in a coordinated, efficient and cost-effective manner that considers impacts from climate change while accommodating projected needs.

Planning for infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities shall be coordinated and integrated with land use planning so that they are:

- a) financially viable over their life cycle, which may be demonstrated through asset management planning; and,*
- b) available to meet current and projected needs.*

1.6.2 Planning authorities should promote green infrastructure to complement infrastructure.

1.6.6.1 Planning for sewage and water services shall:

- a) direct and accommodate expected growth or development in a manner that promotes the efficient use and optimization of existing:*
 - 1. municipal sewage services and municipal water services”*

“1.6.6.7 Planning for stormwater management shall:

- a) minimize, or, where possible, prevent increases in contaminant loads;*
- b) minimize changes in water balance and erosion;*
- c) not increase risks to human health and safety and property damage;*
- d) maximize the extent and function of vegetative and pervious surfaces; and,*
- e) promote stormwater management best practices, including stormwater attenuation and re-use, and low impact development.”*

Consistency:

The proposed redevelopment will rely on local extensions to existing servicing infrastructure and will minimize the reliance on new infrastructure construction. The use of low impact development techniques is a form of green infrastructure that provides on-site stormwater management controls. As provided in the accompanying technical reports, the proposed redevelopment, with support from the low impact development stormwater management techniques on the subject site, satisfies these policies.

2.1 Natural Heritage

“2.1.1 Natural features and areas shall be protected for the long term.

2.1.2 The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.”

Consistency:

As outlined in the Environmental Impact Study (EIS), dated February 2015, prepared by Beacon Environmental and submitted with these applications, the natural heritage and hydrologically sensitive features located on site will be protected and/or enhanced through permitted alterations under the ORMCP and the Region and Town Official Plan policies, as well as at the request and in consultation with the Lake Simcoe Region Conservation Authority.

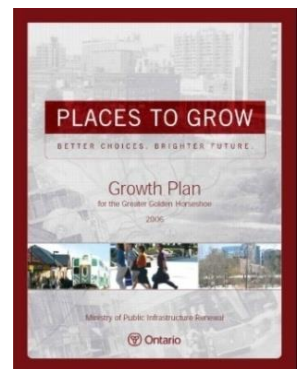
It is our overall opinion that the proposed redevelopment is consistent with the PPS 2014 and is good planning.

2.2 Growth Plan

The Growth Plan for the Greater Golden Horseshoe (“Places to Grow”) took effect on June 16, 2006 and provides high level guidance on where and how development should occur.

Under the Growth Plan, the Province released 2008 Built Boundary mapping, which identifies the subject site within a “Delineated Built-up Area.” According to the Ministry of Infrastructure:

“a precise boundary is delineated for those settlement areas, identified in consultation with municipalities, that have full municipal services, will be a focus for intensification, or will accommodate significant future growth” (Built Boundary, 2008).



Section 1.2.2 outlines six guiding principles that support the growth management vision for the Greater Golden Horseshoe (GGH):

- *“Build compact, vibrant and complete communities;*
- *Plan and manage growth to support a strong and competitive economy;*
- *Protect, conserve, enhance and wisely use the value natural resources of land, air and water for current and future generations;*
- *Optimize the use of existing and new infrastructure to support growth in a compact, efficient form;*
- *Provide for different approaches to managing growth that recognize the diversity of communities in the GGH; and,*
- *Promote collaboration among all sections – government, private and non-profit – and residents to achieve the vision.”*

The vision and guiding principles indicate the overall intent of the Growth Plan is to minimize sprawl by directing growth to existing built-up areas (intensification and settlements), limit settlement area expansions, create compact and complete communities and optimize the use of existing services (infrastructure and transit).

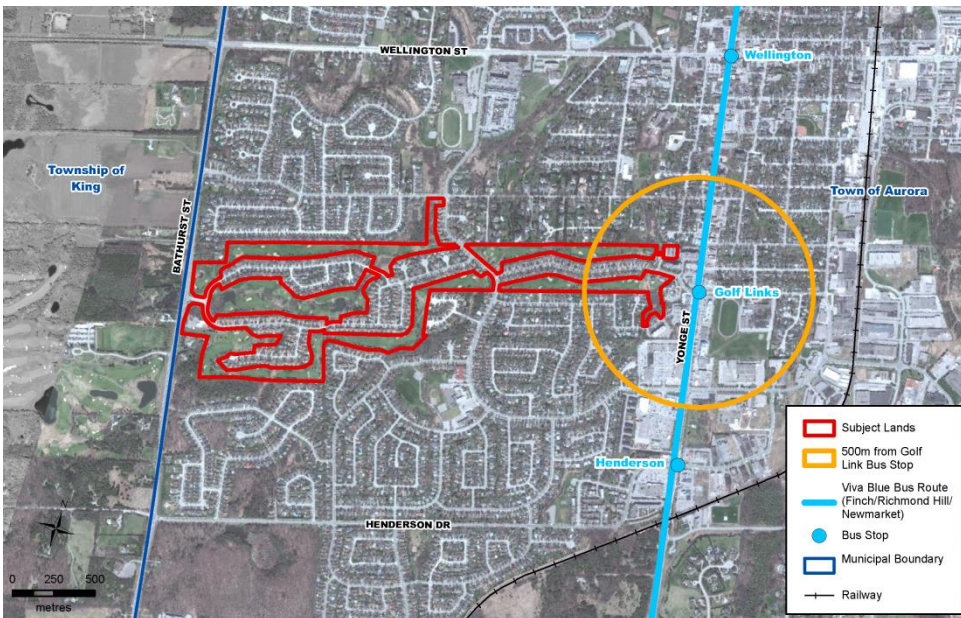
The proposed redevelopment within the built boundary of the urban settlement area is considered intensification under the Growth Plan and implements the policies of this Plan through an appropriate form of infill development; therefore, the redevelopment is suited to the urban settlement context and in line with the vision and guiding principles. The proposed redevelopment specifically conforms to the Growth Plan with respect to the following policies by providing:

- 1.2.2 An optimal use of existing infrastructure to support growth in a compact and efficient form, with only small scale additional infrastructure to convey stormwater as needed to support the proposed growth;
- 1.2.2 Protection, conservation, and enhancement of natural resources through the protection of key natural heritage and hydrologically sensitive features on site; and,

Furthermore, as per Section 2.1, intensifying the existing built-up area is envisioned as a core strategy for making better use of land and infrastructure.

The overall intent of this Section encourages intensification to be directed to the built-up area as a whole, but also specifically targets certain areas in order to maximize existing services and transit investments. The proposed infill development therefore provides an intensification opportunity within the Town, while balancing compatibility within the existing stable neighbourhood. Furthermore, the proposed high-density residential building (site of the former golf clubhouse) will provide transition between the Yonge Street intensification corridor and the stable neighbourhood, as well as complement the major transit area by completing the minor higher density node located around the existing Regional Transit stop at Golf Links Drive as shown in Figure 2.1.

Figure 2.1: Subject Site and Planned Rapid Transit Stop



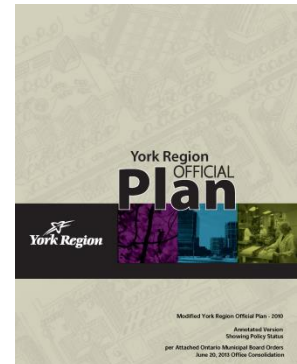
Source: York Region Transit, 2014

The intensification targets in the Growth Plan, as detailed in Section 2.2.3 as well as the York Region Official Plan, requires a minimum of 40% of all residential development occurring annually for each year from 2015 through to 2031, to be within the built-up area. The Growth Plan clearly does not place a maximum target on intensification, but rather establishes a minimum target to encourage municipalities to maximize the amount of intensification each year. It is imperative that municipalities achieve this target to limit Greenfield growth (and urban boundary expansions). The addition of intensification units in the near term assists municipalities in meeting this target; development of 184 singles and 144 apartment units on the subject site would enable the building of 328 units within the Built-Up Area.

The Draft Plan of Subdivision proposes a compatible use that directs growth to a built-up area and conforms with the Growth Plan. Intensification targets are minimum requirements and therefore allow more density if appropriate. Furthermore, intensification is encouraged throughout the built-up area and is not only limited to major intensification areas such as the Aurora Promenade, according to Section 2.2.3.6 of the Plan. It should be noted that a Town-led/Town-wide study to identify lands for intensification is not required when considering intensification development proposals within the Built-Up Area. The subject site is privately owned, is not part of the publicly owned park system and as such is developable.

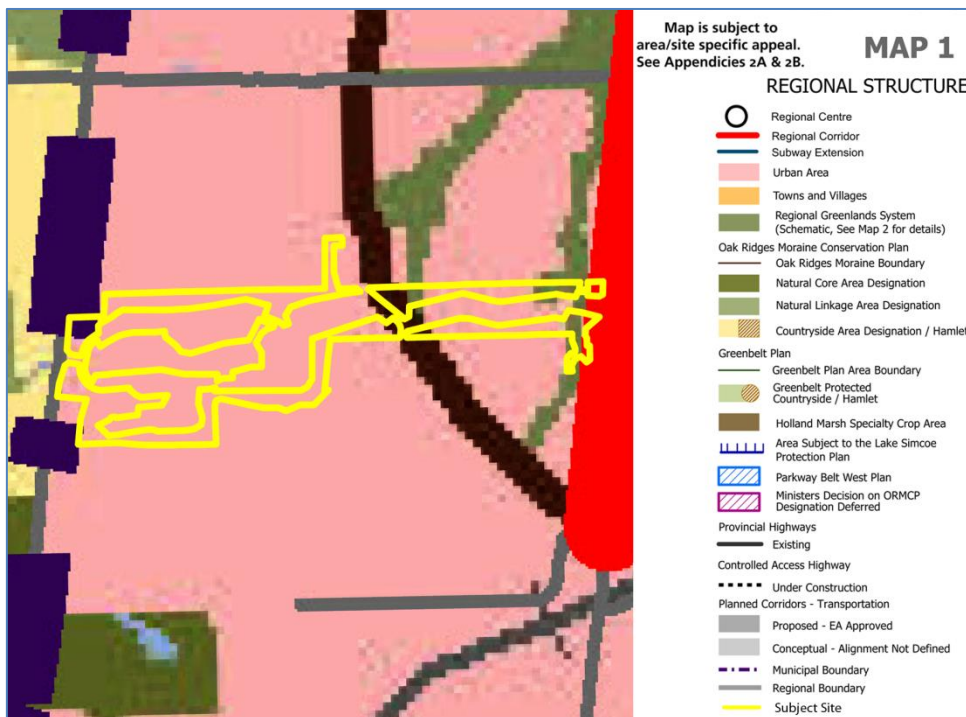
2.3 York Region Official Plan (2010)

The Region of York prepared a new Official Plan (YROP) that was approved by the Ministry of Municipal Affairs and Housing on September 7, 2010. However, parts of this Plan were subsequently appealed to the OMB and as such, the policies of the new 2010 Region of York Official Plan (June 20, 2013 Package) apply only when they are not subject to appeal; and in such instances, the policies of the 1994 Official Plan (2013 consolidation) apply. The policies that are relied upon in this report are in-force and are not under appeal.



The property is designated Urban Area and Regional Greenlands System in the YROP and is partially located within the Oak Ridges Moraine Boundary, as shown in Figure 2.2.

Figure 2.2: Property and YROP Excerpt



Source: York Region Official Plan - Map 1 (2013)

2.3.1 Urban Areas

The intent of the Urban Area designation is to strategically focus growth to these areas to conserve resources and to create sustainable and lively communities.

The intensification policies in the YROP are based on the Region’s Intensification Strategy, which was completed in 2009; Policy 5.3.1 of the YROP (part of which remains under appeal) allocates intensification to the Town of Aurora in the amount of 3,140 units between 2006 and 2031. The policies of this section require local municipalities to adopt their own intensification strategies, plan to meet or exceed intensification targets, and identify the role for each of the following, as per the Intensification Matrix Framework:

- i. *“Regional Centres and Corridors;*
- ii. *GO Transit train stations and bus terminals, and subway stations;*
- iii. *Local Centres and Corridors;*
- iv. *Other major streets;*
- v. *Local infill; and,*
- vi. *Secondary suites.”*

Intensification is encouraged in strategic locations in the built-up area as identified in the list of intensification areas (Policy 5.3.3b) in order to maximize efficiencies in infrastructure delivery, human services provision and transit ridership. Smaller intensification areas as identified by local municipalities will also accommodate a significant portion of future residential and employment growth.

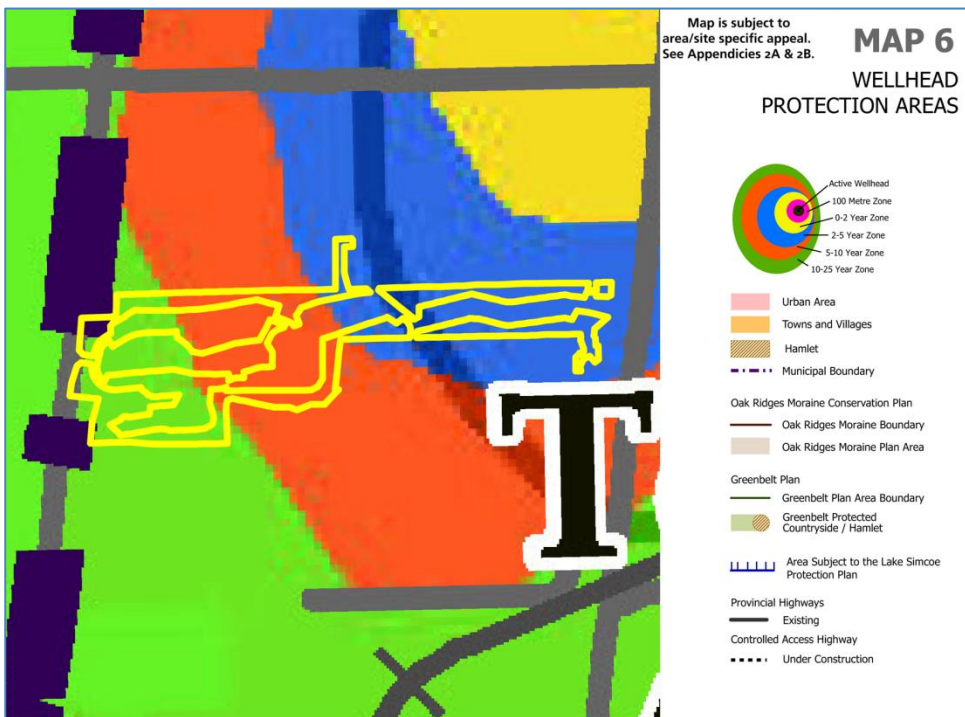
The Town has established targets and identified areas for accommodating intensification, as further detailed in Section 2.4, however the policies do not identify the role of Local Infill in the Plan for meeting minimum intensification targets. Although most emphasis is placed on centres and corridors for intensification, the York Region Intensification Strategy clearly indicates that other areas also have a role in intensification: *“it is expected that local municipalities will address intensification in every strategic area of the Matrix Framework”*.

The proposed Draft Plan of Subdivision will redevelop underutilized lands within the Town of Aurora through local infill and development adjacent to a Regional Corridor with housing types that will maintain the character of the existing community while providing transit supportive densities in proximity to a planned York Region rapid transit stop.

2.3.2 Wellhead Protection Areas and Aquifer Vulnerability

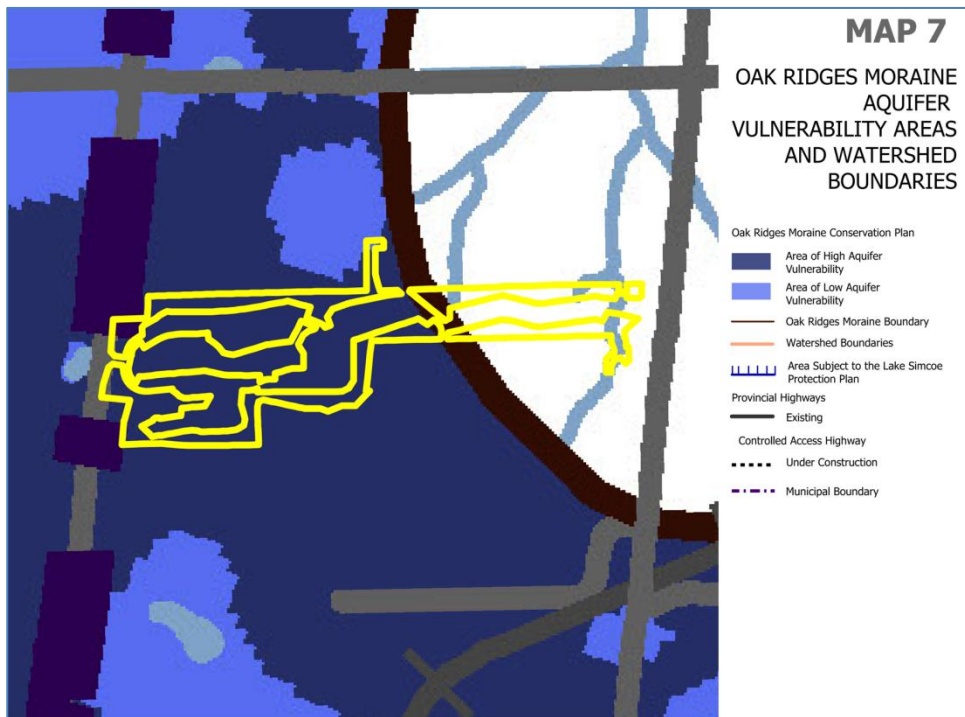
Portions of the proposed plan are identified within the 2-5 year, 5-10 year and 10-25 year Zones on Map 6 Wellhead Protection Areas. Policies of 7.3.35 of the YROP have the objective of ensuring that municipal well water quality and quantity is protected from contamination due to incompatible land uses. The intent is to prevent land uses that would involve the storage or manufacture of pathogens that could contaminate wells. There are no such uses associated with the proposed development.

Figure 2.3: York Region Official Plan Map 6 Excerpt



Portions of the proposed plan are within Areas of High and Low Aquifer Vulnerability identified by Map 7 in the ORMCP area. Conformity with the ORMCP is addressed later in this report; however, the policies found in Section 7.3.49 apply to these areas restricting the storage of pathogens or hazardous materials, similar to those of Wellhead Protection Areas. There are no such uses associated with the proposed development.

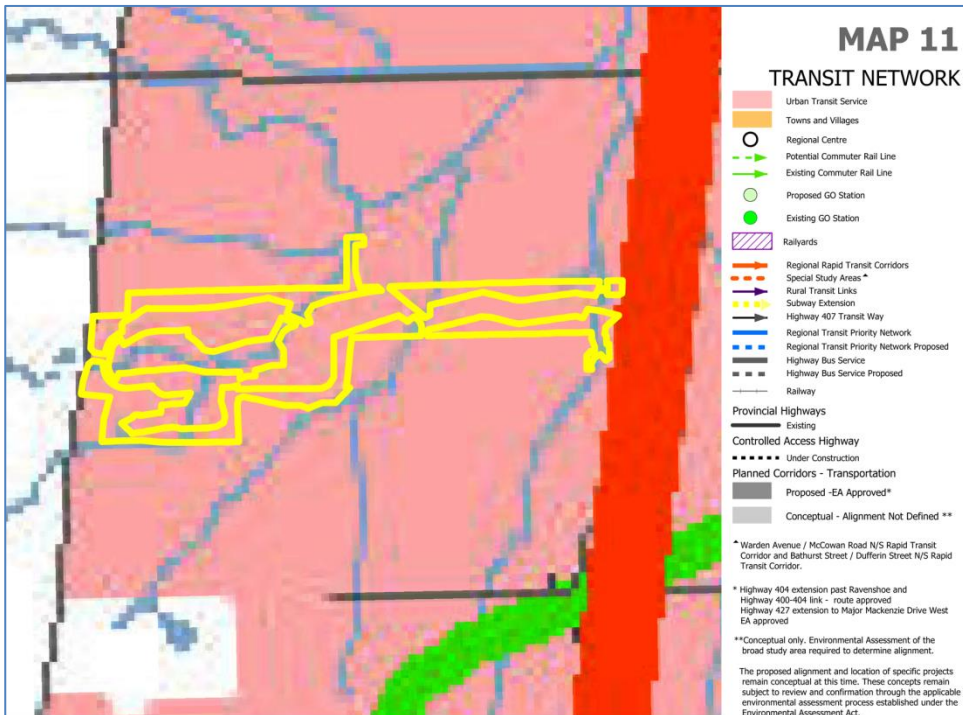
Figure 2.4: York Region Official Plan Map 7 Excerpt



2.3.3 Regional Corridor and Transit Network

A Regional Corridor is identified on Yonge Street on Map 1, adjacent to the lands proposed for development, and a Regional Rapid Transit Corridor is identified along Yonge Street in the same location on Map 11 as shown in Figure 2.5. The policies of Section 5.4.28 (subject to area specific appeals) of the YROP direct development to these Corridors. In general, the policies require local municipalities to plan for Regional Corridors in their local official plans.

Figure 2.5: York Region Official Plan Map 11 Excerpt



Key policies include 5.4.30 which states:

“That the boundaries of the Regional Corridors be designated by the local municipality, based on:

- a) reasonable and direct walking distances between the Regional Corridor street frontage and adjacent lands;*
- b) contiguous parcels that are desirable and appropriate locations for intensification and mixed-use development; and,*
- c) compatibility with and transition to adjacent and/or adjoining lands.”*

And 5.4.35 which states that:

“To consider extensions to existing Regional Corridors, and the designation of new Regional Corridors, in consultation with local municipalities and based on the following:

- a) the status and function of existing Regional Corridors;*
- b) opportunities for the extension of well-planned and transit supportive intensification; and,*
- c) the introduction of new or expanded rapid transit services to Regional streets”*

The redevelopment of the former golf course provides the opportunity to designate the eastern portion of Area 7 (Block 224 of the draft plan of subdivision) as a high density site in a manner consistent with the above policies. The site is within walking distance of the Regional Corridor, forms a contiguous parcel for intensification with the seniors building to the east and the apartment

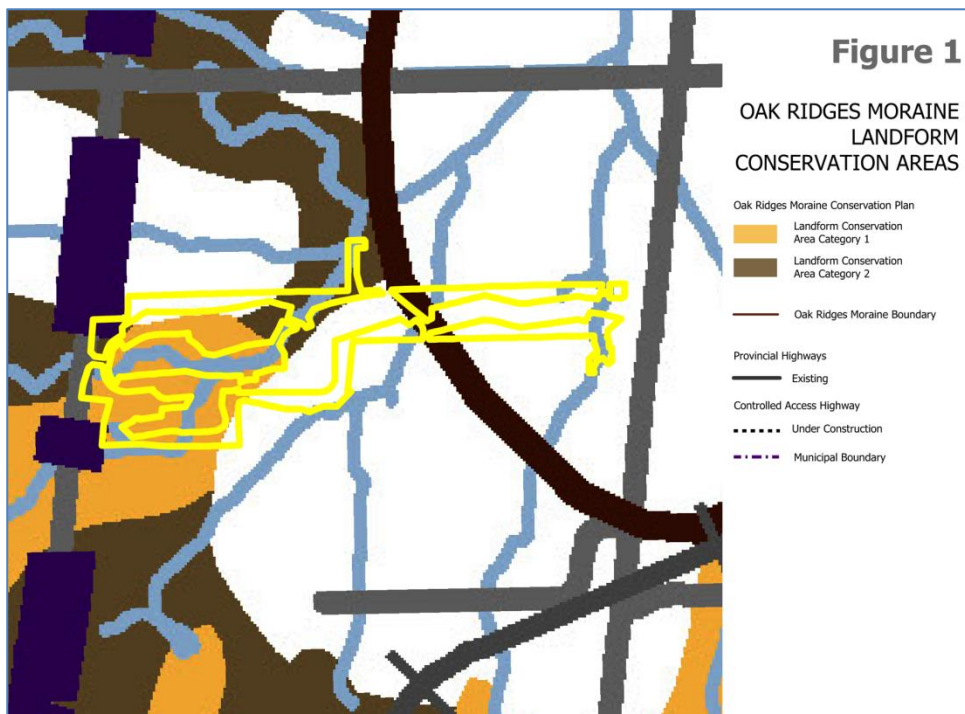
buildings to the north. In addition, through appropriate setbacks and architectural design, the site will be developed with an appropriate transition to nearby low density stable neighbourhoods.

In addition, the development of this portion of the site for high density uses will result in well-planned and transit-supportive intensification near the proposed Regional Rapid transit stop at Golf Links Road and Yonge Street. Accordingly, it is our opinion that the proposed high density site effectively completes a local higher-density node that has emerged in this location and is in keeping with the intent, and would conform to, the policies of the Regional Official Plan.

2.3.4 ORM Landform Conservation Areas

Landform Conservation Area Categories 1 and 2 apply to the portions of the plan within the ORMCP area, as identified on Figure 2.6. The requirements of the ORMCP are addressed later in this report and in the Landform Conservation Study submitted with these applications.

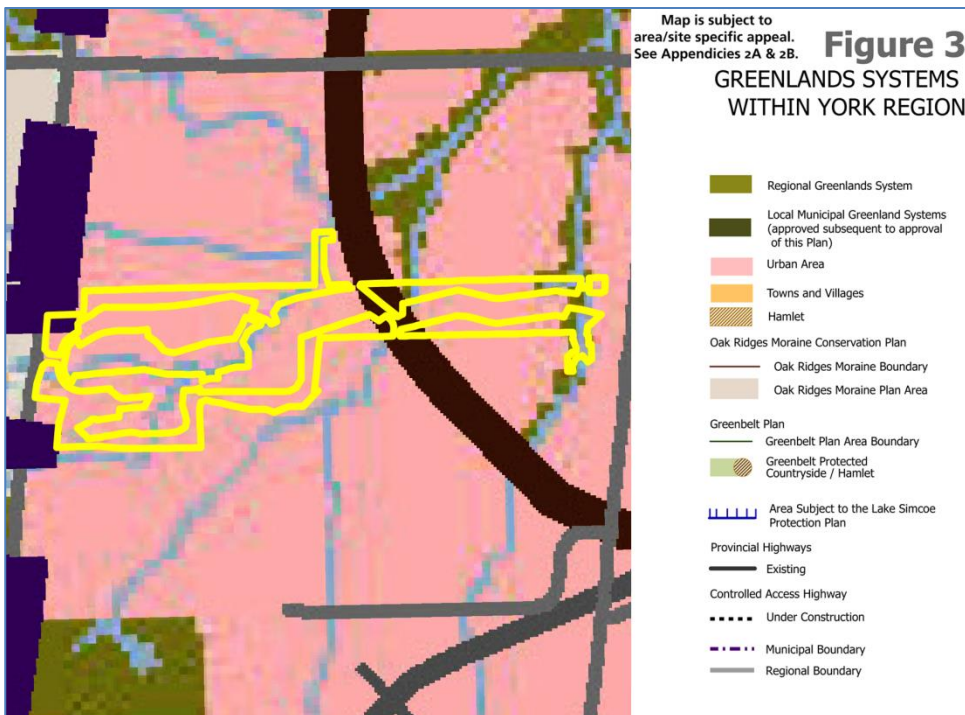
Figure 2.6: York Region Official Plan Figure 1 Excerpt



2.3.5 Regional Greenlands System

Figure 3 of the YROP identifies portions of the plan outside of the ORMCP area and within the Regional Greenlands System. As such, the policies of Section 2.1 in the YROP must be read in conjunction with the Lake Simcoe Protection Plan (Section 2.3 of the YROP).

Figure 2.7: York Region Official Plan Figure 3 Excerpt



The Regional Greenlands system is intended to protect key natural heritage features and hydrological features and the adjacent lands necessary to maintain these features in a linked system. As per Policy 2.1.9, development is prohibited within the Regional Greenlands System and development within 120m requires an Environmental Impact Study (EIS). An EIS/Natural Heritage Evaluation has been prepared in support of these applications and is submitted in conjunction with this report; the EIS/Natural Heritage Evaluation meets the standards of both the ORMCP and LSPP.

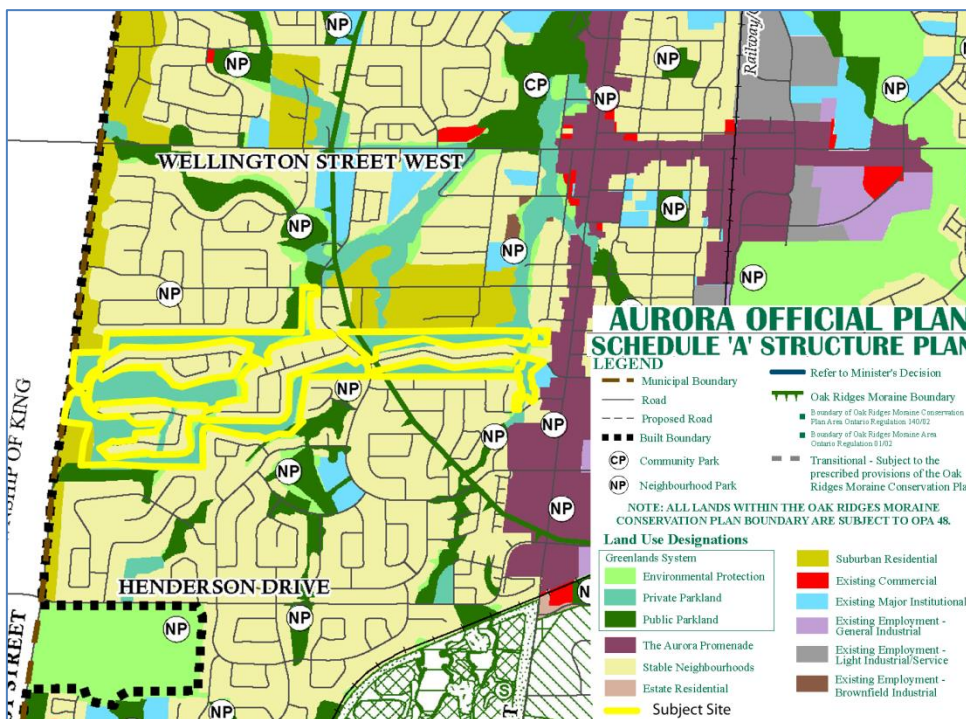
The proposed Official Plan and Zoning By-law Amendments and Draft Plan of Subdivision implement the general intent of the YROP and conform to its policies. The Draft Plan of Subdivision will redevelop the recently closed Highland Gate Golf Club and will not negatively impact the character of the area or compromise the natural or ecological integrity of the Oak Ridges Moraine Area and the Lake Simcoe Watershed.

2.4 Town of Aurora Official Plan (2012)

The Town of Aurora Official Plan was approved on July 24, 2012. As shown on Figure 2.8, this Plan designates the subject site Private Parkland and Environmental Protection within the overall Greenlands System. A portion of the lands is identified within the Oak Ridges Moraine Conservation Plan Boundary. The existing residential areas surrounding the subject site are designated *Stable Neighbourhood* and *Suburban Residential*, and the lands along Yonge Street abutting the site are designated *Promenade General* within the Aurora Promenade designation.

The policies of the ORMCP and LSPP must be read in conjunction with the Aurora Official Plan. This report relies on the in-force and effect policies contained in the consolidated Aurora Official Plan.

Figure 2.8: Property and Town of Aurora Official Plan Excerpt



Source: Town of Aurora Official Plan - Schedule A (2012)

2.4.1 Private Parkland

As per Policy 12.4 of the Official Plan, the *Private Parkland* designation is intended to augment the Town's existing open space system by providing physical and/or visual linkages. Permitted uses include: passive and active recreation uses, conservation uses, cemeteries, commercial and/or office uses accessory to the uses above, and public uses and public and private infrastructure.

As a result of the closure of the Highland Gate Golf Club it is appropriate to consider another use of the subject site. The redevelopment of lands designated *Private Parkland* is contemplated by the Official Plan, as Policy 12.4.3e states that:

“When private open space is proposed to be developed for another use, Council may require:

- a) An evaluation of the environmental impact;*
- b) Evidence that the proposed use is compatible with the surrounding uses;*
- c) An Official Plan, Secondary Plan and/or Zoning Bylaw amendment; and,*
- d) A Plan of Subdivision and development, including the approval of the applicable agencies.”*

The proposed redevelopment of the site is contemplated by the above policy, and the development proposal provides the necessary supporting material to consider its reuse for residential purposes:

- A Draft Plan of Subdivision and Zoning Bylaw amendment and all associated studies, including reports assessing the environmental impact of the proposed development;
- An Official Plan Amendment to redesignate the subject site from Private Parkland to Stable Neighbourhood, Environmental Protection and Public Parkland; and,
- Demonstration of the conformity of the proposed redevelopment with the Stable Neighbourhoods designation and compatibility of the proposed uses as described later in this report,

2.4.2 Environmental Protection

The development application shall also conform to the *Environmental Protection Area* policies of the Aurora Official Plan and the provisions of the ORMCP, as per Policy 12.4.3b of the Aurora Official Plan. The relevant ORMCP provisions are listed under subsections 19(3) and 31(4) and are covered in Section 2.5 of this report.

The *Environmental Protection Area* designation is intended to protect and enhance the environmental features and functions that form a permanent Greenlands System. Permitted uses include, but are not limited to: forest, fish and wildlife management, stewardship, conservation, restoration and remediation undertakings, infrastructure and roads (if it has been demonstrated that the project is in the public interest after all alternatives have been explored), retrofits of existing stormwater management works, and existing non-conforming uses, buildings and structures.

As per Policy 12.5.2a, the boundaries and extent of the lands designated Environmental Protection Area are approximate and minor adjustments and refinements can occur based on the results of an Environmental Impact Statement or Natural Heritage Evaluation. Adjustments/refinements not considered minor by Council, require an amendment to the Plan. Where an adjustment/refinement is appropriate, the abutting land use designation shall apply, provided that the resulting development will not have an adverse effect on any key natural heritage features or key hydrologic features. It should also be noted that where lands are held within private ownership, such as the subject site, no policies in this Plan require these lands to be free and available for public use and the Town is not obligated to purchase the lands.

2.4.3 Accommodating Growth

Section 3 of the Official Plan outlines growth policies for the Town. In particular, Section 3.3 provides growth forecasts that form the basis for the Town's Growth Management Strategy and related policies. Specifically, Policy 3.3e) i) states that:

- e) *“Based on the Town’s 2009 population of approximately 58,920 persons which includes existing and planned population (based on designated and draft approved units, there is a need to accommodate approximately 13,150 new residents to the year 2031. This amount recognizes the persons per unit decline in the existing base population from 2006 to 2031 and other factors as outlined within the “Growing Aurora” background report, dated January 2011, and thus is not a straight*

subtraction of 58,920 from 70,200. This projected new population growth shall be accommodated by a combination of intensification and new development within the identified Greenfield Residential Areas. It is the intent of this Plan to allocate new population growth, as follows:

- i. Approximately 34 percent of new residential growth, being approximately 4,470 persons, is to be accommodated through intensification. Residential Intensification growth will be accommodated within the defined Built Boundary as follows:*
 - The Aurora Promenade shall accommodate approximately 4,120 new residents; and,*
 - Within the Stable Neighbourhoods, new residential development, of approximately 350 persons, is to be accommodated through new Secondary Suite units;”*

In addition, other policies of the Plan speak to forms of intensification in strategic areas that promote a more sustainable development pattern, as per Section 3.3b. These policies provide guidance to Council in considering the applications for the subject site, most of which reflect a policy intent to protect Stable Neighbourhoods from inappropriate change and to only permit infill that is compatible with existing development, while allowing for the area’s evolution and advancement over time.

The subject site presents a unique opportunity adjacent to an existing stable residential neighbourhood. As provided for by the OMB decision for the Glenway Golf Club site in Newmarket, there is no test of need to support intensification within the built boundary in the PPS and Growth Plan and therefore the policies contained in Section 3.3 should be interpreted as a directive of where growth ought to go, and not be restrictive in terms of the location and amount of intensification. Although the subject site has not been identified as an area for intensification in the Official Plan, it represents a viable option for general intensification due to its location within both the built-boundary (utilizing existing municipal services) and settlement area, adjacent to the Yonge Street Regional Corridor. This is in keeping with the general policy intent of the Growth Plan and the YROP that intensification is to occur generally within the built-up areas of municipalities; while there are areas specifically identified and recognized by the Region and Town for intensification, this does not limit intensification to those areas.

The existing built-form, zoning standards and surrounding context form the basis for defining the character of the area and appropriate regulations, such as height and density. The site as a whole is the last remaining large developable parcel in the immediate area and the eastern portion of the subject site would be the last developable parcel within a minor higher-density node around the planned Regional rapid transit rapid stop at Golf Links Drive.

It is good planning practice along the Regional Corridor and around local nodes to permit high density development to support the Region's effective and efficient delivery of rapid transit. It is our opinion that the proposed redevelopment would be an appropriate form of local infill intensification, conforming with Regional and Town planning policies and in keeping with best practices for intensification. Appropriate consideration is given for the character of the existing surrounding neighbourhood by locating single detached homes in the same parent zoning category and of the same lot width as adjacent existing homes. This protects the existing stable neighbourhood from incompatible development and accommodates growth in a cost efficient manner by effectively redeveloping the former golf course for uses that will complete the adjacent neighbourhood.

It is our opinion that the proposed redevelopment represents an appropriate form of local infill development that will be compatible with the existing surrounding community through the proposal of single detached units similar to the surrounding stable neighbourhood and a high density residential building of appropriate scale and built-form on the eastern limit of the property. Furthermore, the designation and zoning of the proposed high density site is appropriate in the context of the local higher-density node near Yonge Street and Golf Links Drive, and will be appropriately separated from the existing low-density residential neighbourhoods by natural features and their associated buffers. A forthcoming site plan control and draft plan of condominium process will address the design and siting of the building.

2.4.4 Conformity with the Stable Neighbourhood Designation

The lands proposed for development through the draft plan of subdivision are appropriately redesignated as Stable Neighbourhood, similar to the designation surrounding the site. Accordingly, it is proposed that the lands be redesignated as Stable Neighbourhoods, Environmental Protection and Public Parkland to remain consistent with the surrounding land use fabric. The change in designation requires an official plan amendment, a draft of which is attached to this report; the proposed amendment seeks to redesignate the lands on Schedule ‘A’ of the Official Plan and apply site specific policies to permit the proposed redevelopment.

As discussed in the zoning section of this report, it is proposed that the majority of the site be developed for single detached dwellings with an 11m height permission, and that the eastern portion of the site be designated for an apartment building with a 10 storey height permission.

Section 8 of the Official Plan provides policy direction within Stable Neighbourhoods. In particular, Section 8.1.2 permits Ground-Related Residential Uses and Existing Multiple-Unit Buildings and Section 8.1.3 sets development policies in these areas. With regard to the proposed redevelopment, site specific policies are required to permit the proposed heights of the detached homes (which exceed the height limit of three storeys or nine metres) and to permit the proposed apartment building.

With regard to the height of the single detached dwellings, a guiding principle, and the primary intent of the Stable Neighbourhoods designation is to permit development of grade-related housing. The proposed single detached dwellings maintain this intent and will not exceed three storeys in height. The typically slanted and gabled roofs of single detached homes provide less of visual and massing impact than more intense forms of grade related housing such as townhouses with flatter roofs. Moreover, establishing a maximum height related to a storey does not provide sufficient flexibility to account for the variations of height of a storey over time. The proposed 11 m height is desirable, and reflects contemporary building practice and contemporary market preferences for higher internal ceiling heights. It should also be noted that the majority of the area designated Stable Neighbourhoods that surround the subject site are zoned R2 and are permitted to be built with a maximum height of 10m. The primary land use control in this instance is the preservation of a single-detached dwelling form of development. In our opinion, the height of 11 m is appropriate (as further discussed in the zoning section of this report) and a site specific policy in the

Official Plan to permit the redevelopment of the site for large lot single detached homes with that development standard is good planning.

With regard to the proposed new apartment building with a ten-storey height, the local planning context must be considered to determine the appropriate designation and policies for this use. The proposed high density permission on Block 224 of the proposed Draft Plan would result in development of the last vacant parcel on Golf Links Drive in this area of adjacent higher density uses (the 4 storey seniors' residence to the east, and the 7 storey and 6 storey apartment buildings to the north and east. These properties form a small node of higher density uses that are properly considered a physical extension of the Yonge Street Promenade that terminates at the watercourse immediately to the west of Block 224. However, the existing high density uses to the east and north of Block 224 within this node are not within the Aurora Promenade, except for the 6 storey apartment building, (designated Existing Major Institutional and Stable Neighbourhoods) and consequently form a policy barrier to the extension of the Aurora Promenade designation to the block. Although policy 8.1.3 e) states that no new apartment buildings shall be permitted within the Stable Neighbourhood designation, the appropriateness of using Block 224 for complementary high density uses to surrounding lands in a node that functions as part of the Yonge Street Corridor / Aurora Promenade, the compatibility of such a use with existing single detached residential areas as a result of the Environmental Protection Area separator to the west, and the peculiar site specific policy context make a site specific official plan amendment appropriate to permit a new apartment building in the Stable Neighbourhood designation on this site. It should also be noted that the Official Plan policy structure does not contain another appropriate "High Density Residential" or similar designation that could be applied to the site; the site must either be within Stable Neighbourhoods or the Aurora Promenade, where the preclusion of the latter necessitates the former. As discussed in the zoning section of this report, the proposed height of 10 storeys can be compatible with surrounding uses, and should also be permitted by site specific amendment to the Official Plan on this site.

Table 2-1 - Conformity with Stable Neighbourhood Policies below summarizes the policies of the Stable Neighbourhoods and how the proposed development conforms with each.

Table 2-1 - Conformity with Stable Neighbourhood Policies

Policy No.	Policy	Conformity
Development Policies		
8.1.3a)	New development and site alteration abutting existing residential development shall be sympathetic to the form and character of the existing development and shall be compatible with regard to building scale and urban design.	The proposed development is compatible in building scale and urban design, as further demonstrated in the zoning section of this report, and the concurrently submitted Urban Design and Architectural Control Guidelines.
8.1.3b)	Through the implementing Zoning By-law, the range and density of permitted uses may be refined or restricted on a particular site or location to ensure that new development or site alteration is appropriate and compatible with adjacent uses and buildings.	The large lot single detached units proposed on the majority of the site will achieve the same or lower densities than the surrounding Stable Neighbourhood Areas, as discussed in Section 1 of this report. The proposed density of Block 224 is compatible with the higher density apartments and seniors buildings abutting that site, and with the existing residential neighbourhoods as discussed in the zoning section of this report.
8.1.3c)	Through the implementing Zoning By-law and/or through site plan control, specific measures including, but not limited to, building setbacks, landscaping and fencing, may be required in order to ensure that new development is appropriate in the context of the adjacent uses and the surrounding neighbourhood.	The proposed zoning bylaw provides appropriate development standards for development of the single detached lots. A forthcoming site plan control process will determine the appropriate building form and site design considerations on Block 224.
8.1.3d)	All development within the ‘Stable Neighbourhood’ designation may be	The draft plan of subdivision process and ultimate conditions of draft plan

	<p>subject to Site Plan Control. Council may utilize all of the provisions of Site Plan Control permitted by the Planning Act, including, without limitation, the control of building materials, colour and architectural detail.</p>	<p>approval provide sufficient controls to ensure the appearance and architectural features of the single detached dwellings are appropriate. A forthcoming site plan control process will determine the appropriate building form and site design considerations on Block 224.</p>
<p>8.1.3e)</p>	<p>No new apartment buildings shall be permitted within the ‘Stable Neighbourhood’ designation. All existing apartment building development and development applications for apartment buildings approved prior to the adoption of this Plan shall be deemed to be in conformity with this Plan.</p>	<p>As noted above, the site specific policy context of Block 224 and its logical function as part of a higher density node oriented to the Promenade on Yonge Street support the conclusion that a site specific permission of an apartment building on Block 224 in the Stable Neighbourhood designation is appropriate.</p>
<p>8.1.3f)</p>	<p>All new development within the ‘Stable Neighbourhood’ designation shall have a maximum height of 3 storeys or 9 metres, whichever is less.</p> <p>The implementing Zoning By-law may provide more restrictive height limits based on the specific context of a neighbourhood or area within the Town.</p>	<p>As discussed above, and further in the zoning section of this report, an 11m height for large lot single detached units on the subject site is appropriate, is within the intent of the provision of grade related housing, and will be compatible with existing houses; a site specific amendment to permit this height is appropriate.</p> <p>As also discussed above, and further to the zoning section of this report, a 10 storey height limit for the proposed apartment building is compatible with adjacent higher density uses and nearby existing single detached dwellings; a site specific amendment to permits this height is appropriate.</p>

8.1.3g)	All new townhouses, multiple-unit buildings, communal housing and special needs housing may only be permitted within the 'Stable Neighbourhood' designation subject to achieving the following criteria to the satisfaction of Council:	While no such uses are proposed through the development proposal, the tests are appropriately applied to the high density apartment proposal.
8.1.3g)i)	the development shall respect the existing character of the surrounding neighbourhood through compatible and complementary building siting, massing, height and scale; and,	The forthcoming site plan process will address this policy.
8.1.3g)ii)	the exterior design of the proposed building or buildings, including materials, colours, architectural detail, landscaping, and streetscape elements shall be compatible with the proposal's immediate neighbours.	The forthcoming site plan process will address this policy.
8.1.3m)	Local convenience/service retail and office uses may be permitted in close proximity to existing commercial areas within the 'Stable Neighbourhood' designation provided that:	The proposed at-grade retail commercial uses in the high density building are close to commercial areas on Yonge Street.
8.1.3m)i)	the impact on adjacent developments is minimized through the provision of adequate parking, landscaping, setback and buffering provisions to be determined in the Zoning Bylaw; and,	The forthcoming site plan process will address this policy.
8.1.3m)ii)	traffic and parking studies which demonstrate that the use will not have an adverse impact on the existing or proposed traffic network to the satisfaction of Council.	The forthcoming site plan process will address this policy.

Design Policies		
8.1.4a	All new development within the ‘Stable Neighbourhood’ designation shall respect and reinforce the existing physical character and uses of the surrounding area, with particular attention to the following elements:	
8.1.4a)i)	the pattern of lots, streets and blocks;	<p>The proposed single detached lots, streets and blocks replicate and complete the development pattern and of the existing residential areas.</p> <p>The proposed high density block completes the pattern of higher density blocks east of the watercourse in Block 224 of the draft plan of subdivision.</p>
8.1.4a)ii)	the size and configuration of nearby lots;	<p>The proposed single detached lots are generally the same size or larger than existing lots, and are configured similar to existing lots.</p> <p>The proposed high density block is similar in size and configuration to the adjacent seniors building and apartment blocks.</p>
8.1.4a)iii)	the building type of nearby residential properties;	<p>The proposed single detached dwellings are on lots 15m or larger, surrounded by existing single detached dwellings on lots 15m or larger.</p> <p>The proposed apartment building is adjacent to existing apartment buildings. Nearby single detached dwellings are separated from the</p>

		proposed building by a watercourse and associated environmental protection buffer.
8.1.4a)iv)	the heights and scale of nearby residential properties;	<p>The proposed single detached dwellings are zoned R2 similar to existing single detached dwellings, the proposed height of 11m is 1m taller than existing dwellings and will be compatible.</p> <p>The proposed 10 storey apartment building is adjacent to the 4 storey seniors building and 7 and 6 storey existing apartment buildings, the proposed height is 3-4 storeys taller than the comparable apartments across the street and will be compatible with them. It is also near to single detached dwellings across the watercourse and will be compatible with these by respecting a 45 degree angular plane in relation to those buildings.</p>
8.1.4a)v)	the setback of buildings from the street;	Are discussed in the zoning section of this report and are appropriate.
8.1.4a)vi)	the pattern of rear and side-yard setbacks; and,	Are discussed in the zoning section of this report and are appropriate.
8.1.4a)vii)	conservation and enhancement of cultural heritage resources.	None exist within the draft plan of subdivision.

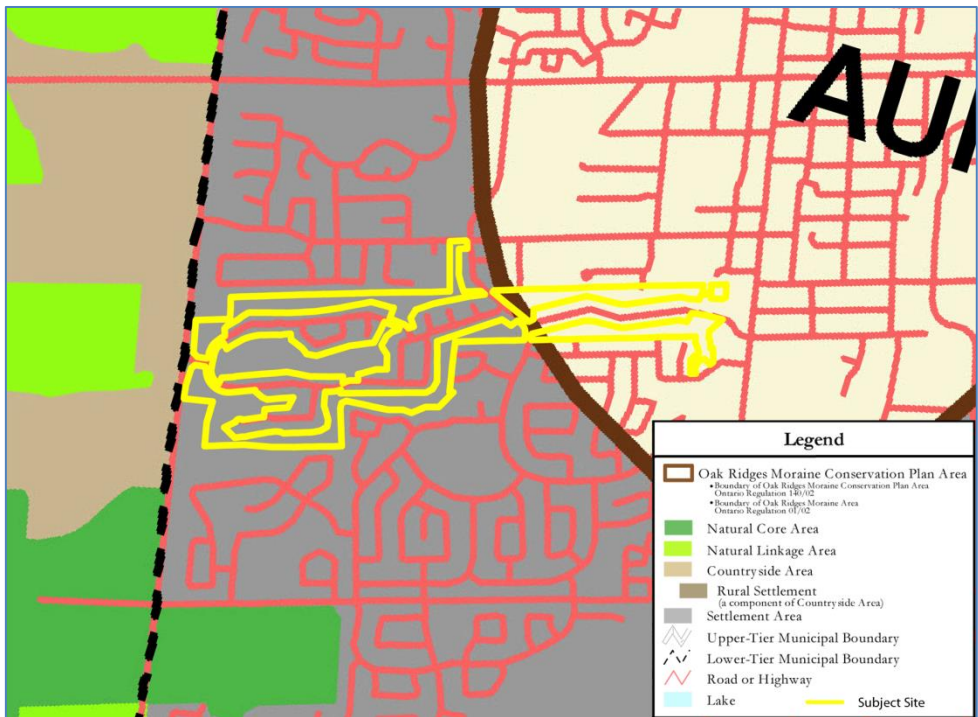
2.5 Oak Ridges Moraine Conservation Plan (ORMCP) Conformity

The property is located within the Oak Ridges Moraine Conservation Plan (ORMCP) and Lake Simcoe Protection Plan (LSPP) areas. Both the Region and Town have incorporated these Plans into their respective Official Plans. As such, general conformity with the ORMCP and LSPP is achieved through conformity to the local official plans. However, there are specific development requirements that must be addressed under the ORMCP and LSPP; these are addressed in Section 2.5 and 2.6 below.

The western portion of the subject site is located within an area further governed by the Oak Ridges Moraine Conservation Plan (ORMCP). Both the Region and Town have implemented this Plan into their respective Official Plans and general conformity with this plan is achieved through conformity to the municipal official plans. However, there are specific development requirements that must be addressed under the ORMCP.

The western portion of the subject site is designated Settlement Area in the ORMCP, as shown in Figure 2.9. These lands are intended to focus and contain urban growth by mitigating the impact of development on the natural ecological functions and hydrological features and promote the efficient use of land resources through intensification and redevelopment of underutilized lands within urban areas. Development of urban land uses should be consistent with the growth management strategies identified in local official plans. Permitted uses within Settlement Areas are subject to the following provisions of the ORMCP, Sections 21 – 26, 27(3), 28 – 29, 30(1)(12)(13), 41(1)(4)(5) and 42 – 47. These provisions of the ORMCP generally relate to minimizing disturbances to natural features, ground water, and ensuring property drainage and minimizing site alteration.

Figure 2.9: Property and ORMCP Land Use Designations



Source: Oak Ridges Moraine Conservation Plan - Land Use Designation Map 3

Sections 21 – 26 outline the need to identify and protect the minimum vegetative protection zone and key natural heritage/hydrological features, through a natural heritage evaluation and watershed/conservation plans. A Natural Heritage Evaluation completed by Beacon Environmental (February 2015) concluded that the proposed Draft Plan of Subdivision will protect or enhance key natural heritage / hydrologically sensitive features in accordance with the policies of these sections. Within Area 3 of the plan, there are two on-line ponds along the water course; the Lake Simcoe Region Conservation Authority has requested that these ponds be removed as part of an erosion control improvement and conservation project along the watercourse and associated wetlands. Such alteration is permitted under Sections 22 (2) and 26 (2) of the ORMCP for conservation and flood or erosion control projects, only if they are determined to be necessary in the public interest after all alternatives have been considered. Given that the removal of the on-line ponds will improve the quality of the watercourse and associated fish habitat, it is our opinion that the alteration is in the public interest and represents the only option to remove the ponds.

Subsection 24(8) (b)(ii) requires demonstration that there is an adequate water supply for the development, which does not compromise the ecological integrity of the Plan Area. The proposed redevelopment will be developed on full municipal water and sanitary sewer servicing and, as per the Preliminary Hydrogeological Investigation completed by Golder Associates in February 2015, the proposed redevelopment will not negatively affect the water supply and the ecological integrity of the surrounding area.

Subsection 27(3) requires the approval authority to consider the importance of ensuring that natural vegetation is maintained, and if possible, improved or restored, and that impervious surfaces are minimized to reduce stormwater runoff. The application proposes to retain and protect the identified on-site natural features, minimize disturbance to existing landform, and incorporate low impact development (LID) measures which will maximize the extent of natural vegetation retained as part of the development to reduce impervious surface and control stormwater.

Subsections 41(1), (4) and (5) prohibit the crossing of key natural heritage/hydrogeological sensitive features by transportation, infrastructure and utilities unless it has been demonstrated, among other things, that there is a need for the project and there is no reasonable alternative. Crossing of these sensitive features must also keep the amount of disturbances to a minimum and where possible, improve or restore key ecological and recreational linkages such as a trail system. The application proposes to retain and protect the watercourses that traverse the site and, furthermore, appropriate measures have been undertaken to appropriately convey and protect the watercourse as part of the redevelopment and enhance the trail system across the site. Street 'F' is proposed to cross a watercourse to provide access and develop the central portion of the Plan; there is no other reasonable access to this portion of the plan, and this is the only road crossing of a watercourse proposed in the plan. In this regard, the disturbances in the plan have been kept to a minimum.

Section 43 requires that a sewage and water system plan demonstrates, among other things, that the quantity / quality of ground water and surface water will be maintained. A Functional Servicing Plan completed by SCS Consulting proposes the use of s LID techniques such as swales, ditches and infiltration trenches that will be designed to provide quality erosion and quantity control.

Section 44 prohibits the construction or expansion of partial services, unless it is addressing a serious health or environmental concern. The Draft Plan of Subdivision does not propose the construction or expansion of partial services.

Section 45 requires an application for major development to be accompanied by a stormwater management plan that demonstrates the planning, design and construction practices will protect water resources, which must follow the requirements set out in Section 46. The proposed redevelopment is considered major development, as per subsection 3(1) of the ORMCP, which defines ‘major development’ as either the creation of four or more lots, construction of a building/buildings with a ground floor area greater than 500 m², or the establishment of a major recreational use. As such, a Stormwater Management Plan is incorporated into the Functional Servicing Report prepared by SCS Consulting Group and is submitted under separate cover.

Furthermore, subsections 45(7) and (8) specifically prohibit the disposal of stormwater into kettle lakes and the establishment of new ponds in areas with KNHF’s and HSF’s. There are no kettle lakes on the site and stormwater will be accommodated through a variety of LID techniques that will be constructed on municipal Right-of-Ways.

Section 47 prohibits new rapid infiltration basins and columns. No rapid infiltration basins and columns are proposed as part of the Draft Plan of Subdivision. A series of conveyance techniques including swales, ditches and infiltration trenches will be used for stormwater management.

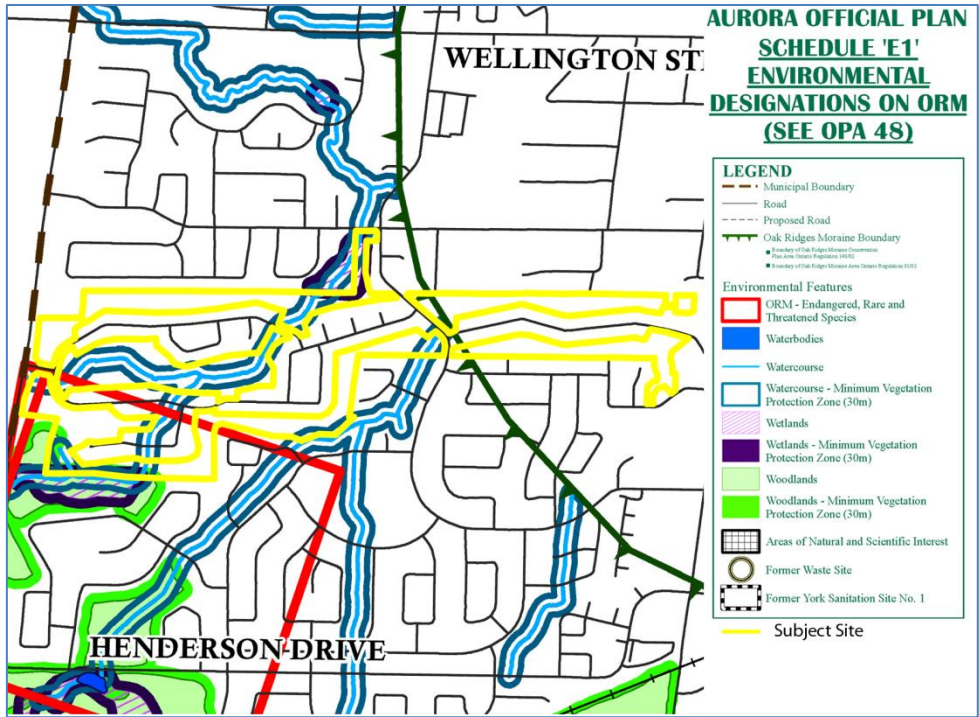
The remaining provisions, Sections 28, 29, 30(1) (12) (13) and 42, are discussed in the subsections below.

2.5.1 Oak Ridges Moraine Areas - Key Natural Heritage & Hydrologically Sensitive Features

As shown in Figure 2.10 mapping on Schedule E1 of the Aurora OP, shows the following designations on the subject site: two watercourses traversing the subject site; a small wetland area; a small woodland area; and a portion within area identified as containing Endangered, Rare and Threatened Species.

Also shown in the figure is each respective minimum vegetation protection zone (MVPZ) (30m) from the features on and surrounding the property. Although not shown in Figure 2.10, the minimum area of influence is all lands within 120m of the feature.

Figure 2.10: Property and Environmental Designations on ORM



Source: Town of Aurora Official Plan - Schedule E1 (2012)

While Section 12.5.2 of the Aurora Official Plan provides guidance on the environmental features, these have been considered along with the ORMCP policies related to the protection of KNHFs and HSFs. The significance of these features and their associated vegetation protection zones are determined through site-specific studies. Sections 21 and 22 of the ORMCP state that any application for development or site alternation within the minimum area of influence (120m) that relates to a key natural heritage feature, but outside the key natural heritage feature itself and the related minimum vegetation protection zone, requires a review and, if required, a Natural Heritage Evaluation.

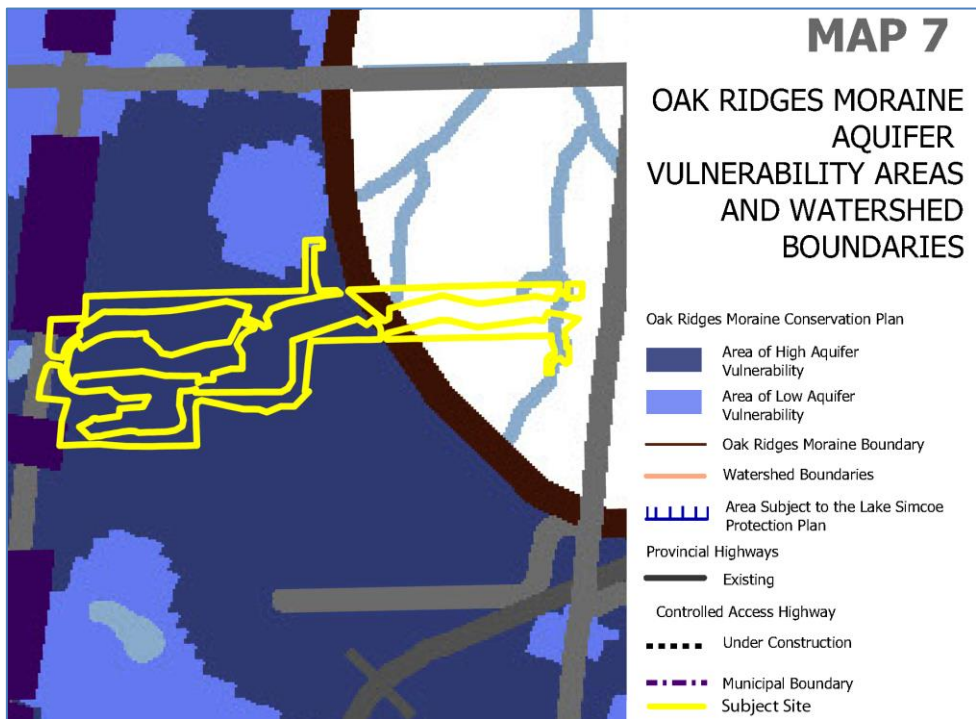
Beacon Environmental completed a Natural Heritage Evaluation that concluded that the site and surrounding area contains significant woodlands, wetlands and fish habitat; however, no endangered or threatened species were found. An MVPZ of 30 m will be applied to the adjacent significant woodlands and wetlands, as well as for the watercourses. In many cases, the MVPZ is exceeded by the limit of the floodplain. There is no alternative to an encroachment of Street 'A' into the MVPZ of the wetland north of Timberline Trail to ensure a second access to ensure adequate movement of emergency service vehicles. Accordingly, development within the MVPZ is required under section 26 (2) which permits transportation infrastructure, as described under Section 41 (public highways

being one), where the need has been demonstrated (a second access for safety and security of Street ‘A’) and where there is no reasonable alternative (there are no other options for access and the location point has been chosen to minimize impact).

2.5.2 Oak Ridges Moraine Areas - Aquifer Vulnerability

The subject site, as shown in Figure 2.11, is identified as being partially within an Area of High Aquifer Vulnerability. The intent of protecting areas that are of low and high aquifer vulnerability is to ensure safe potable water quality.

Figure 2.11: Property and Areas of Aquifer Vulnerability Context



Source: York Region Official Plan - Map 7 (2013)

Section 29 of the ORMCP addresses areas of high aquifer vulnerability; however the policies within the YROP are more restrictive. Specifically, Policies 7.3.49 to 7.3.51 in the YROP relate to development proposals in areas of high aquifer vulnerability. For areas that have high aquifer vulnerability, Policy 7.3.50 specifically restricts waste disposal sites/facilities, the generation and storage of hazardous waste, organic soil conditioning sites and snow storage/disposal facilities, waste and storage tanks that do not have a secondary containment device and storage of a contaminant listed in Schedules to Ontario regulations. The Draft Plan of Subdivision does not propose waste disposal uses, storage of any noxious or toxic substances, will not be used for snow disposal and will have

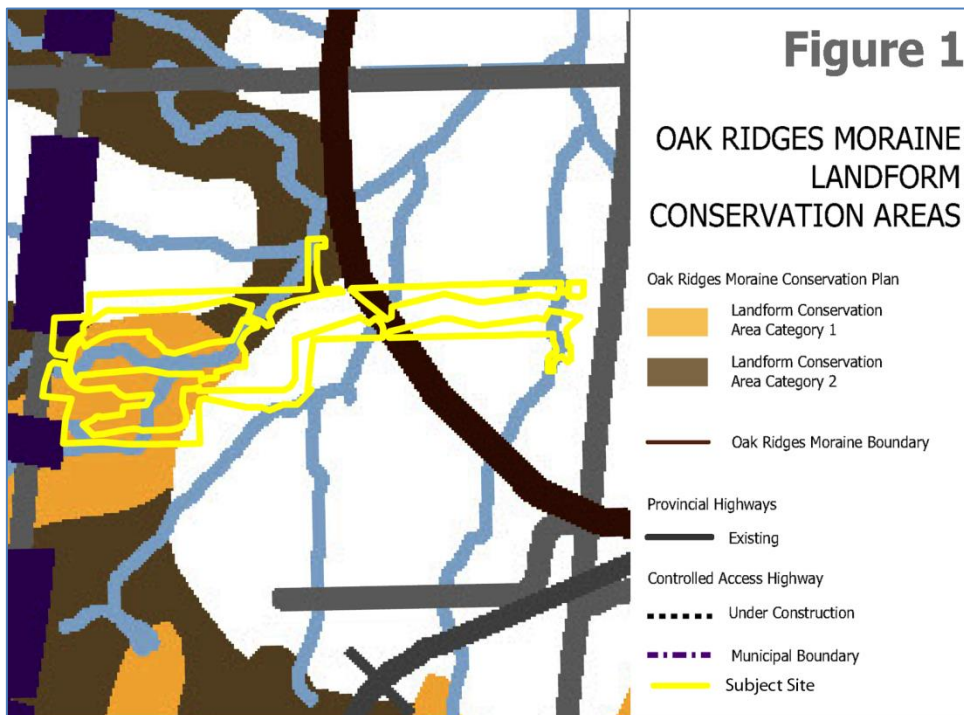
full municipal water and sewage services and therefore, these policies are satisfied.

Hydrogeological details can be found in the report prepared by Golder Associates, dated February 2015.

2.5.3 Oak Ridges Moraine Areas – Landform Conservation Area

As shown in Figure 2.12, the property is part of the Landform Conservation Area Category 1 and 2. The intent of the landform conservation areas is to encourage and support the conservation of significant landscapes, views and vistas.

Figure 2.12: Property and Landform Conservation Excerpt



Source: York Region Official Plan – Figure 1 (2013)

While policies 2.2.53 to 2.2.59 of the YROP provide guidance to development proposals in Landform Conservation Areas, the ORMCP policies in Section 30 are more restrictive and will therefore be relied upon. According to Section 30 of the ORMCP, any application for development shall identify planning, design and construction practices that will mitigate disturbances to landform character. On all lands within a landform conservation area, significant landform features (i.e. steep slopes, kames, kettles and ravines) shall be maintained and undisturbed. On land that is located within Category 1, the net developable area of the site that is disturbed is limited to no more than 25% of the total area of the site and the

portion of the net developable area that has impervious surfaces is limited to 15% of the total area of the site. On Category 2 land however, these limits increase to 50% and 20% respectively.

A landform conservation plan must accompany any major development application. Such a plan must contain a development strategy, maps of elevation contours, and an analysis of the site by slope type, significant landform features and all water bodies as per the requirements identified in subsections 30(5) to (9).

As the subject lands are within the Settlement Area designation, unequivocal latitude is given in the adherence of landform conservation restrictions. As per Subsection 30(13),

“With respect to land in Settlement Areas, in considering applications for development or site alteration within landform conservation areas (Category 1 and 2) the approval authority shall consider the importance of adopting planning, design and construction practices that will keep disturbance to landform character to a minimum, so as to satisfy the requirements of subsections (5) to (11) if possible.”

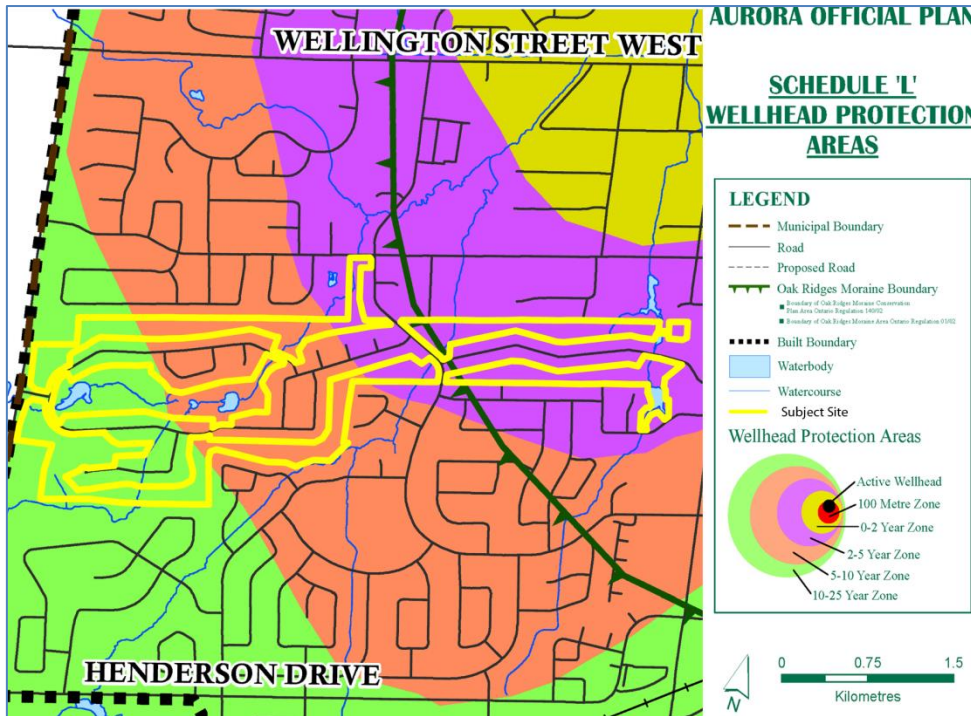
A Landform Conservation Assessment has been prepared jointly by MGP, Beacon Environmental and Golder Associates, which identifies methods by which the proposed redevelopment concept will minimize any necessary modifications to existing landform features to the extent possible. The proposed grading plan employs selective grading techniques to seek to minimize disturbances to the existing landform.

2.5.4 Oak Ridges Moraine Areas – Wellhead Protection Zones

As shown in Figure 2.13, the subject site is located within the 2-5, 5-10 and 10-25 Year Wellhead Protection Zones. The intention of the Wellhead Protection Areas is to protect the quality and quantity of the water supply. As per policy 14.4f of the Aurora Official Plan, Wellhead Protection Areas within the ORM are subject to the relevant policies of the ORMCP (Section 28).

Section 28 of the ORMCP prohibits waste disposal sites/facilities, the storage of certain harmful materials and the generation and storage of hazardous waste.

Figure 2.13: Property and Wellhead Protection Zone Excerpt



Source: Town of Aurora Official Plan – Schedule L (2012)

The Draft Plan of Subdivision does not propose waste disposal site/facility and will not be used for the storage of noxious and toxic substances. As such, these policies are satisfied.

2.6 Lake Simcoe Protection Plan

The *Lake Simcoe Protection Plan* (LSPP) provides policies to protect, improve, and restore elements that contribute to the overall health of the Lake Simcoe watershed. This includes restoring aquatic health, improving water quality, maintaining water quantity and improving ecosystems around shorelines and natural heritage areas.

The subject site is located within the East Holland Subwatershed of the LSPP.

As per the LSPP, the Appendix “Schedule of Applicable Policies” provides a table which lists the policies within the Plan that applications made under the Planning Act must either “have regard” for (HR) or “conform” (DP) with; Table 2.2 provides the list of relevant policies and summarizes how the proposed Draft Plan of Subdivision satisfies those policies.

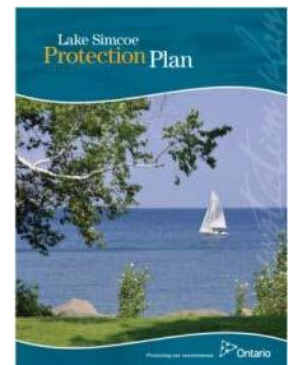


Table 2-2: Relevant Policies of LSPP

Policy		Response
General		
1.1 (DP)	In relation to any matter affected by a policy in this Plan, the boundary of the Lake Simcoe watershed that applies to the matter is the boundary that was in effect at the time the matter is commenced. Whether a matter is considered commenced shall be determined in accordance with the rules specified in the General Regulation under the Lake Simcoe Protection Act, 2008.	The site is located within the Lake Simcoe watershed boundary; therefore all applicable provisions will be considered.
Stormwater Management		
4.7 (DP)	<p>Municipalities shall incorporate into their official plans policies related to reducing stormwater runoff volume and pollutant loadings from major development and existing settlement areas including policies that:</p> <ul style="list-style-type: none"> a) encourage implementation of a hierarchy of source, lot-level, conveyance and end-of-pipe controls; b) encourage the implementation of innovative stormwater management measures; c) allow for flexibility in development standards to incorporate alternative community design and stormwater techniques, such as those related to site plan design, lot grading, ditches and curbing, road widths, road and driveway surfaces, and the use of open space as temporary detention ponds; d) support implementation of programs to identify areas where source control or elimination of cross connections may be necessary to reduce pathogens or contaminants; and, e) support implementation of source control programs, which are targeted to existing areas that lack adequate stormwater controls. 	<p>Noted. The proposed development complies with Town of Aurora Stormwater Management policies.</p> <p>See FSR by SCS Consulting.</p>

<p>4.8 (DP)</p>	<p>An application for major development shall be accompanied by a stormwater management plan that demonstrates:</p> <ul style="list-style-type: none"> a) consistency with stormwater management master plans prepared under policy 4.5, when completed; b) consistency with subwatershed evaluations prepared under policy 8.3 and water budgets prepared under policy 5.2, when completed; c) an integrated treatment train approach will be used to minimize stormwater management flows and reliance on end-of-pipe controls through measures including source controls, lot-level controls and conveyance techniques, such as grass swales; d) through an evaluation of anticipated changes in the water balance between pre-development and post-development, how such changes shall be minimized; and e) through an evaluation of anticipated changes in phosphorus loadings between pre-development and post-development, how the loadings shall be minimized. 	<p>Please see the Functional Servicing Report prepared by SCS Consulting Group Inc. submitted under separate cover.</p>
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Construction and Mineral Aggregate Resource Activities

<p>4.20 (DP)</p>	<p>Municipalities shall ensure that the following measures are incorporated into subdivision agreements and site plan agreements:</p> <ul style="list-style-type: none"> a) keep the removal of vegetation, grading and soil compaction to the minimum necessary to carry out development activity; b) removal of vegetation shall not occur more than 30 days prior to grading or construction; c) put in place structures to control and convey runoff; d) minimize sediment that is eroded offsite during construction; e) seed exposed soils once construction is complete and seasonal conditions permit; and f) ensure erosion and sediment controls are implemented effectively. 	<p>These measures shall be incorporated into the subdivision and site plan agreements.</p>
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Policies Applying to Both Lake Simcoe and Streams		
6.10 (DP)	Where, in accordance with the policies of the Plan, development or site alteration is permitted within 120 metres of the Lake Simcoe shoreline, other lakes in the Lake Simcoe watershed, or any permanent or intermittent stream or a wetland, the development or site alteration should be integrated with and should not constrain ongoing or planned stewardship and remediation efforts.	The proposed redevelopment is within 120 m of wetland/stream located on the subject site. Measures are proposed to ensure that the proposed redevelopment has no impact on the watercourses. Please see the Natural Heritage Evaluation prepared by Beacon Environmental.
6.13 (DP)	Upon completion of the shoreline management strategy, municipal official plans shall be amended to ensure they are consistent with the recommendations of the strategy.	Noted. The proposed redevelopment complies with policies of the Town of Aurora OP.
Settlement Areas		
6.32 (DP)	Policies 6.32 - 6.34 apply to existing settlement areas and areas of Lake Simcoe adjacent to these lands, including the littoral zone, and these areas are not subject to policies 6.1 – 6.3, 6.5, 6.11 and policies 6.20 - 6.29.	The proposed redevelopment will conform with policies 6.32-6.34 as the subject site is within an existing settlement area.

<p>6.33 (DP)</p>	<p>An application for development or site alteration shall, where applicable:</p> <ul style="list-style-type: none"> a) increase or improve fish habitat in streams, lakes and wetlands, and any adjacent riparian areas; b) include landscaping and habitat restoration that increase the ability of native plants and animals to use valleylands or riparian areas as wildlife habitat and movement corridors; c) seek to avoid, minimize and/or mitigate impacts associated with the quality and quantity of urban run-off into receiving streams, lakes and wetlands; and d) establish or increase the extent and width of a vegetation protection zone adjacent to Lake Simcoe to a minimum of 30 metres where feasible. 	<p>Please see the Functional Servicing and Stormwater Management Report prepared by SCS Consulting Group Limited and the Natural Heritage Evaluation prepared by Beacon Environmental.</p> <ul style="list-style-type: none"> a) Existing golf course use has resulted in degraded riparian conditions; these reaches are proposed to be restored and enhanced; b) Buffer from natural features shall be replanted with native meadow species; c) Sediment and erosion control plans will be implemented to ensure that sediments are contained on the site. Clean roof runoff will be directed to pervious surfaces. Runoff from roads and driveways will be directed to the stormwater management facilities for treatment; and d) Does not apply as the subject site is not adjacent to Lake Simcoe.
<p>6.34 (DP)</p>	<p>Where, through an application for development or site alteration, a buffer is required to be established as a result of the application of the PPS, the buffer shall be composed of and maintained as natural self-sustaining vegetation.</p>	<p>Buffers (where required) will contain native meadow vegetation. Please see the Natural Heritage Evaluation prepared by Beacon Environmental</p>

Recharge Areas		
6.36 (DP)	<p>A significant groundwater recharge area is an area identified,</p> <ul style="list-style-type: none"> a) as a significant groundwater recharge area by any public body for the purposes of implementing the PPS; b) as a significant groundwater recharge area in the assessment report required under the Clean Water Act, 2006 for the Lake Simcoe and Couchiching/Black River Source Protection Area; or c) by the LSRCA in partnership with MOE and MNR as an ecologically significant groundwater recharge area in accordance with the guidelines developed under policy 6.37. 	Noted.
6.38 (DP)	Once identified, municipalities shall incorporate significant groundwater recharge areas into their official plans together with policies to protect, improve or restore the quality and quantity of groundwater in these areas and the function of the recharge areas.	Noted. The proposed redevelopment complies with the policies of the PPS, York Region and Aurora Official Plans, and proposes the use of low impact development techniques to maximize groundwater recharge. The Hydrogeology report submitted concurrent with this application by Golder Associates addresses the quality and quantity of groundwater related to the proposed development.
7.14 (HR)	Where, in accordance with the policies of the Plan, development and site alteration is permitted within 120 metres of the Lake Simcoe shoreline or a permanent or intermittent stream or a wetland, the development or site alteration will be integrated with existing or proposed parks and trails to the extent feasible.	There are parks and trails being proposed on the subject site as part of the redevelopment of the golf course that will integrate with the existing and proposed parks and trails, as identified in the Integrated Trails and Open Space Concept Plan, prepared by Schollen & Company.
8.4 (DP)	Municipal official plans shall be amended to ensure that they are consistent with the recommendations of the subwatershed evaluations.	Noted. The proposed redevelopment complies with the York Region and Aurora OPs.

Based on the findings set out in the above table, it is our opinion that the proposed Draft Plan of Subdivision conforms to the policies of the Lake Simcoe Protection Plan.

2.7 Summary of Oak Ridges Moraine Conservation Plan, Lake Simcoe Protection Plan and Town of Aurora and York Region Official Plans

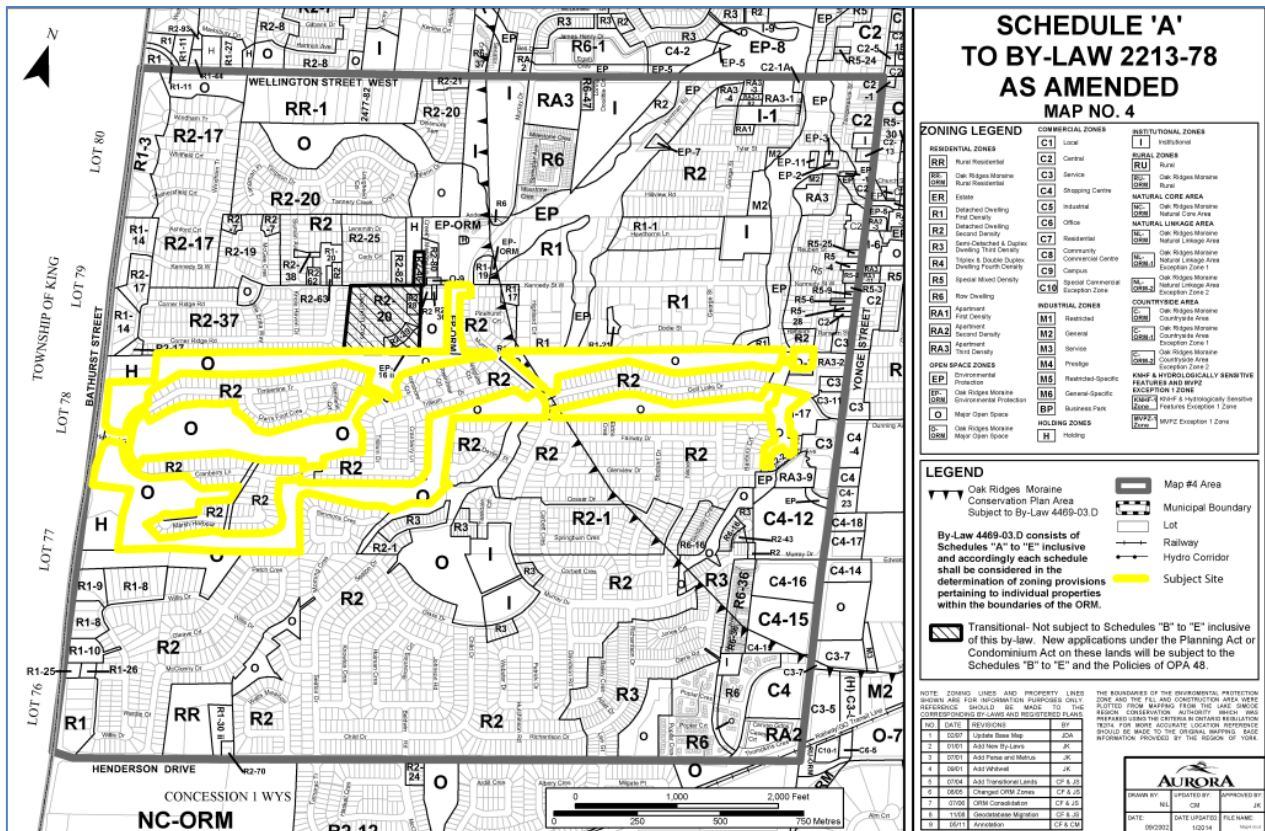
The proposed redevelopment conforms to the requirements of the Oak Ridges Moraine Conservation Plan, Lake Simcoe Protection Plan and the York Region and Town of Aurora Official Plans. The proposed redevelopment represents good planning, meets the intent of the Official Plans as it will redevelop underutilized parcels of land in a manner consistent and compatible with the surrounding community. The proposal will protect and maintain the existing environmentally significant features within the area. Furthermore, the proposed redevelopment will provide housing options in keeping with the high quality homes in the area and will retain the integrity and character of the existing community, promoting good quality architecture and creating a positive image and sense of community.

2.8 Town of Aurora Zoning By-law (2213-78)

The Town of Aurora Zoning By-law 2213-78 (consolidated in March 2013) applies to the subject site. Furthermore, the Town passed Zoning By-law 4469-03 to implement the ORMCP for lands within the Oak Ridges Moraine Plan Area.

The majority of the subject site is currently zoned Major Open Space (O), Major Open Space Exception (O-2) and Oak Ridges Moraine Environmental Protection (EP-ORM). The zoning categories applicable to the subject site and surrounding areas are shown in Figure 2.14.

Figure 2.14: Property and Surrounding Zoning Excerpt



Source: Town of Aurora Zoning By-law, Schedule 'A' – Map 4 (2013)

The Major Open Space (O) Zone permits agriculture uses, athletic fields, conservation uses, forestry uses, horticultural nurseries, golf courses, parks (public and private) and wildlife areas.

A small portion on the eastern side of the subject site is zoned Major Open Space Exception (O-2) and is permitted to be used as a parking lot accessory to the golf course.

The Oak Ridges Moraine Environmental Protection (EP-ORM) Zone permits legally existing uses (as of November 15, 2001), fish, wildlife and forest management, conservation projects, non-motorized trails, transportation, infrastructure and utilities and natural heritage appreciation. Furthermore, this zone prohibits new stormwater management ponds and new agricultural uses on lands within the ORM that are identified as KNHF and/or HSF.

The existing residential areas surrounding the subject site are generally zoned Detached Dwelling Second Density (R2). The apartment block to the north of the proposed high-density building is zoned Third Density Apartment Residential (RA3-2).

Through our review of the Zoning By-law and its regulations, the proposed Draft Plan of Subdivision will require a Zoning By-law Amendment to rezone from Major Open Space (O) to Detached Dwelling Second Density Residential Exception (R2-XX1/R2-XX2), Third Density Apartment Residential Exception (RA3-X), Environmental Protection (EP-X) and Major Open Space (O-X) to permit the proposed redevelopment of the site.

R2 exception zones are proposed for the subject site, with two standards; the first standard will apply to the standard lots while the second will regulate the custom lots.

2.8.1 Zoning Provisions for Standard Lots

To maintain compatibility with the existing neighbourhood it is proposed that the majority of the R2 standards be required for the proposed single detached dwellings. These include Minimum Lot Area, Minimum Lot Frontage, and Minimum Rear Yard Setback. The extra lot depths in many parts of the proposed plan provide opportunities to provide a larger rear yard where possible, exceeding the minimum rear yard and lot area requirements of the zone.

The proposed exceptions to the standard R2 zone for the standard lots include:

- a Minimum Required Front Yard of 6.0m for the garage and 4.5m for the main dwelling, where 6.0m to any part of the building is otherwise required;
- a Minimum Required Interior Side Yard (regardless of building height) of 1.2m where 1.5m is otherwise required for two storey buildings and 1.2m for bungalows;
- a Minimum Required Exterior Side Yard of 4.5 m where 6.0 m is otherwise required;
- no Maximum Lot Coverage where 35% is otherwise permitted; and,
- a Maximum Height of 11m where 10m is otherwise permitted, and a definition of height that would measure from the average grade along the front elevation of the building, whereas the bylaw currently required that height be measured from the average grade of the exterior walls of the building.

- Allowance for encroachment of architectural features and central air conditioning units.

2.8.1.1 Proposed Front Yard Setback Requirements

The proposed front yard setback of 6.0m for the garage and 4.5m for the main building is a minor change to the zoning that aligns with contemporary house design and good urban design and streetscape principles. The effect of the change is to bring the house and porch closer to the street (thereby creating a more engaging and pedestrian friendly streetscape) while recessing the garage and thereby minimizing the prominence of the car and its storage without a reduction in driveway length. With the proposed architectural controls and standards, it will facilitate a more desirable streetscape and public realm. The general intent of the front yard setback is to ensure sufficient front yard space is provided, and 6m of off street parking is allowed for in the driveway. The proposed lesser setback will maintain this primary intent while allowing the house to be more prominent along the street, rather than the garage, enabling a more desirable form of housing and urban streetscape. This justifies bringing the main building closer to the street and enhancing the safety and security of the community through the ‘eyes on the street’ principle. It should also be noted that there are existing exceptions within the Highland Gate Community which allow the same staggered front-yard standard (e.g. R2-29), as within the Aurora 2C area. The proposed amendment to the front yard standard maintains the character of the existing streetscape given that a similar housing typology is presented and there is no adverse impact on the existing neighbourhood. It should also be noted that the existing lots mostly back onto the proposed development and, as such, the reduced front yard setback will not be visible to the majority of the existing residents and will result in an attractive streetscape in the few instances where it completes the streetscape.

2.8.1.2 Proposed Interior Side Yard Setback

The proposed interior side yard setback of 1.2m would apply to all standard lots. This proposed standard is a minor change from what currently exists in the parent R2 Zone category. Given the large lot sizes, the difference of 0.3m will not negatively impact neighbourhood character or streetscape. The intent of the minimum required interior side yard zoning regulation is to ensure sufficient space between dwellings and allow adequate access between the front and rear yards, and where possible allow for windows and light entry into the building from the side yard elevation. A 2.4m separation between buildings on large lots will provide an adequate sense of spaciousness between houses, provides adequate access between the front and rear yards and will maintain the

opportunity for architectural features (such as bay windows) and the penetration of light through the side elevations of the lots. It should be noted that site specific amendments to the R2 zone currently exist, which similarly allow a side yard reduction to 1.2m (e.g. R2-37); in some exceptions, such as R2-7, R2-20 and R2-29, there is permission for 1.2m on one side and 0.6m on the other side, resulting in a total of 1.8m between houses. This is now the common practice in many municipalities. The proposed interior side yard is more restrictive than what is currently common practice and provides more space between dwellings.

2.8.1.3 Proposed Exterior Side Yard Setback

The redevelopment proposes an exterior side yard setback of 4.5m. The proposed setback results in a decrease of 1.5m from the parent R2 zone category, however, the difference poses minimal impact on the existing neighbourhood. The proposed setback is appropriate as it provides adequate distance between the road and dwelling, while making efficient use of land. Generally, the intent of the zoning standard is to provide for driving safety so that vehicles have sufficient sight lines at intersections. It is our opinion that this intent is maintained with the proposed setback and is also replicated in existing R2 exception zones such as R2-12, R2-19, R2-25, and R2-82. Furthermore, the proposed setback promotes a pedestrian-oriented urban design, and it should be noted that as a result of the infill nature of the proposed development, and the numerous single loaded streets, there are only five lots in the proposed redevelopment that have an exterior side yard abutting a street.

2.8.1.4 Proposed Maximum Height

The subject redevelopment proposes a maximum height of 11m where 10m is otherwise permitted in the parent R2 zone. The resulting 1m or 10% difference in height is minor and will not result in a noticeable change in height, particularly from abutting existing residential lots, where as a result of the combined rear-year setbacks the buildings will be 15m apart. The general intent of controlling height is to ensure buildings of similar height compatibility and to achieve uniformity in the streetscape; the 1m height increase will not provide a noticeable taller building between the existing the proposed residences. In addition, it is anticipated that some portion of the proposed lots will be bungalows and be built below the maximum height. The requested height is desirable in permitting houses with contemporary ceiling heights (9 -10 ft/2.7-3.1m). It is also required to address the substantive grade variations across the site. In this context, it is also proposed that height be measured from the average grade at the front face of the building – this is necessary to ensure that an appropriate height of building can still be

constructed in instances where the rear grades differ substantially from the front grades on a lot.

2.8.1.5 Proposed Absence of a Coverage Provision

The general intent of coverage provisions in a bylaw is to control the amount of area on a site that can be built upon, particularly when the minimum yards do not discretely define a building envelope. This is particularly the case on larger estate lots, but more frequently is recognized as a redundant requirement on lot widths of more typical residential subdivision size (e.g. 60ft/18.3m lot widths and under). Given that the standard lots in the proposed plan are subject to zone standards, architectural control and urban design guidelines that collectively serve to control the appearance, massing and scale of housing within the building envelope on the lots, we are of the opinion that a coverage requirement is unnecessary in the proposed zoning bylaw. It should be noted that coverage requirements were removed from the Aurora 2C zoning bylaw. As addressed earlier, protecting the rear yard setbacks, as this is where most of the potential conflict between new and existing residential dwellings occurs, is an important component in the R2 exception zone. Furthermore, the minimum lot areas and frontages will be maintained and therefore the residential dwellings will not significantly differ from the existing residential dwellings, which is desirable.

2.8.1.6 Encroachment Allowances for Architectural Features and Central Air Conditioning Units

To be compatible with the existing community, a high level of architectural control and design will be required for the single detached units. To ensure that the contemporary expectations for architectural features are accommodated, encroachments of various elements in the permitted yards are requested the zoning bylaw. The requested encroachments reflect standard provisions requested in contemporary zoning in the Town, and will generally ensure the built form is aesthetically pleasing while contributing the quality of the home for new residents.

2.8.1.7 Zoning Provisions for Standard Lots Conclusion

Overall, the Official Plan intent to maintain Stable Neighbourhoods and provide development with standards that ensure compatibility with existing uses is achieved with the proposed R2 zone provisions for standard lots. In addition, it is the intent of the Stable Neighbourhoods designation to be protected from incompatible form and, at the same time, be permitted to evolve and be enhanced over time. The exceptions that are proposed to the R2 zone are reflective of a more contemporary house type that is in demand in the marketplace and will still be sensitive to its surrounding context, thereby enhancing the neighbourhood overall.

Therefore, it is our opinion that the proposed zoning standards are good planning and are appropriate for the subject redevelopment in the context of the surrounding neighbourhood. The proposed standards include minor differences from the parent R2 zone standards and are based on contemporary standards in the surrounding areas and the newer area in the Town. Furthermore, the standards are desirable and appropriate as they permit housing types responsive to current market demands and will reflect contemporary architectural standards. As well, the intent of the planning policies are met and maintained through the proposed R2 zoning exception standards.

Table 2.3 summarizes the proposed zoning standards for the single detached dwellings on standard lots.

Table 2-3: Detached Dwelling Second Density Residential Exception 1 (R2-XX1) Zoning Standard

Detached Dwelling Second Density Residential Exception (R2-XX1)	Zoning Standard
Permitted Use	One Detached Dwelling Per Lot A Home Occupation
Minimum Lot Area	460.0 m ²
Minimum Lot Frontage	15.0 m
Minimum Required Front Yard	Building: 4.5 m Garage: 6.0 m
Minimum Required Rear Yard	7.5 m
Minimum Required Interior Side Yard	1.2 m
Minimum Required Exterior Side Yard	4.5 m
Maximum Lot Coverage	N/A
Maximum Height	11.0 m

2.8.2 Zoning Provisions for Custom Lots

To maintain compatibility with the existing neighbourhood it is proposed that the majority of the existing R2 standards be required for the proposed single detached dwellings. In certain areas of the Draft Plan where there are size constraints and unique lot shapes, an exception zone is proposed to be utilized to accommodate the unique lots. The zoning standards for the R2-XX2 exception zone are detailed in Table 2.4. The zone standards apply to 12 custom lots through the draft plan and allow for the appropriate development and use of these lots for 15m or larger lot width. In some instances mitigation at the abutting lot lines with existing lots will be required; the potential for mitigation elements is discussed in the next Section of this report.

Table 2-4: Detached Dwelling Second Density Residential Exception 2 (R2-XX2) Zoning Standard

Detached Dwelling Second Density Residential (R2-XX2) Exception Zone	Zoning Standard
Permitted Use	One Detached Dwelling Per Lot A Home Occupation
Minimum Lot Area	460.0 m ²
Minimum Lot Frontage	15.0 m
Minimum Required Front Yard	Building: 4.5 m Garage: 6.0 m
Minimum Required Rear Yard	6.0 m
Minimum Required Interior Side Yard	1.2 m
Minimum Required Exterior Side Yard	4.5 m
Maximum Lot Coverage	N/A
Maximum Height	11.0 m

2.8.3 Zoning Provisions for High Density Site

The RA3-X zone, which is proposed for the high-density building site, generally maintains the zoning standards of the apartment buildings opposite the subject site, with three exceptions described below. The high density block is located within what can be considered a minor higher density node extending from the Yonge Street Corridor along Golf Links Drive and terminating at the abutting watercourse and associated buffers to the west. The watercourse and associated buffers provide a natural separation between these higher density uses and the existing single-detached dwellings to the west. Design considerations for the development on the site such as façade and building materials, siting and massing,

relationship to the streetscape of Golf Link Drive, building shadowing, and siting of the building and driveways and parking on site will be considered through forthcoming site plan control and draft plan of condominium applications.

The question of maximum density, height, and building envelope and related Official Plan policies and Zoning provisions is appropriately determined at this time. Accordingly, the conceptual building elevations and site plan are used in this report to assess the development standards required on this block. In particular, the general compatibility of the building with regard to massing as compared to existing uses is considered, focusing on the maintenance of site/sky lines and appropriate angular planes.

Table 2-5: Third Density Apartment Residential (RA3-X) Zoning Standard

Third Density Apartment Residential (RA3-X)	Zoning Standard
Maximum Lot Coverage	35%
Maximum Height	10 storeys, where mechanical penthouse and ornamental roof structures are excluded from height and required to be setback 1m from the edge of the floor below.
Minimum Lot Frontage	30.0 m
Minimum Front Yard	9.0 m
Minimum Rear Yard	9.0 m
Minimum Side Yard	9.0 m on one side, and 2.0m on the side abutting an Environmental Protection Zone
Minimum Exterior Side Yard	9.0 m

2.8.3.1 Proposed Height Provision

A site-specific exception to permit a building height of up to 10 storeys is proposed in association with the conceptual building shown in Figure 2.15 High Density Building Concept - Context Map and Figure 2.16 High Density Building Concept - Site Plan. **Error! Reference source not found.** This includes a clarification with regard to section 3.17 that specifically excludes any mechanical penthouse, ornamental roof structures such as towers or other architectural features from the definition of building height, and includes a requirement that roof mounted mechanical penthouses be set back a minimum of 1 metre from the edge of the floor below.

Figure 2.15 High Density Building Concept - Context Map

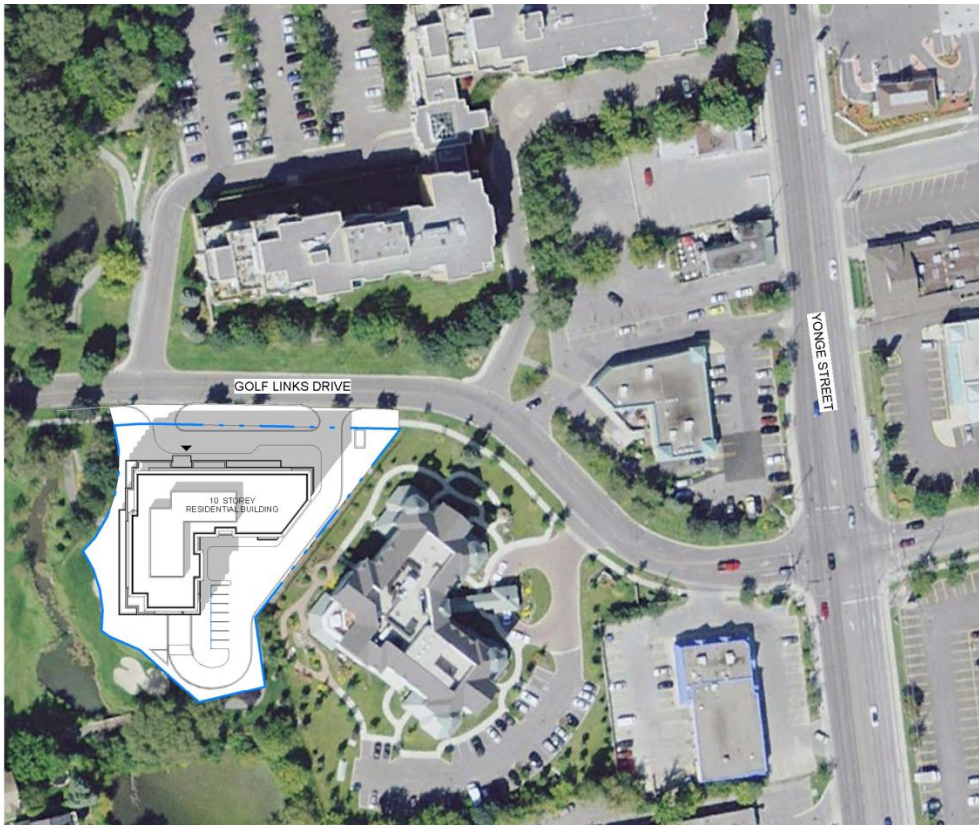
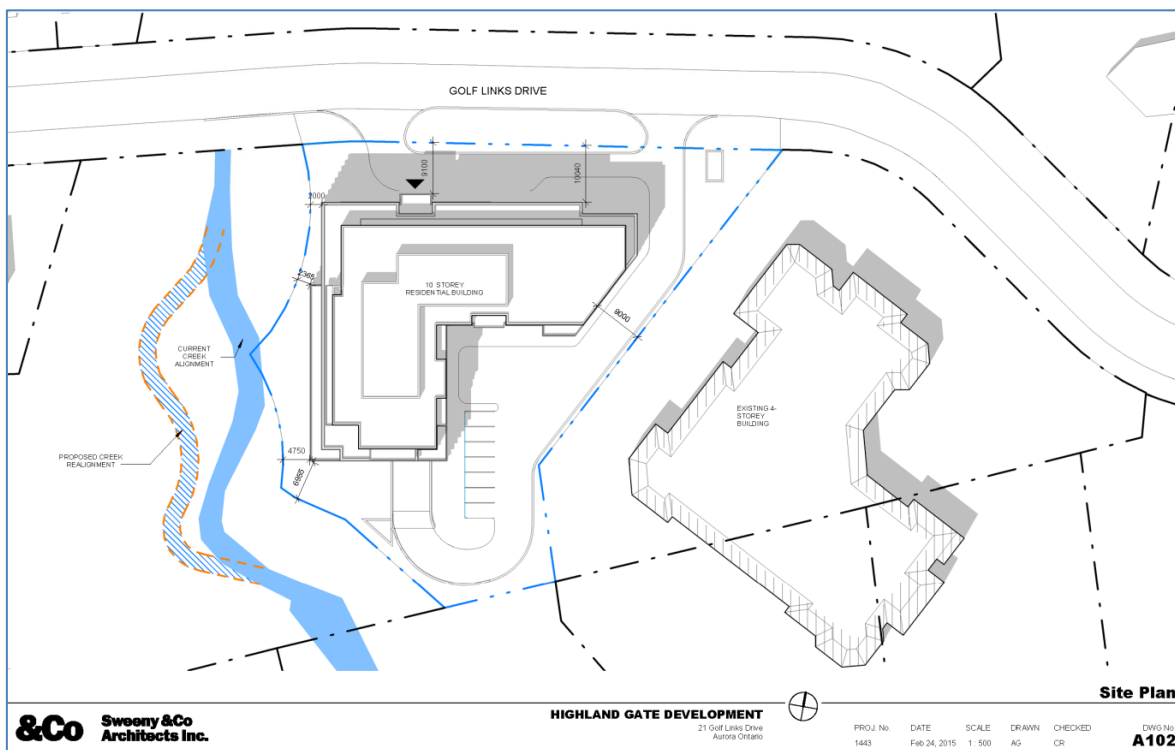


Figure 2.16 High Density Building Concept - Site Plan

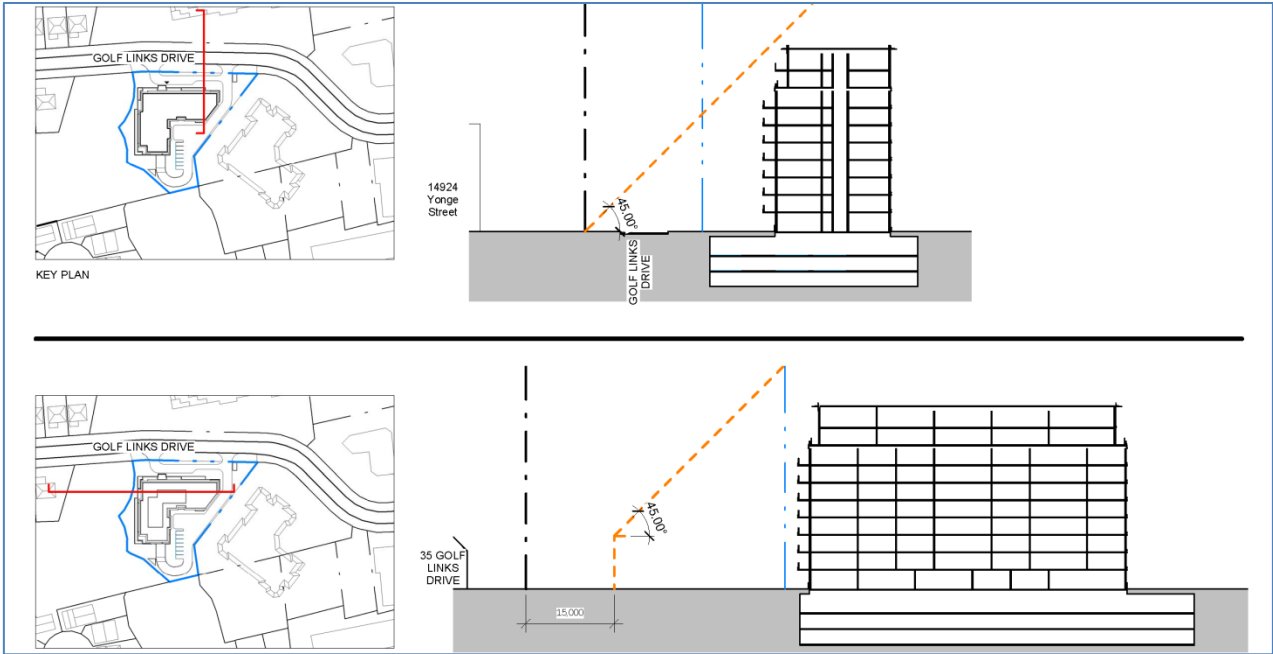


The Aurora Promenade Concept Plan – Urban Design Strategy, which is to be read in concert with the Aurora Promenade Secondary Plan, although not applicable to the proposed development, provides direction on the angular plane policy of the Town of Aurora: where new development on sites within the Aurora Promenade abut properties that are designated Stable Neighbourhoods, a 45 degree angular plane must be applied. Although the development site is not within the Aurora Promenade, nor does the high-density residential block directly abut a Stable Residential Area (it abuts lands proposed to be designated for Environmental Protection) it is our opinion that consideration of building height should be determined in keeping with the principle of a 45 degree angular plane on the north and west façade from the nearby properties to ensure appropriate transition to and compatibility with nearby lower density uses.

The intent of requiring a minimum angular plane is to scale back upper floors of high density buildings (above where a normal grade related height would terminate, approximately 9-11m) to ensure a grade-related scale of development is presented to abutting grade-related residential areas. This principle is primarily intended to apply when the two uses are directly abutting; the starting point of the angular plane can increase the further separated a building is from grade related housing.

As previously noted, the proposed high density block is separated from the Stable Neighbourhood by an intervening Environmental Protection Block. As demonstrated in Figure 2.17: Angular Plane Drawing whether the angular plane is measured from the limit of the apartment property on the opposite side of Golf Links Drive, or from the mid-point of the environmental buffer the unscaled height of the proposed high-density building can be extended well beyond the typical 9 metres, while not offending the 45 degree angular plane from a pedestrian or grade related housing perspective. It is our opinion that the scale of the building at 10 storeys on the high density site is in keeping with the general high density character of abutting lands. Moreover, the maintenance of an angular plane relationship of the building facades with adjacent uses ensures the building height can be compatible with those uses. It is our opinion that a height of 10 storeys is appropriate on the site.

Figure 2.17: Angular Plane Drawing



Source: Malone Given Parsons Ltd.

2.8.3.2 Proposed Minimum Interior Side Yard Provision Abutting Environmental Protection

A minimum interior side yard setback of 2.0m is proposed on the side lot line abutting the Environmental Protection block. As seen in the above figures, the proposed layout of the building utilizes the site efficiently, but as a result of the irregular lot line created by the buffers from the watercourse, portions of the building are within 2m of this line. The reduced side yard is appropriate given the separation of the building from nearby existing residential uses to the west of the Environmental Protection block. As an alternative to the requested standard, the portion of the environmental buffer in Block 216 abutting the building could be retained under private ownership within Block 224 (the high density block), which would ensure that the building could maintain the 9m side yard setback normally required in the R3 zone.

2.8.3.3 Proposed Zoning Provision to Accommodate Parking

It is proposed that parking for the high density building be accommodated through on-site underground and surface visitor parking, and in part through off-site parking on the nearby parking lot in Block 225 (which is legally tied to Block 224 for the purposes of parking) and was used for parking associated with the golf course, and continues to be used for parking by the abutting apartment buildings.

Accordingly, a provision is proposed in the zoning bylaw to permit parking on Block 225. .

2.8.3.4 Proposed Commercial Permissions on the Ground Floor

It is proposed to that commercial uses (retail stores and professional offices) be permitted on the ground floor of the high density building. Commercial uses at grade provide the opportunity for serving the residents of the building and nearby neighbourhoods with local commercial uses. Conformity with the policies of the Official Plan can be achieved on Block 224 by locating such uses close to other commercial uses (those on Yonge Street) and through the forthcoming site plan process that will address the other requirements of the Official Plan.

2.8.3.5 Zoning Provisions for High Density Block Conclusion

Overall, the zoning of the subject land for a ten-storey building appropriately permits a higher density built form in an appropriate location. The building is sufficiently setback and maintains compatibility with nearby existing residential areas.

2.8.4 Proposed Zoning for Open Space and Environmental Protection Zones

The open space system, consisting of open space blocks and parkettes shown on the draft plan of subdivision is proposed to be zoned Major Open Space (O-X) in keeping with the Town's standard approach to zoning such areas. Similarly, environmental features (including the limit of the floodplain) and their associated buffers are proposed to be zoned Environmental Protection (EP-X). The trails and parks master plan proposes an extensive trail network, some of which may cross natural heritage features or be provided in the buffers of natural heritage features where no other practical option is available; the appropriate permissions for trails must be included in the final zoning provisions for the Major Open Space and Environmental Protection zones on the subject site. In addition, roads must also be permitted to cross natural heritage features or be within the minimum buffer of features where demonstrated to be necessary (particularly Streets A and F, as discussed in the Oak Ridges Moraine Conformity section of this report.

3.0

PLANNING OPINION

Through the planning analysis detailed in the previous section, it is our opinion that the proposed redevelopment is good planning that is consistent with, conforms to and complies with all Provincial, Regional and Municipal planning documents.

It is our opinion that the proposed redevelopment is consistent with the Provincial Policy Statement 2014, and conforms to the policies of the Growth Plan for the Greater Golden Horseshoe, Oak Ridges Moraine Conservation Plan, Lake Simcoe Protection Plan, York Region Official Plan and the Town of Aurora Official Plan. The subject site is an appropriate location for intensification as it is both within the built-boundary and the settlement area and achieves the pervading policy intent of these plans to redevelop sites of this nature for compatible infill development.

The proposed density (approximately 22.8 units per net hectare, approximately 37 people and jobs per gross hectare), mix of housing (184 single detached units and 144 apartments) and land uses (low and high density residential, parkettes/open space, environmental protection) are appropriate and assist the Region and Town in meeting their respective intensification and affordable housing targets. Compared to the density requirements that would be imposed on the site were this a New Community area (which generally requires 70 people and jobs per hectare) or within a higher order intensification area, the proposed development will deliver growth at a lower overall density. This is appropriate in recognition that the majority of this site is an infill opportunity and redevelopment must be compatible with the surrounding neighbourhoods. The high density building is proposed in a local node of higher density uses oriented to the Yonge Street Regional Corridor. The proposed apartment building provides opportunity to meet the Region's requirement that 25% of all new housing be affordable; the 144 apartments that could be built on the site account for 44% of the total number of residential units proposed as part of the development proposal.

The following provides additional analysis and discussion of the following key components in rendering our opinion with regard to the proposed Official Plan and Zoning Bylaw Amendments and Draft Plan of Subdivision.

3.1 Mitigation for Existing Residents of New Interface Conditions

While it is our opinion that the proposed redevelopment and development standards provide compatible land uses, it is recognized that the majority of the site directly abuts existing residences. It is expected that the need to mitigate potential impacts on existing residents from new development will need to be considered through the forthcoming consultation process. Figure 3.1 illustrates the areas of the draft plan for potential screening (through vegetation and/or fencing) of existing residences from new interface conditions. It is anticipated that the need for mitigation will be determined on a case by case basis, through consultation with existing residents. Figure 3.2 illustrates the potential screening treatments to address the various interface conditions that will be available during the consultation.

Figure 3.1: Potential Mitigation Areas

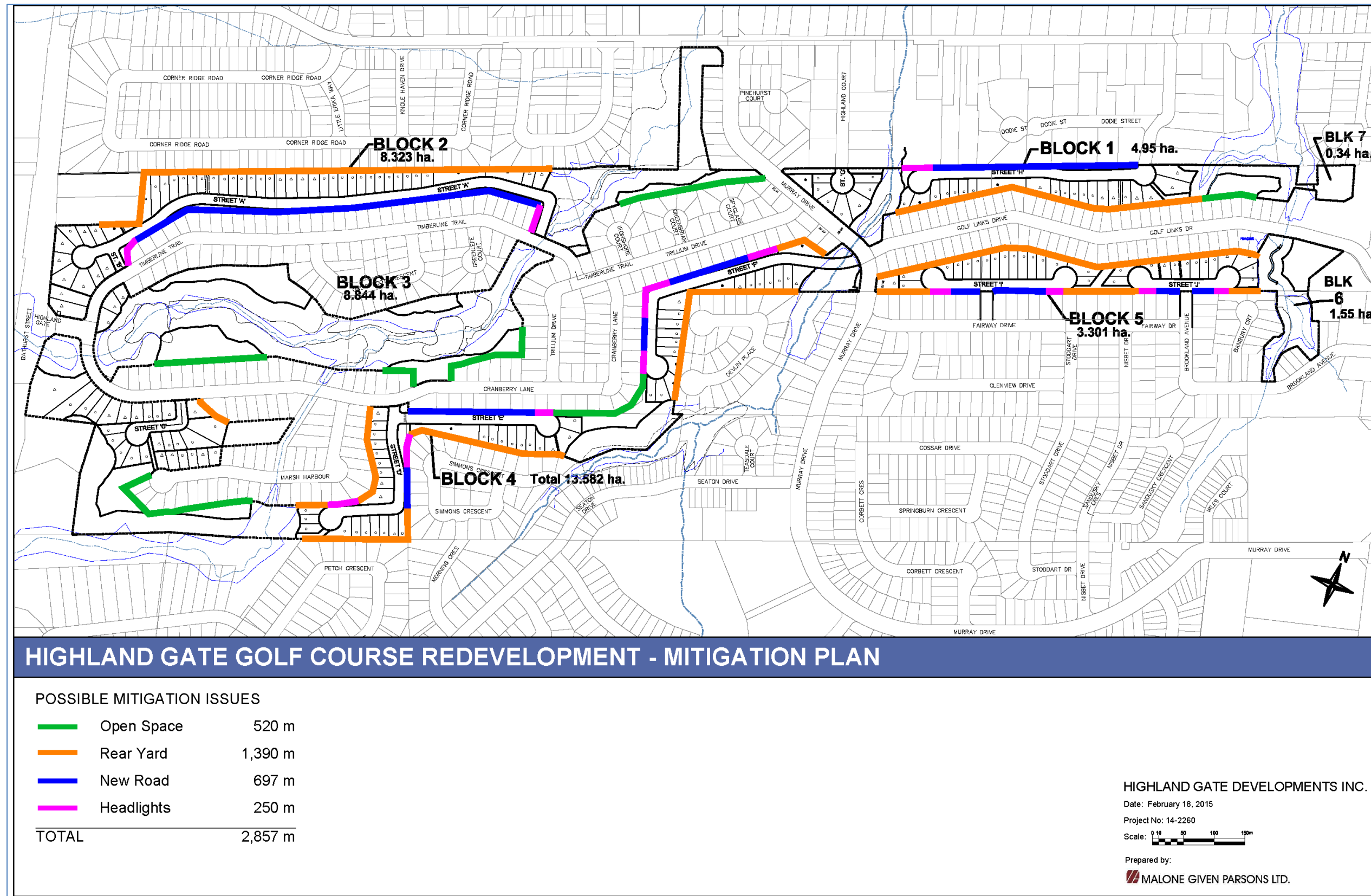


Figure 3.2: Potential Screening Treatments for Potential Mitigation Areas



3.2 Availability of Sufficient Servicing and Community Infrastructure

As noted in this report and the concurrently submitted Functional Servicing and Stormwater Management Report (SCS, 2015) sufficient servicing infrastructure is available or will be made available to service the proposed development. Sanitary Sewer Servicing capacity for the Town of Aurora is provided by York Region, and in turn it is the responsibility of Council to determine which applications receive servicing allocation. It is the Town's practice to hold allocation in reserve to support growth on an as needed basis. The development proposal will require Council allocation of servicing capacity at the time draft approval is issued.

Furthermore, as demonstrated in the *Community Services & Facilities Study* (submitted under separate cover), the required levels of social infrastructure currently exist to support the economic, social, and cultural well-being of local residents and are sufficient to support the projected additional population as a result of the proposed redevelopment. The proposed redevelopment will contribute to the continued viability of existing community services, not only by providing connectivity between trails networks and parks, but also by locating new families in close proximity to, and thereby supporting the viability of neighbourhood commercial uses (including child care centres), libraries, schools, places of worship.

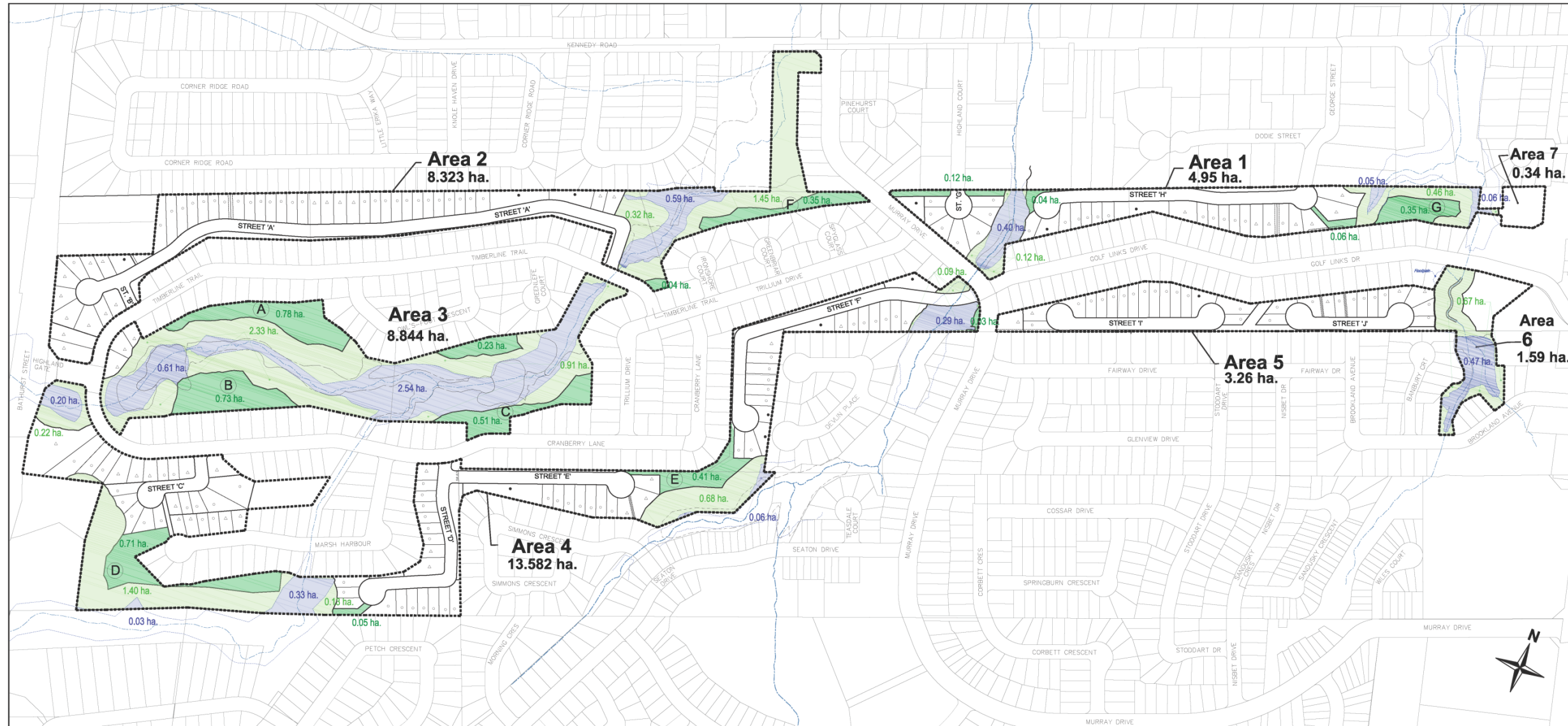
3.3 Parks & Open Space System

The proposed draft plan of subdivision identifies blocks for both parkettes and open space, where approximately 47% of the site will be maintained as open space, providing an increase in publicly accessible open space amenities in public ownership. For the most part, the informal recreation opportunities and travel paths afforded by the former golf course are replicated in the overall open space and natural heritage system. The total area of parkettes proposed to be conveyed for the purposes of a passive open-space recreational and trail system will considerably exceed the parkland dedication requirements for the proposed development, pursuant to the Planning Act and Aurora Official Plan.

As illustrated in Figure 3.3, the proposed redevelopment includes 3.84 hectares of parkland (composed of seven parkettes labelled 'A' through 'G'), which is well above the parkland requirement as per the Planning Act.

The parkettes will provide the community with a variety of passive and active recreational opportunities for a variety of ages and abilities as illustrated in the figure below. This may include naturalized landscaped areas, gardens, playgrounds, seating areas, junior/senior play, exercise stations, water play area and sports facilities. Area 3 functions as the primary location of parkettes and recreation opportunities in the plan – it serves as a central part of the overall Trails and Open Space master plan illustrated on Figure 1.4 below.

Figure 3.3: Highland Gate Redevelopment Open Space and Constraints



HIGHLAND GATE GOLF COURSE REDEVELOPMENT - CONSTRAINTS AND OPEN SPACE

AREAS OF CONSTRAINT AND OPEN SPACE

	Floodplain -	5.63 ha.
	Environmental Protection (outside the Floodplain)	8.78 ha.
	Open Space	4.41 ha.
	Centreline of Creek	
TOTAL		18.82 HA.

TABLELAND PARKS

	Tableland Parks A-G	3.84 ha.
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HIGHLAND GATE DEVELOPMENTS INC.

Date: February 24, 2015

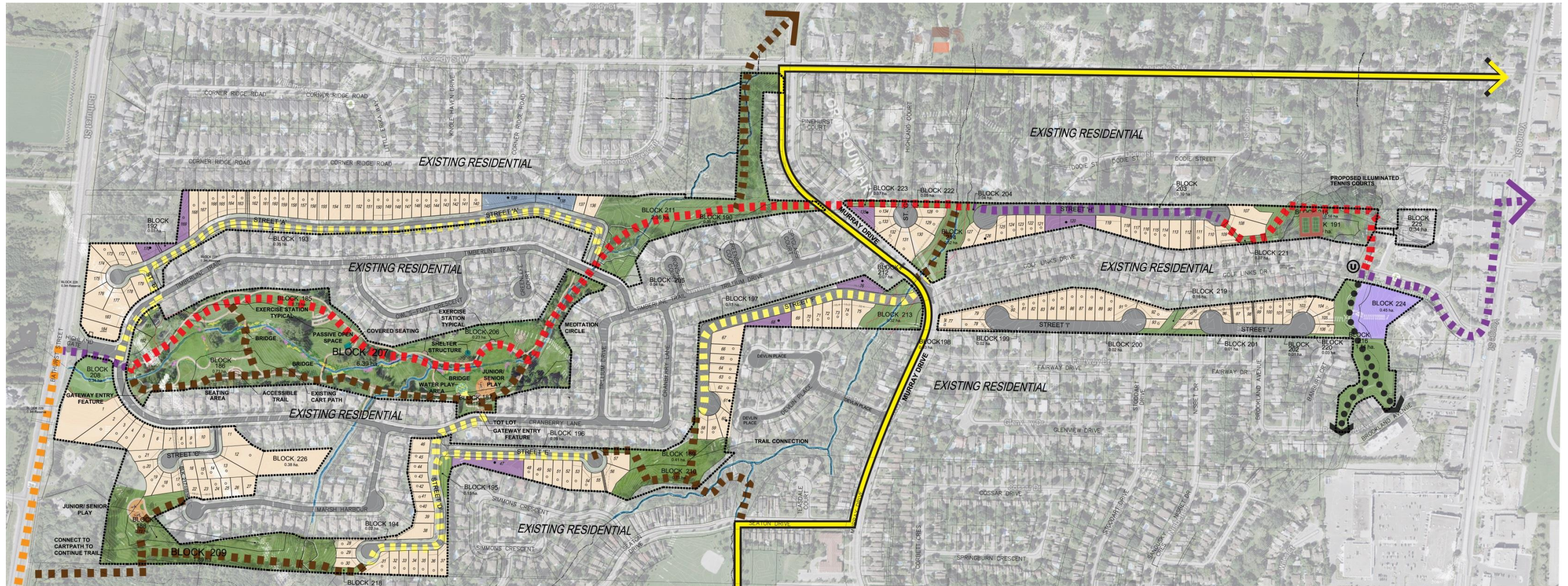
Project No: 14-2260

Scale:

Prepared by:

MALONE GIVEN PARSONS LTD.

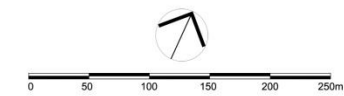
Figure 1.4: Highland Gate Community Integrated Trails and Open Space Master Plan



HIGHLAND GATE
 AURORA, ON
 Highland Gate Developments Inc.

**HIGHLAND GATE COMMUNITY
 INTEGRATED TRAILS AND OPEN SPACE MASTER PLAN**

- LEGEND**
- Oak Ridges Moraine Trail
 - Proposed Municipal Trail On-Boulevard (490m)
 - Proposed Town-Wide Spine Trail Off Road (1880m)
 - Proposed Town-Wide Spine Trail On Road (990)
 - Proposed Multi-use Trail Off Road (2490m)
 - Proposed Multi-use Trail On Road (1950m)
 - Potential Future Trail Link
 - U Trail Underpass



SCHOLLEN & Company Inc.
 30 Western Court, Unit 15
 Richmond Hill, Ontario L4B 1B9
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 Fax: 288-695-0210
 Email: design@schollenandcompany.com

Feb. 27, 2015

The trails system proposed in the redevelopment will provide connections between Yonge Street and Bathurst Street through a variety of in-boulevard and off-road trails, in addition to the proposed town-wide spine trail. The proposed trails will connect to the existing Oak Ridges Trail, which will provide connections to multiple recreational facilities (e.g. Confederation Park, Golf Glen Park), as well as other prominent community facilities such as Regency Acres Public School and Aurora High School.

The proposed trails and open space network will provide the community with public access to areas that were previously restricted to the golfers of former Highland Gate Golf Club. The buffers that have been applied to environmental features have been efficiently utilized to implement the proposed trails and open space system by using these areas for low-intensity recreational uses (i.e. trails). The proposed Draft Plan recognizes the importance of providing publicly accessible green space to the community and provides a greater net benefit post-development through the implementation of the trails and open space system.

3.4 Planning Act – Section 51(24)

The Draft Plan of Subdivision represents good planning as it provides for a compact built form with an appropriate form of housing and a logical and efficient road pattern given the configuration of the subject site that implements the intent of the policies of the Aurora Official Plan, ORMCP and LSPP. Section 51(24) of the *Planning Act* sets criteria that planning authorities shall have regard to when considering a Draft Plan of Subdivision. Our response to the criteria is provided below:

Table 1-1 Conformity with Section 51(24) of the Planning Act

	Criteria	Response
a)	The effect of development of the proposed subdivision on matters of provincial interest as referred to in Section 2	The Official Plan and Zoning By-law Amendments and Draft Plan of Subdivision are consistent with matters of Provincial interest, as outlined in the PPS 2014, and conform to all Provincial Plans. The Draft Plan of Subdivision ensures conformity with growth management, natural heritage, natural hazard and water resource objectives, among other matters.
b)	Whether the proposed subdivision is premature or in the public interest	The Draft Plan has been thoroughly assessed and is appropriately supported by sufficient technical studies. The Draft Plan is in the public interest

	Criteria	Response
		based on the policy analysis, to be finally determined following agency review and comment and after the forthcoming public consultation process. It implements the longstanding objectives of the Town, Region and Province to accommodate intensification in the built-up area.
c)	Whether the plan conforms to the Official Plan and adjacent plans of subdivision, if any	The Draft Plan conforms to both the Regional and Town Official Plans, subject to the proposed Official Plan Amendment. The Draft Plan is adjacent to previously approved and developed plans of subdivision and it allows for the logical continuation of development and maintains the integrity and character of the existing community and conforms to these historic plans of subdivision.
d)	The suitability of the land for the purposes for which it is to be subdivided	The proposed redevelopment blocks in the Draft Plan are located on lands suitable for the proposed uses, as supported by the submitted technical studies.
e)	The number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them	The Draft Plan provides for a local street network that connects to adjacent collector roads and regional roads. The proposed transportation system and right-of-way standards are appropriate as supported by the Traffic Impact Assessment and Functional Servicing Report.
f)	The dimensions and shapes of the proposed lots	All proposed lots are dimensioned, and are of an appropriate shape and size, similar to the surrounding residential lots, and can conform to the proposed zoning standards which are in turn appropriate. The shapes of lots address the challenges of redeveloping the golf course with relatively narrow fairways while maintaining the existing character and lot size of the surrounding community.
g)	The restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings	The proposed zoning bylaw provides for the appropriate restrictions on the lands proposed to

	Criteria	Response
	and structures proposed to be erected on it and the restrictions, if any, on adjoining land	be subdivided by limiting their use to those permitted in the zoning standards as described in Section 2.8. In addition, numerous easements (largely for servicing) apply over the site and on adjacent lands – these easements have been accounted for in the submitted FSR and are shown on the draft plan of subdivision.
h)	Conservation of natural resources and flood control	The proposed development will conserve or enhance through alteration Key Natural Heritage or Hydrologically Sensitive Features in conformity with the PPS, ORMCP, LSPP, York Region and Town Official Plans. Furthermore, there are no Species at Risk or provincially rare species recorded on site.
i)	The adequacy of utilities and municipal services	The Draft Plan can be serviced with adequate utilities and municipal services, which are available for extension from adjacent lands. The design of roads in the Draft Plan allows for the provision of utilities throughout the area.
j)	The adequacy of school sites	A review of existing school facilities, enrolment and capacity figures, and the projected student population for the proposed redevelopment shows that the existing school sites have capacity and are adequately located to serve the proposed redevelopment. The adequacy of school sites is further described in the Community Services and Facility Needs Study.
k)	The area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes	The Draft Plan provides sufficient parkland through the proposed conveyance of the parkette blocks under the <i>Planning Act</i> and the Aurora Official Plan. Environmental Protection Areas are proposed to be conveyed into public ownership, as are all Open Space Blocks contained in the draft plan of subdivision.
l)	The extent to which the plan's design optimizes the available supply, means of supplying, efficient use and	The Draft Plan is designed to conserve energy through the orientation of buildings, and where possible, uses on passive solar gains and

	Criteria	Response
	conservation of energy	accounts for prevailing wind patterns. The proposed high density site will conserve heating and energy costs as a compact form of development.
m)	The interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41(2) of this Act or subsection 114(2) of the <i>City of Toronto Act, 2006</i> . 1994, c. 23, s. 30; 2001, c. 32, s. 31(2);2006, c. 23, s. 22 (3,4)	The design of the Draft Plan provides a block of appropriate size and location for a high density development to be facilitated through site plan control at a future date. The conceptual building has been used to ensure the block size and zoning standards will result in a viable lot. The single detached units do not require site plan control prior to development.

The proposed Draft Plan of Subdivision represents good planning and meets the requirements of Section 51(24) of the Planning Act.

APPENDIX A

Draft Zoning By-law

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DRAFT

THE CORPORATION OF THE TOWN OF AURORA

By-law Number. XXXX-15

BEING A BY-LAW to amend Zoning By-law Number 2213-78, as amended

WHEREAS Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, provides that the councils of local municipalities may pass zoning by-laws;

AND WHEREAS the Council of the Corporation of the Town of Aurora (the “Town”) enacted By-law Number 2213-78, including amendments thereto (the “Zoning By-law”);

AND WHEREAS the Council of the Town deems it necessary and expedient to further amend the Zoning By-law;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF AURORA ENACTS AS FOLLOWS:

1. THAT the Zoning By-law be and is hereby amended to replace the “Major Open Space Zone (O)” zoning category applying to the lands shown in hatching on Schedule “A” attached hereto and forming part of this By-law with the following categories:
 - A) “Detached Dwelling Second Density Residential (R2-XX1) Exception Zone”;
 - B) “Detached Dwelling Second Density Residential (R2-XX2) Exception Zone”;
 - C) “Third Density Apartment Residential (RA3-X) Exception Zone”;
 - D) “Environmental Protection Zone (EP-X) Exception Zone”;
 - E) “Major Open Space (O-X) Exception Zone”.
2. THAT the Zoning By-law be and is hereby amended to add the following to Section 3 - :

“3.XX

Portico

A structure consisting of a roof supported by columns, piers or pillars, attached to a building on the exterior as a porch or to cover a walkway or an entrance to a building.

3. THAT the Zoning By-law be and is hereby amended to add the following to Section 11 – Detached Dwelling Second Density Residential (R2) Zone: :

SECTION 11.XX

DETACHED DWELLING SECOND DENSITY RESIDENTIAL (R2-XX1) EXCEPTION ZONE

11.XX1.1

Uses Permitted

In accordance with Section 11.1 hereof.

11.XX1.2

Zone Requirements

11.XX1.2.1

Lot Specifications (minimum)

Lot Area	460.0 m ²
Lot Frontage	15.0 metres

11.XX1.2.2

Siting Specifications (minimum)

Front Yard	
- Main Building	4.5 metres
- Attached Garage	6.0 metres
Rear Yard	7.5 metres
Interior Side Yard	1.2 metres
Exterior Side Yard	4.5 metres

11.XX1.2.3

Building Specifications

Main Building Height (maximum)	11.0 metres
--------------------------------	-------------

Notwithstanding the provisions of Section 3.17, Building Height shall mean the vertical distance measured at the front yard setback to the main building and any of the following:

- 1) On a flat roof, the highest point of the roof surface or the parapet, whichever is greater;
- 2) The decline of a mansard roof;
- 3) On a gabled, hip, gambrel or any other type of pitched roof the mean distance between the eaves and ridge of a roof.

Notwithstanding the provisions of Section 11.2.3, the Lot Coverage (maximum) shall not apply.

Notwithstanding the provisions of Section 6.28.1.i, the maximum width of the driveway shall be 6.5metres for a double car garage.

Notwithstanding the provisions of Section 6.2.6 i), central air conditioners and heat pumps shall be permitted in the rear and exterior side yards only, subject to a minimum setback of 4.5 metres from the rear lot line.

Notwithstanding the provisions of Section 6.48.1, open-sided roofed porches, balconies, uncovered terraces, porticos, patios and decks not exceeding 3 metres above grade with or without foundation may project a maximum of 2 metres in to the required front and exterior side yards provided that no part of the porch is located closer than 2 metres to the front lot line. Steps may encroach into the required front yard provided they are not located any closer than 1 metre to the front and exterior lot lines.

Notwithstanding the provisions of Section 6.46.1, open sided roofed porches, balconies, uncovered terraces, patios and decks not exceeding 3 metres

above grade with or without foundation and steps may project a maximum of 3.5 metres into the required rear yard.

Notwithstanding the provisions of 6.48.1, a bay, bow, or box window may have a maximum width of 4.5 metres with or without foundations, and a bay, bow or box window or fireplace may project 0.6 metres in the required front, exterior, and rear yards.

Notwithstanding the provision of Section 6.48.1, sills, belt courses, cornices, gutters, chimneys, pilasters, eaves, parapets or canopies may project 0.6 metres in all required yards.

Notwithstanding any other provisions to the contrary, on a comer lot where a daylighting triangle or comer rounding has been conveyed to a public authority, the flankage lot line and the front lot line shall be deemed to be the continued projection of the flankage lot line and the front lot line to a point of intersection, for the purposes of calculating the required minimum front yard and the required minimum exterior sideyard requirements. Notwithstanding the provisions above, and any other provisions to the contrary, no building or structure shall be permitted to encroach within the daylighting triangle or corner rounding."

4. THAT the Zoning By-law be and is hereby amended to add the following to Section 11 – Detached Dwelling Second Density Residential (R2) Zone: :

SECTION 11.XX DETACHED DWELLING SECOND DENSITY RESIDENTIAL (R2-XX2) EXCEPTION ZONE

11.XX2.1 Uses Permitted

In accordance with Section 11.1 hereof.

11.XX2.2 Zone Requirements

11.XX2.2.1 Lot Specifications (minimum)

Lot Area	460.0 m ²
Lot Frontage	15.0 metres

11.XX2.2.2 Siting Specifications (minimum)

Front Yard	
- Main Building	4.5 metres
- Attached Garage	6.0 metres
Rear Yard	6.0 metres
Interior Side Yard	1.2 metres
Exterior Side Yard	4.5 metres

11.XX2.2.3 Building Specifications

Main Building Height (maximum)	11.0 metres
--------------------------------	-------------

Notwithstanding the provisions of Section 3.17, Building Height shall mean the vertical distance measured at the front yard setback to the main building and any of the following:

- 1) On a flat roof, the highest point of the roof surface or the parapet, whichever is greater;
- 2) The decline of a mansard roof;
- 3) On a gabled, hip, gambrel or any other type of pitched roof the mean distance between the eaves and ridge of a roof.

Notwithstanding the provisions of Section 11.2.3, the Lot Coverage (maximum) shall not apply.

Notwithstanding the provisions of Section 6.28.1.i, the maximum width of the driveway shall be 6.5metres for a double car garage.

Notwithstanding the provisions of Section 6.2.6 i), central air conditioners and heat pumps shall be permitted in the rear and exterior side yards only, subject to a minimum setback of 4.5 metres from the rear lot line.

Notwithstanding the provisions of Section 6.48.1, open-sides roofed porches, balconies, uncovered terraces, porticos, patios and decks not exceeding 3 metres above grade with or without foundation may project a maximum of 2 metres in to the required front and exterior side yards provided that no part of the porch is located closer than 2 metres to the front lot line. Steps may encroach into the required front yard provided they are not located any closer than 1 metre to the front and exterior lot lines.

Notwithstanding the provisions of Section 6.46.1, open sided roofed porches, balconies, uncovered terraces, patios and decks not exceeding 3 metres above grade with or without foundation and steps may project a maximum of 3.5 metres into the required rear yard.

Notwithstanding the provisions of 6.48.1, a bay, bow, or box window may have a maximum width of 4.5 metres with or without foundations, and a bay, bow or box window or fireplace may project 0.6 metres in the required front, exterior, and rear yards.

Notwithstanding the provision of Section 6.48.1, sills, belt courses, cornices, gutters, chimneys, pilasters, eaves, parapets or canopies may project 0.6 metres in all required yards.

Notwithstanding any other provisions to the contrary, on a comer lot where a daylighting triangle or comer rounding has been conveyed to a public authority, the flankage lot line and the front lot line shall be deemed to be the continued projection of the flankage lot line and the front lot line to a point of intersection, for the purposes of calculating the required minimum front yard and the required minimum exterior sideyard requirements. Notwithstanding the provisions above, and any other provisions to the contrary, no building or structure shall be permitted to encroach within the daylighting triangle or corner rounding."

5. THAT the Zoning By-law be and is hereby amended to add the following to Section 18 – Detached Dwelling Third Density Apartment Residential (R3) Zone: :

SECTION 18.XX THIRD DENSITY APARTMENT RESIDENTIAL (RA3-XX) EXCEPTION ZONE

18.XX.1 The lands zoned RA3-XX on Schedule “A” may be used for no other than one mixed use apartment building (including retail stores and professional offices on the ground floor only), permitted in accordance with the following standards.

18.XX.3 Lot Specifications

Minimum Lot Frontage 30.0 metres

18.XX.4 Siting Specifications

Minimum Front Yard 9.0 metres
 Minimum Side Yard (West) 2.0 metres
 Minimum Side Yard (South) 9.0 metres
 Minimum Side Yard (East) 9.0 metres

18.XX.5 Building Specifications

Minimum Floor Area
 1 bedroom 50.0 sq m
 2 bedrooms 65.0 sq m
 3 bedrooms 75.0 sq m
 Maximum Lot Coverage 35.0 %
 Maximum Height 10 storeys

Amenity Area

Notwithstanding the provisions of Section 7.2, the required amenity area shall be subject to the following provisions:

Eighteen (18) square metres per suite (dwelling unit) but have dimensions of not less than two (2) metres by two (2) metres.

Amenity area requirement may be provided indoor or outdoor and it may be permitted above grade level.

Height

Notwithstanding the provisions of Section 6.20, a building height of 10 storeys shall be permitted.

Notwithstanding the provisions of Section 3.17, in calculating the height of a building, any construction used as an ornamental roof structure or for the mechanical operation of the building such as a chimney, tower, cupola, or

mechanical penthouse shall not be included. Mechanical penthouses shall be required to be setback 1m from the edge of the floor below.

Angular Plane

A 45 degree angular plane shall apply originating from 9 m above the setback to the nearest lot line in an existing Residential Zone (not including Apartment Residential or Mixed Use) or lands within a Heritage Conservation District.

Off Site Parking Permitted

Notwithstanding the provisions of Section 6.26.1.2, part of the required parking for a use on a lot legally described as Part of the North Half of Lot 77, Part of Lot 78 and Part of the South Half of Lot 79, Concession 1 (Geographic Township of King, County of York) may be provided on one or more other lots upon which the use is not located, subject to:

- i. The off-site portion of the parking being implemented through a site plan agreement with the Town and any permanent easements or rights of way, required to secure public access to and the availability of such parking, having been obtained.
- ii. Off-site parking shall not be located further than 300 metres from the lot upon which the use for which the off-site parking is provided is located.
- iii. The parking requirements of the by-law shall also be met for the use on the lot upon which the off-site parking is provided.

6. THAT all other terms, provisions, and existing amendments of the Zoning By-law remain the same.
7. THAT this By-law shall come into full force subject to compliance with the provisions of the Planning Act, R.S.O. 1990, c. P.13, as amended, and subject to compliance with such provisions, this By-law will take effect from the date of final passage hereof.

READ A FIRST AND SECOND TIME THIS ____ DAY OF ____, 2015.

READ A THIRD TIME AND FINALLY PASSED THIS ____ DAY OF _____, 2015.

Geoffrey Dawe, Mayor

Stephen M.A. Huycke, Town Clerk

Explanatory Note

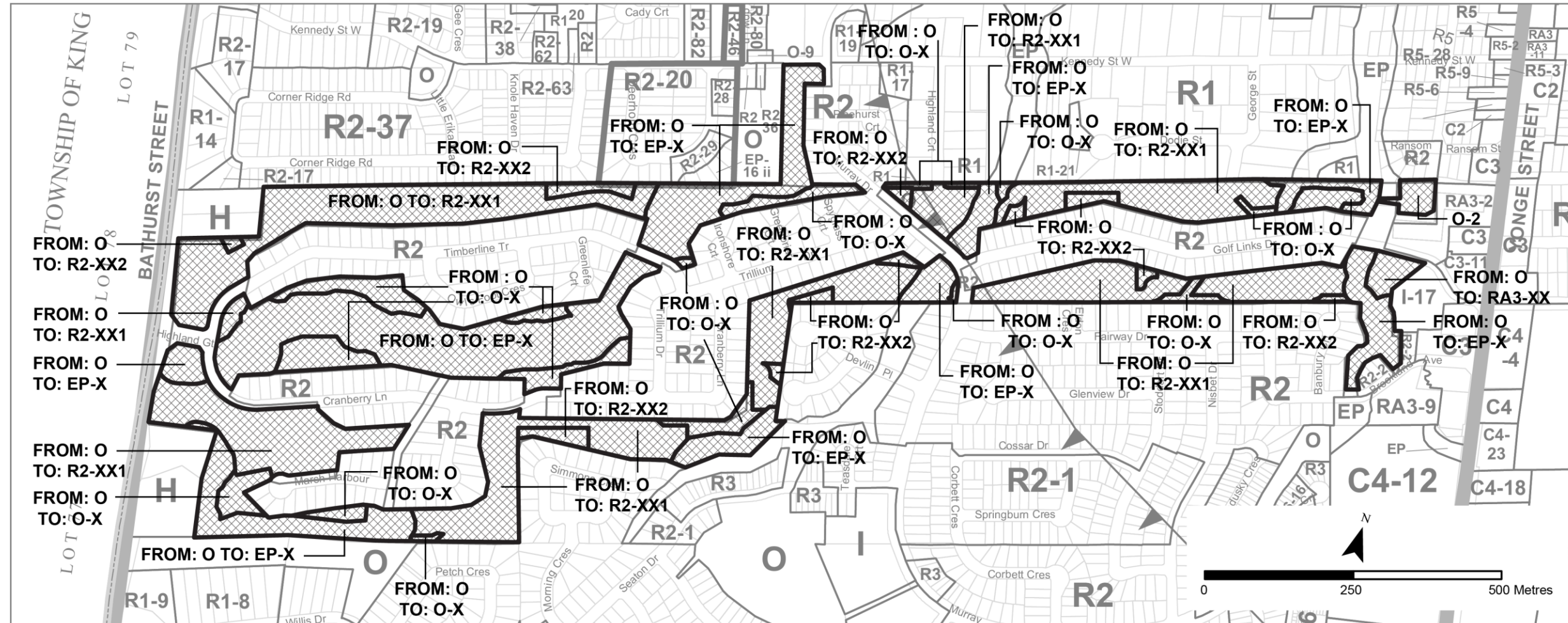
RE: Zoning By-law Number XXXX-15

By-law Number XXXX-15 has the following purpose and effect:

To amend By-law Number 2213-78, as amended, being the Zoning By-law in effect in the Town of Aurora, to rezone the subject sites from “Major Open Space Zone (O)” to “ Detached Dwelling Second Density Residential Exception Zone (R2-XX1/R2-XX2), “Third Density Apartment Residential Exception Zone (RA3-X)”, “Environmental Protection Exception Zone (EP-X)” and “Major Open Space Exception Zone (O-X)”. The rezoning will permit single detached and high density residential dwelling units.

**AMENDMENT TO MAP 4
 THE TOWN OF AURORA
 ZONING BY-LAW 2213-78 AS AMENDED**

Schedule "A"
 to By-law
 XXXX-15



<p>RESIDENTIAL ZONES</p> <p>RR Rural Residential</p> <p>RR-ORM Oak Ridges Moraine Rural Residential</p> <p>ER Estate</p> <p>R1 Detached Dwelling First Density</p> <p>R2 Detached Dwelling Second Density</p> <p>R3 Semi-Detached & Duplex Dwelling Third Density</p>	<p>R4 Triplex & Double Duplex Dwelling Fourth Density</p> <p>R5 Special Mixed Density</p> <p>R6 Row Dwelling</p> <p>RA1 Apartment First Density</p> <p>RA2 Apartment Second Density</p> <p>RA3 Apartment Third Density</p>	<p>OPEN SPACE ZONES</p> <p>EP Environmental Protection</p> <p>EP-ORM Oak Ridges Moraine Environmental Protection</p> <p>O Major Open Space</p> <p>O-ORM Oak Ridges Moraine Major Open Space</p>	<p>COMMERCIAL ZONES</p> <p>C1 Local</p> <p>C2 Central</p> <p>C3 Service</p> <p>C4 Shopping Centre</p> <p>C5 Industrial</p> <p>C6 Office</p>	<p>C7 Residential</p> <p>C8 Community Commercial Centre</p> <p>C9 Campus</p> <p>C10 Special Commercial Exception Zone</p>	<p>INDUSTRIAL ZONES</p> <p>M1 Restricted</p> <p>M2 General</p> <p>M3 Service</p> <p>M4 Prestige</p> <p>M5 Restricted-Specific</p> <p>M6 General-Specific</p> <p>BP Business Park</p>	<p>HOLDING ZONES</p> <p>H Holding</p> <p>INSTITUTIONAL ZONES</p> <p>I Institutional</p> <p>RURAL ZONES</p> <p>RU Rural</p> <p>RU-ORM Oak Ridges Moraine Rural</p>	<p>NATURAL CORE AREA</p> <p>NC-ORM Oak Ridges Moraine Natural Core Area</p> <p>NATURAL LINKAGE AREA</p> <p>NL-ORM Oak Ridges Moraine Natural Linkage Area</p> <p>NL-ORM-1 Oak Ridges Moraine Natural Linkage Area Exception Zone 1</p> <p>NL-ORM-2 Oak Ridges Moraine Natural Linkage Area Exception Zone 2</p> <p>COUNTRYSIDE AREA</p> <p>C-ORM Oak Ridges Moraine Countryside Area</p>	<p>C-ORM-1 Oak Ridges Moraine Countryside Area Exception Zone 1</p> <p>C-ORM-2 Oak Ridges Moraine Countryside Area Exception Zone 2</p> <p>KNHF & HYDROLOGICALLY SENSITIVE FEATURES AND MVPZ EXCEPTION 1 ZONE</p> <p>KNHF-1 Zone KNHF & Hydrologically Sensitive Features Exception 1 Zone</p> <p>MVPZ-1 Zone MVPZ Exception 1 Zone</p>
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APPENDIX **B**

Draft Official Plan Amendment

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THE CORPORATION OF THE TOWN OF AURORA

By-law Number XXXX-15

**BEING A BY-
LAW to adopt
Official Plan
Amendment No.
XXX**

AND WHEREAS authority is given to Council pursuant to the *Planning Act*, R.S.O. 1900, C. P.13, as amended, to pass a by-law amending the Official Plan;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF AURORA HEREBY ENACTS AS FOLLOWS:

1. THAT Official Plan Amendment No. XXX attached hereto is hereby adopted.
2. THAT all other terms, provisions, and existing amendments of the Official Plan remain the same.
3. THAT By-law Number XXXX-XX be and is hereby repealed.
4. THAT this By-law shall come into force subject to compliance with the provisions of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and subject to compliance with such provisions, this By-law will take effect from the date of final passage hereof.

READ A FIRST AND SECOND TIME THIS ____ DAY OF _____, 2015.

READ A THIRD TIME AND FINALLY PASSED THIS ____ DAY OF _____,
2015.

Geoffrey Dawe, Mayor

Stephen M.A. Huycke, Town Clerk

**AMENDMENT NO. XXX
TO THE OFFICIAL PLAN OF
THE TOWN OF AURORA
PLANNING AREA**

STATEMENT OF COMPONENTS

PART I – THE PREAMBLE does not constitute part of this Amendment

PART II – THE AMENDMENT, consisting of the attached text and schedules constitutes Amendment No. XXX to the Official Plan for the Town of Aurora Planning Area.

PART III – THE APPENDICES do not constitute part of this Amendment. The appendices contain supporting information and background planning reports.

**AMENDMENT NO XXX
TO THE OFFICIAL PLAN OF THE TOWN OF AURORA
INDEX**

STATEMENT OF COMPONENTS

PART I – THE PREAMBLE

1. Purpose
2. Location
3. Basis

PART II – THE AMENDMENT

The Amendment

PART III – THE APPENDICES

PART I – THE PREAMBLE

PURPOSE

The purpose of Amendment No. XXX is to amend the Official Plan to permit the development of single family residential lots and a high-density building in Draft Plan of Subdivision 19T-XXXX in the Town of Aurora.

LOCATION

This Amendment applies only to the lands described as Part of the North Half of Lot 77, Part of Lot 78 and Part of the South Half of Lot 79, Concession 1 (Geographic Township of King, County of York), municipally known as 21 Golf Links Drive. Schedule 1 shows the location of the lands subject to this Amendment.

BASIS

The Amendment is privately initiated by the Owner and is intended to facilitate the development of Draft Plan of Subdivision 19T-XXXXX together with a related amendment to the Zoning By-law. The Amendment is supported by technical studies submitted by the applicant as reviewed by the Town which establish that the lots can be developed for residential use.

PART II – THE AMENDMENT

1. Introduction

All of this part of the document entitled Part II – The Amendment, consisting of the following text, constitutes Amendment XXX to the Official Plan of the Town of Aurora Planning Area.

The effect of this Amendment is to amend the Town of Aurora Official Plan to permit the development of residential lots and high density building as well within proposed plan of subdivision 19T-XXXXX.

2. Details of the Amendment

- a. Amendment to Schedules “A” and “H” of the Official Plan
 - i. Schedule “A” of the Official Plan is hereby amended by removing certain lands from the “Private Parkland” designation and replacing it with the “Stable Neighbourhoods”, “Public Parkland” and “Environmental Protection” designations, as shown in Schedule 1 of this Amendment.
 - ii. Schedule “H” of the Official Plan is hereby amended by including lands described as Part of the North Half of Lot 77, Part of Lot 78 and Part of the South Half of Lot 79, Concession 1 (Geographic Township of King, County of York) as Site Specific Policy X.
- b. Section 16 Site Specific Policies is hereby amended by adding the following:

“Section 16.X

The following policies apply to the lands designated “Stable Neighbourhoods” on Part of the North Half of Lot 77, Part of Lot 78 and Part of the South Half of Lot 79, Concession 1 (Geographic Township of King, County of York), as shown on Schedule “H” attached to this plan.

- i. One high-density mixed-use apartment building is permitted to a maximum height of ten (10) storeys.
- ii. Single detached dwellings are permitted to a maximum height of three (3) storeys or eleven (11) metres.”

3. Interpretation

The provisions set forth in the Town of Aurora Official Plan as amended from time to time, regarding the interpretation of that Plan, shall apply in regard to this Amendment and as may more specifically be set out or implied within the policies contained therein. Unless precluded, altered, or exempted by any policies contained herein, all of the relevant policies of the Town of Aurora Official Plan shall apply to this Amendment.

4. Implementation

This Official Plan Amendment shall be interpreted in accordance with the relevant sections of the Official Plan.

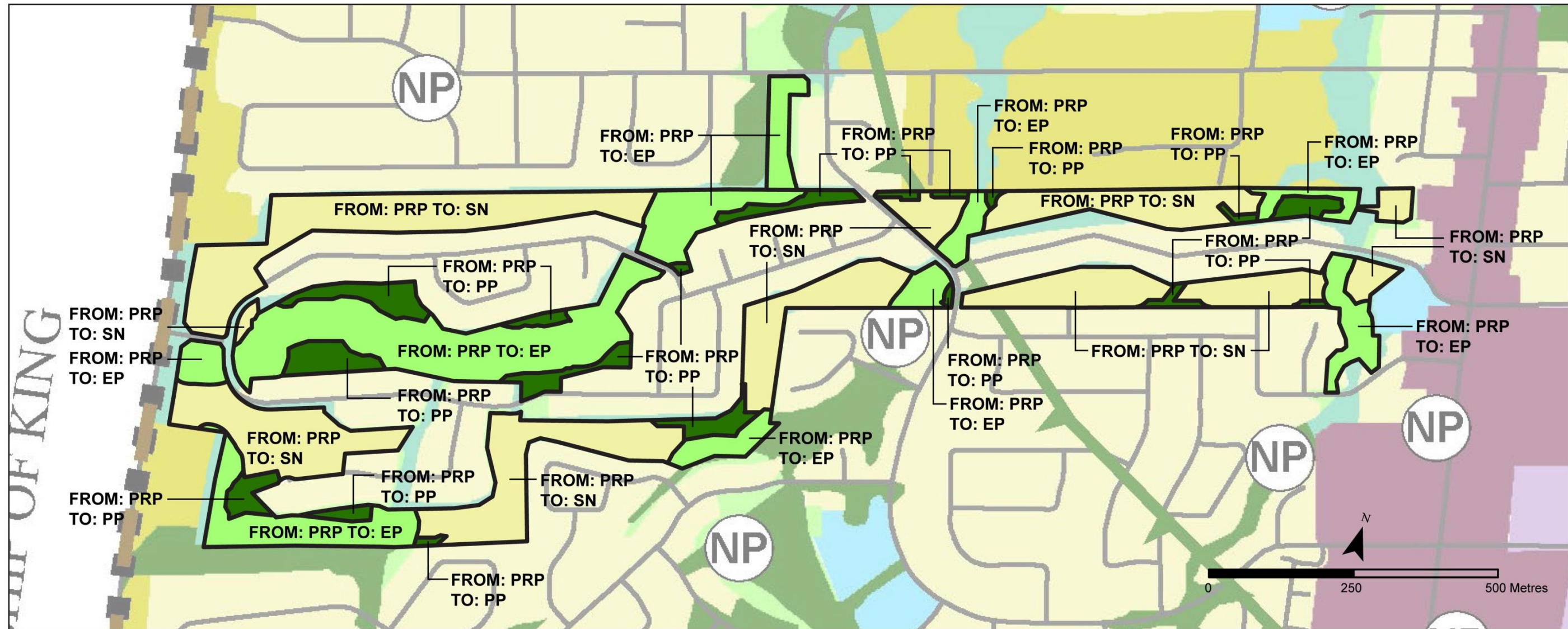
PART III – THE APPENDICES

Other support documentation to be included as appropriate following the approval of the Amendment by the Town of Aurora Council.

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**AURORA OFFICIAL PLAN
 SCHEDULE "A"
 STRUCTURE PLAN**

Schedule "1"
 to Amendment
 XXX



Land Use Designations

Greenlands System

EP Environmental Protection	The Aurora Promenade	Suburban Residential	Existing Employment - General Industrial
PRP Private Parkland	Stable Neighbourhoods	Existing Commercial	Existing Employment - Light Industrial/Service
PP Public Parkland	Estate Residential	Existing Major Institutional	Existing Employment - Brownfield Industrial

