



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

- FILE NUMBER:** MV-2021-30
- APPLICANT:** Sewhdat
- PROPERTY:** 130 Edward Street
Part 2 & 4 of Plan 65R-38880
- RELATED APPLICATIONS:** SPR-2021-07
- ZONING:** R3-SN(497) (Detached Third Density Residential Exception Zone)
- PURPOSE:** A Minor Variance Application has been submitted to facilitate a two-storey detached dwelling.
- BY-LAW REQUIREMENT:**
- 1) Section 24.497.3.3 of the Zoning By-law permits a maximum lot coverage of 35.0%.
- PROPOSAL:**
- a) The applicant is proposing a two-storey detached dwelling with lot coverage of 37.9%.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	December 9, 2021
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town's website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on December 7, 2021**. Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form---Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on December 9, 2021**. Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on December 10, 2021**.

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223**.

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended*. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the “Act”)* public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 25th DAY OF NOVEMBER 2021



Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>

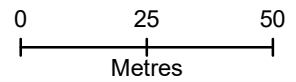


LOCATION MAP

130 EDWARD STREET
FILE: MV-2021-30



SUBJECT LANDS



DRAWINGS LIST

- A-1 SURVEY PLAN/
SITE PLAN**
- A-2 BASEMENT PLAN**
- A-3 GROUND
FLOOR PLAN**
- A-4 SECOND
FLOOR PLAN**
- A-5 ROOF PLAN**
- A-6 ELEVATION**
- A-7 ELEVATION**
- A-8 ELEVATION**
- A-9 ELEVATION**
- A-10 SECTION**

SITE DATA	SQ.FT.	M2	
LOT AREA	5032.50	467.53	100%

SET BACKS	PROPOSED	
	M	FT.
FRONT BUILDING	6.37	20.90'
FRONT PORCH	4.50	14.76'
REAR	7.65	25.10'
SIDE	1.52	5.00'
SIDE	1.53	5.00'

HEIGHT TO PEAK		
	9.90	32.48'

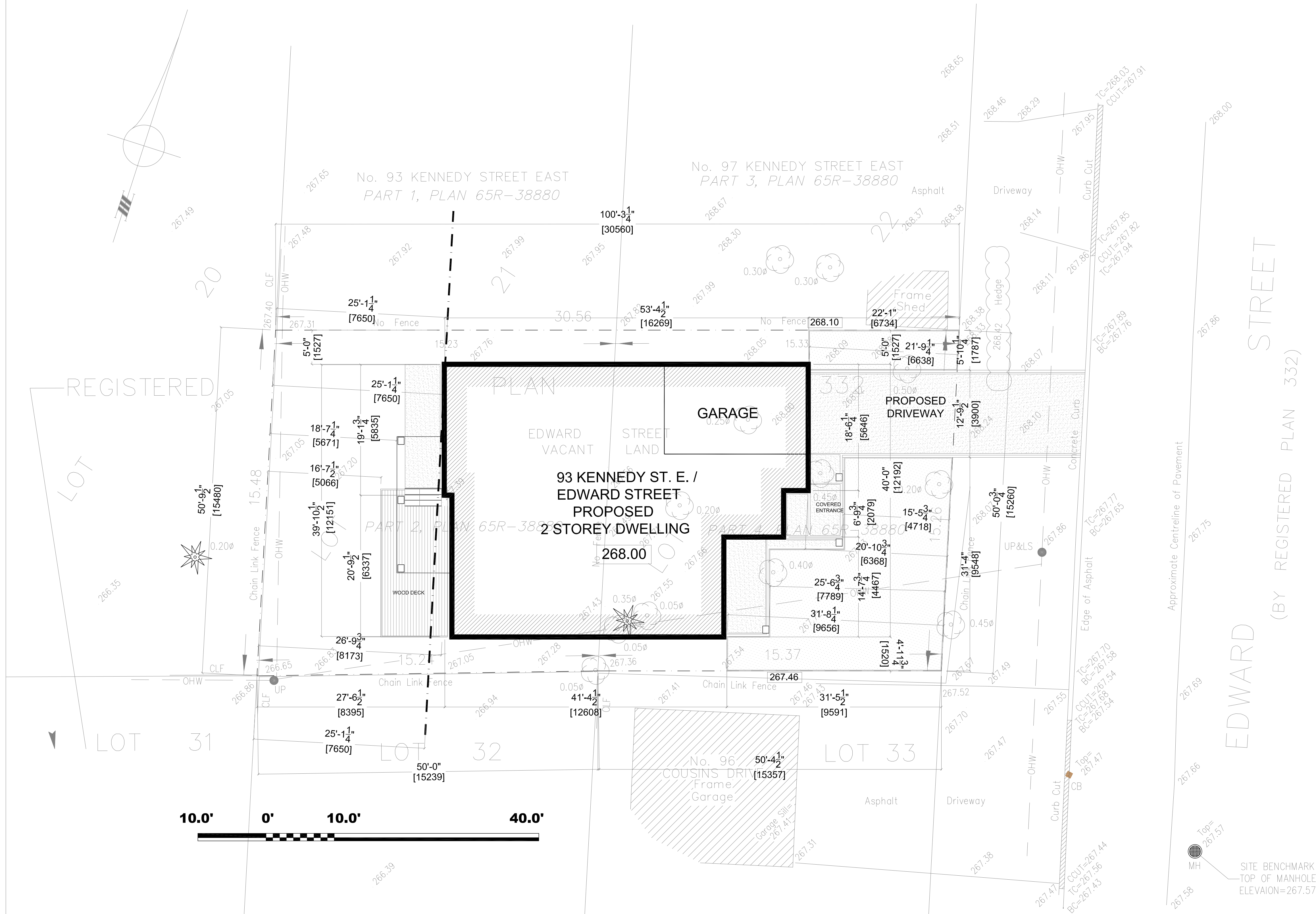
LOT COVERAGE		
	37.86%	177.04
		1905.60

PROPOSED BUILDING INFORMATION		
BASEMENT	150.53	1620.31
GROUND FLOOR WITH GARAGE	177.04	1905.60
SECOND FLOOR AREA	136.98	1267.79
TOTAL FLOOR AREA	332.44	3173.39

DRIVEWAY / LANDSCAPE AREA		
FRONT YARD	96.46	1038.27
DRIVEWAY	22.32	240.31
LANDSCAPE AREA	74.13	797.96
SOFT LANDSCAPE AREA	57.42%	55.39
		596.20

CALCULATED AREA IS INSIDE PROPERTY LINE

**1 PROPOSED
SITE PLAN**
SCALE: 1'-0" = 1/8"
SCALE: 1 : 100



TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: *Ashley Vandennal* AMENDED
PRELIMINARY ZONING REVIEW

AM
ALEKSANDAR V. MARKOVIC
Architecture - Interior
1 Valley Woods Rd. North York, Ontario M3A 1R9
Telephone (416) 481.5694 Fax (416) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1.1. of the Ontario Building Code
Name: LILJANA MARKOVIC 33107 BCDN #
Signature: Aleksandar V. Markovic
Practice Name: 34372 BCDN #

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	SEP. 2021
3	AS PER EXAMINER'S NOTES	NOV. 2021

Client _____

Oma Sewhdat
Project Name and Address _____
PROPOSED 2 STOREY DWELLING
**93 Kennedy St. E. /
Edward St.**
Aurora, ON
Drawing Title _____

SITE PLAN
Checked by _____
A.M.
Scale _____
AS NOTED
Drawing/Sheet No. _____
A-1
Project No. _____
21-10



ALEKSANDAR V. MARKOVIC

Architecture - Interior

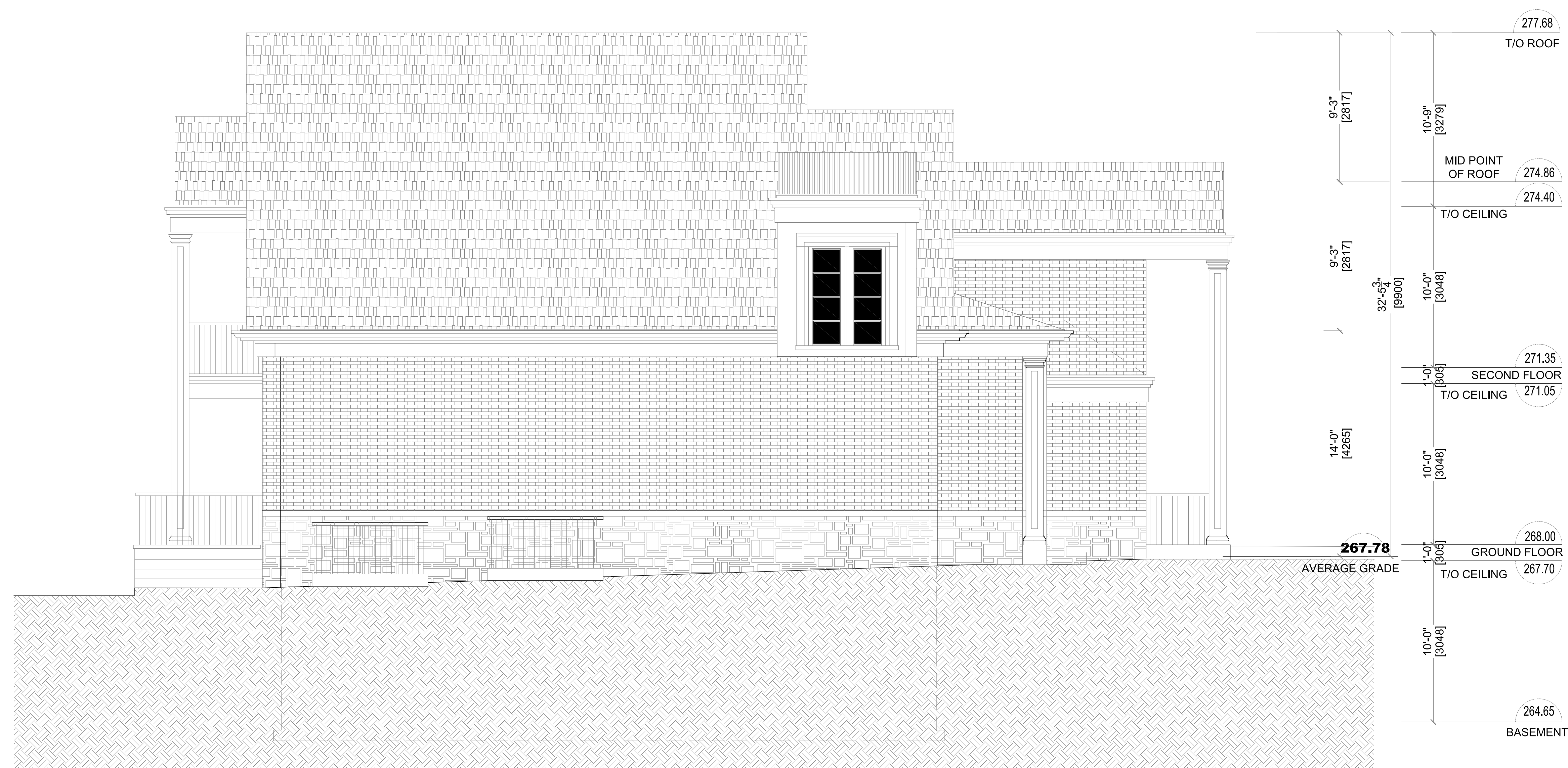
1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (416) 481.5694 Fax (416) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
DO NOT SCALE THE DRAWINGS.

Issued _____
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name: LILJANA MARKOVIC 33107 BCDN #
Signature: Aleksandar V. Markovic 34372 BCDN #
Practice Name: _____



1 PROPOSED SOUTH ELEVATION

SCALE: 1'-0" = 1/4"
SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: Ashley Vandenberg AMENDED
PRELIMINARY ZONING REVIEW

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	NOV. 2021

Client _____

Oma Sewhdat

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title _____

SOUTH ELEVATION

Checked by _____
A.M.

Scale _____
AS NOTED

Drawing/Sheet No. _____

A-6
Project No. _____

21-10



ALEKSANDAR V. MARKOVIC
Architecture - Interior

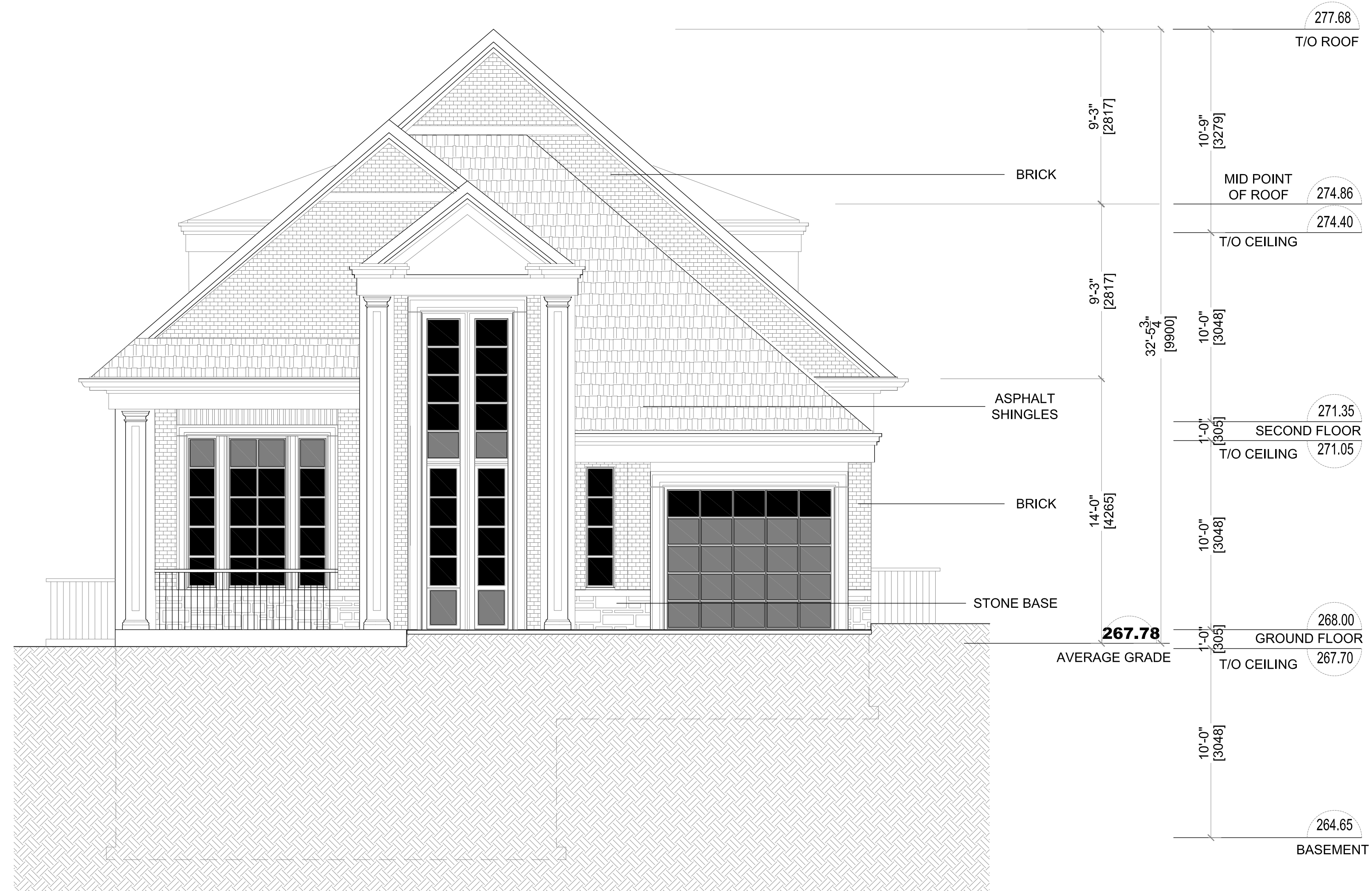
1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (416) 481.5694 Fax (416) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name: LILJANA MARKOVIC 33107 BCDN #
Signature: Aleksandar V. Markovic 34372 BCDN #
Practice Name: Markovic



Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	SEP. 2021
3	AS PER EXAMINER'S NOTES	NOV. 2021

Client _____

Oma Sewhdat

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. /
Edward St.

Aurora, ON

Drawing Title _____

WEST
ELEVATION

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A-7

Project No. _____

21-10

1 **PROPOSED
WEST ELEVATION**

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: Ashley Vandennal AMENDED
PRELIMINARY ZONING REVIEW



ALEKSANDAR V. MARKOVIC
 Architecture . Interior

1 Valley Woods Rd. North York, Ontario M3A 1R9
 Telephone (416) 481.5694 Fax (416) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
 ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1. of the Ontario Building Code

Name: LILJANA MARKOVIC 33107 BCDN #
 Signature: Aleksandar V. Markovic
 Practice Name: Aleksandar V. Markovic 34372 BCDN #

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	NOV. 2021

Client _____
Oma Sewhdat

Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.
Aurora, ON

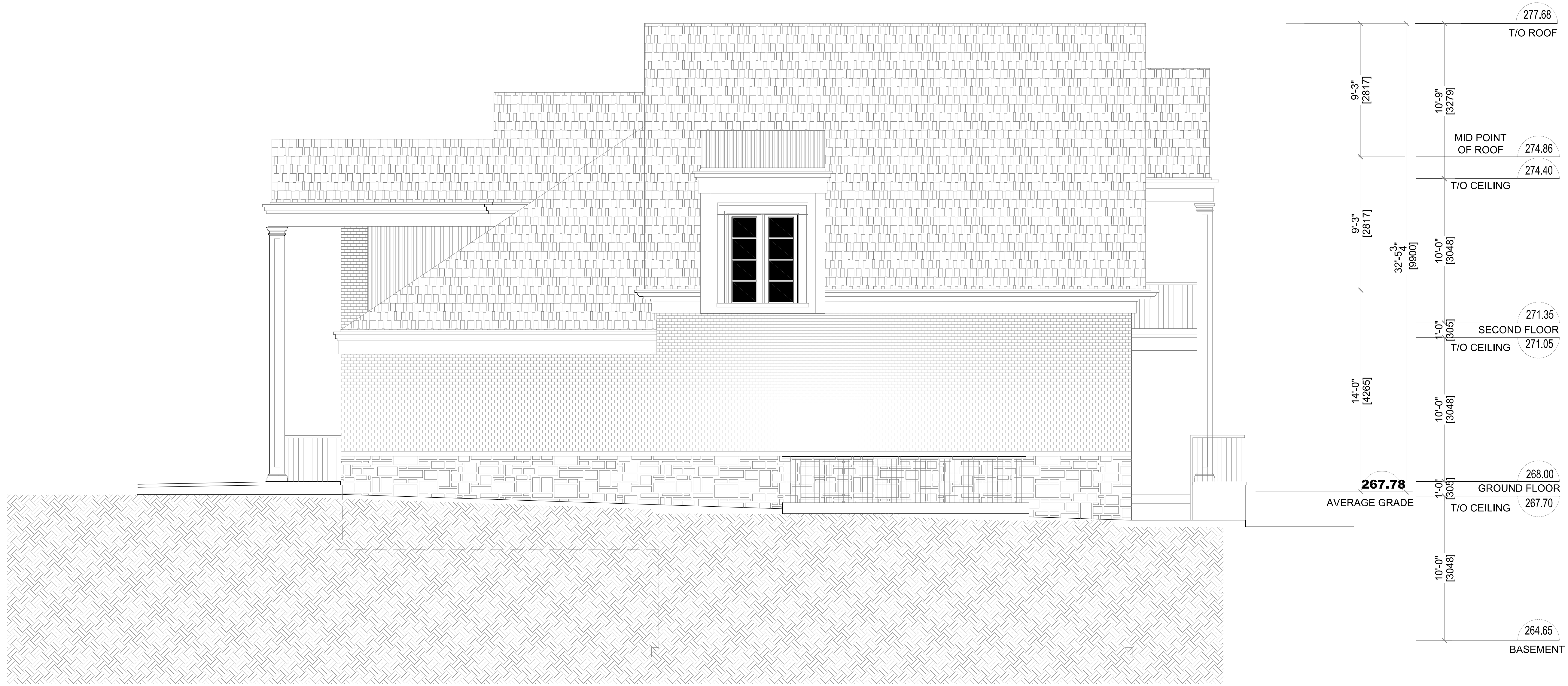
Drawing Title _____
NORTH ELEVATION

Checked by _____
 A.M.

Scale _____
AS NOTED

Drawing/Sheet No. _____
A-8

Project No. _____
21-10



1 PROPOSED NORTH ELEVATION

SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION

PERMIT NO.: PR20210961 DATE: Nov. 16, 2021

APPROVED BY: Ashley Vandennal AMENDED
 PRELIMINARY ZONING REVIEW



ALEKSANDAR V. MARKOVIC

Architecture - Interior

1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (416) 481.5694 Fax (416) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name: LILJANA MARKOVIC 33107 BCDN #
Signature: Aleksandar V. Markovic
Practice Name: Aleksandar V. Markovic 34372 BCDN #



1 PROPOSED EAST ELEVATION

SCALE: 1'-0" = 1/4"
SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: Ashley Vandennal AMENDED
PRELIMINARY ZONING REVIEW

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	NOV. 2021

Client _____

Oma Sewhdat

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title _____

EAST ELEVATION

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A-9

Project No. _____

21-10



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771