



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

- FILE NUMBER:** MV-2021-22
- APPLICANT:** Chin
- PROPERTY:** 76 Glensteeple Trail
PLAN 65M4614 LOT 12
- RELATED APPLICATIONS:** n/a
- ZONING:** R3(435) (Detached Third Density Residential Exception Zone) & O1 (Public Open Space)
- PURPOSE:** A Minor Variance Application has been submitted to facilitate a driveway widening.
- BY-LAW REQUIREMENT:**
- 1) Section 5.6.1a(iii) of the Zoning By-law allows a maximum driveway width of 10.0 metres if the lot frontage is 18.0 metres or greater, with the exception that the maximum driveway width at the street line shall not exceed 6.0 metres.
- PROPOSAL:**
- a) The applicant is proposing a driveway width of 10.10 metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	August 12, 2021
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on August 10, 2021**. Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form--Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on August 12, 2021**. Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on August 13, 2021**.

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223**.

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (the “Act”) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon

request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 29th DAY OF July 2021



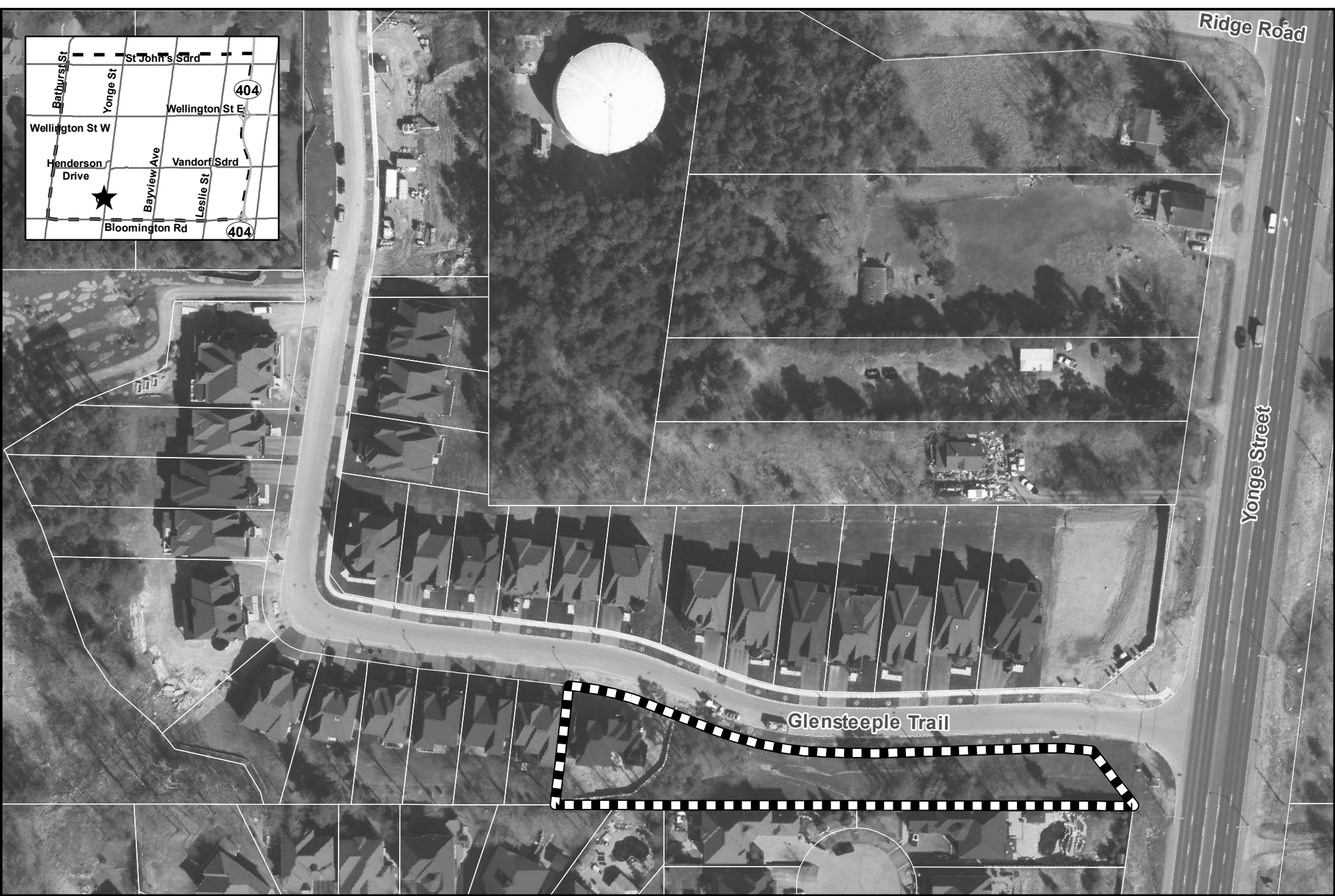
Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>

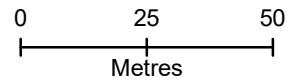


LOCATION MAP

76 GLENSTEEPLE TRAIL
FILE: MV-2021-22



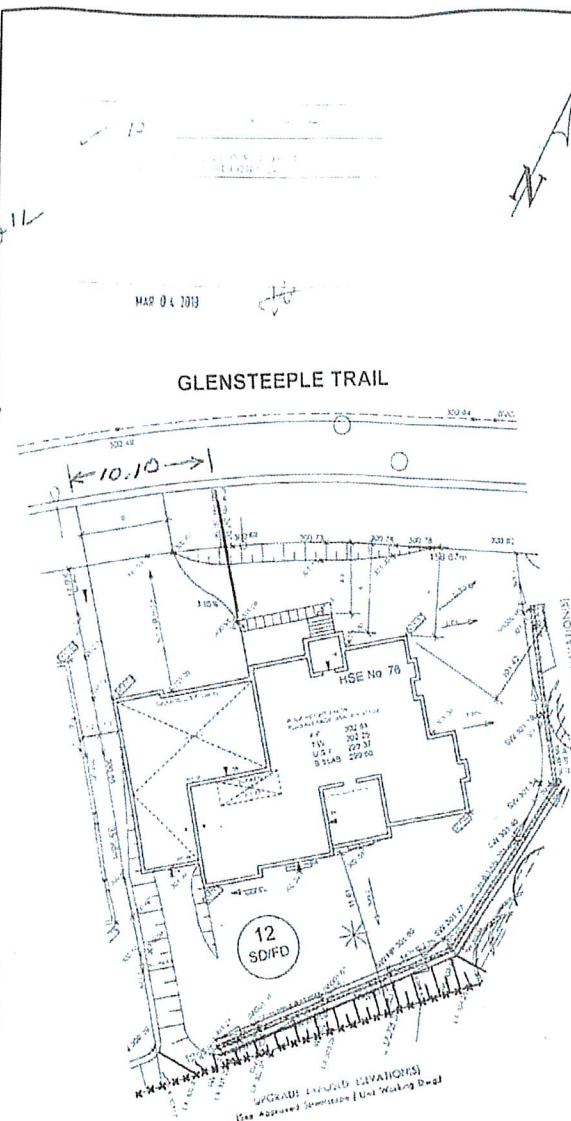
SUBJECT LANDS



MINOR VARIANCE
 76 GLENSTEEPLE TRAIL
 LOT 12
 INCREASE DRIVEWAY
 TO 10.10 Meters

LOT GRADING NOTES
 (AS PER TOWN STANDARDS)

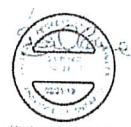
- LOTS WHICH ADJACENT TO THE SUBDIVISION LINE SHALL BE GRADED TO PROVIDE A 0.6 METER STRIP OF UNDISTURBED LAND ADJACENT TO THE SUBDIVISION LINE. ALL EMBANKMENTS REQUIRED FOR THE GRADING OF THE LOTS SHALL COMMENCE AT THE INSIDE EDGE OF THE STRIP OF LAND. ELEVATION CORNER ELEVATIONS SHALL BE CONSIDERED TO BE ALONG THE INSIDE EDGE OF THIS UNDISTURBED STRIP OF LAND.
- DRAINAGE SWALES SHALL BE CONSTRUCTED BY THE BUILDER ON THE PROPERTY LINE AND TO THE GRADE, DITCHES AND SECTIONS SPECIFIED HEREIN.
 MAX. DEPTH = 0.15m MAX. DEPTH = 0.45m
 MAX. GRADE = 2.00% MAX. GRADE = 5.00%
 1:1 MAXIMUM SIDE SLOPE
- ALL EMBANKMENTS FORMED DURING LOT GRADING SHALL HAVE A THREE (3) HORIZONTAL TO ONE (1) VERTICAL SLOPE. EMBANKMENTS EXCEEDING 1.0m IN HEIGHT REQUIRE A RETAINING WALL TO MAKE UP THE HEIGHT DIFFERENTIAL A MIN. OF 7 METERS OF REAR FARD SHALL BE MAINTAINED WITH A MAXIMUM GRADE OF 5.00%.
- DRIVEWAYS SHALL NOT BE USED AS AN OUTLET FOR SIDE FARD SWALES.
- DRIVEWAYS SHALL HAVE A GRADE TOLERANCE OF 1.00% TO 5.00% AS PER TOWN STANDARD.
- WHEN SEPARATION BETWEEN HOUSES IS LESS THAN 1.2 METERS, PLACE 150mm OF CLEAR STONE TO A DEPTH OF 100mm IN PLACE OF TOPSOIL AND SOG A PUGGIVE GRADE A WAY FROM THE HOUSE AT SUBGRADE LEVEL IS MANDATORY.
- STORM AND SANITARY SEWER AS BUILT INVERTS ARE NOT AVAILABLE AT TIME OF SITE PLAN REVIEW AND APPROVAL. GULCHER TO EXISTING SERVICES AT STREET LEVEL PRIOR TO BUILDING CONSTRUCTION AND EXCAVATION.
- UTILITY LOCATIONS ARE NOT AVAILABLE AT TIME OF SITE PLAN REVIEW AND APPROVAL.
- BUILDER TO LOWER UNDER SOLE OF FOOTING ADJACENT TO REAR LOT CATCH BASIN. BASEMENT EXACT DEPTH TO BE DETERMINED ON SITE DURING FOOTING EXCAVATION.



1. All the above mentioned according to the town standards shall be applied for the whole lot. The builder shall be responsible for the site plan and approval. The site plan shall be submitted to the town of Aurora for approval. The site plan shall be approved by the town of Aurora. The site plan shall be approved by the town of Aurora.

ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF AURORA
 Date: MAR 14 2019
 G. G. WILLIAMS LIMITED ARCHITECT

PR20011617
 Preliminary Zoning Review
 M. Boy
 JUL 08 2021
 PLANNING AND DEVELOPMENT SERVICES
 Building Division



TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Engineering and Capital Delivery
 MAR 28 2019
 APPROVED

Waterford Elev. B

Lot #12	
Lot Area	3,421.14 m ²
35% Permitted Coverage	1,197.4 m ²
Coverage	8.94 %
Building Coverage	302.3 m ²
Hard Surface Coverage	57.91 m ²
BC + HSC	300.21 m ² / 10.53 %
Landscape Open Space	89.47 %

I hereby certify that the building type, appearance, grading, drainage and servicing works proposed for Lot 12, Plan 65M TDD complies with sound engineering design and that the proposed grading is in conformity with the overall grading plan reviewed as schedule to the subdivision agreement and with adjacent lots for both drainage and relative elevations.

Date: Reviewed:

Legend			OH (Glen Ridge) Inc. 331 Cliven Blvd. Suite 201 WALSHELE, ONT L4H 3M3 P: 905.832.2522 F: 905.832.2508
WATER SERVICE	LIGHT STANDARD	POST MAILBOX	
STORM SEWER	FIRE HYDRANT	PRIVACY FENCE	
SANITARY SEWER	PROPOSED ACOUSTIC FENCE	CABLE VALT CV	Scale: 1:200 Date: Feb 21, 2019 Rev. Date:
PROPOSED ELEVATION x 100.00	PROPOSED CHAIN LINK FENCE	CABLE PEDESTAL VALT BOX CVP	
EXISTING ELEVATION x 100.00	VALVE AND BOX	CABLE FTG F	Drawn By: E.A.R. E.A.R. 0302@atn.com
BUILDING ENTRANCE	PROPOSED RETAINING WALL	HYDRO SWITCHING VALT O	
STORM MANHOLE		STOP SIGN MARKER Ra-1	Checked By: D.E.R. P.ENG D.E.R. 0302@atn.com
SANITARY MANHOLE	BELL PEDESTAL (B)	NO PARKING SIGN RB-51	
TRANSFORMER	BELL LEVEL GRADE BOX (GLB)	STOP SIGN MARKER Ra-1	
HYDRO TAIL	CABLE PEDESTAL (C)	STOP BAR MARKER Ab-2	



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771