



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

- FILE NUMBER:** MV-2020-23
- APPLICANT:** Esrafilii
- PROPERTY:** 60 Fairway Drive
PLAN 550 LOT 18
- RELATED APPLICATIONS:** n/a
- ZONING:** R3-SN(497) (*Detached Third Density Residential Exception Zone*)
- PURPOSE:** A Minor Variance Application has been submitted to facilitate the development of a two-storey detached dwelling.
- BY-LAW REQUIREMENT:**
- 1) Section 24.497.3.3 of the Zoning By-law permits a maximum footprint of 235.0 square metres.
 - 2) Section 24.497.3.3 of the Zoning By-law permits a maximum gross floor area of 370.0 square metres.
- PROPOSAL:**
- a) The applicant is proposing a detached dwelling with a footprint of 247.6 square metres.
 - b) The applicant is proposing a detached dwelling with a gross floor area of 484.3 square metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	March 11, 2021
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town's website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on March 9, 2021.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form---Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on March 11, 2021.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed "Request for Decision" form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on March 12, 2021.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223.**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act*, R.S.O. 1990, Chapter c.P.13, as amended. Your comments in respect to this Application will become part

of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 1st DAY OF MARCH 2021



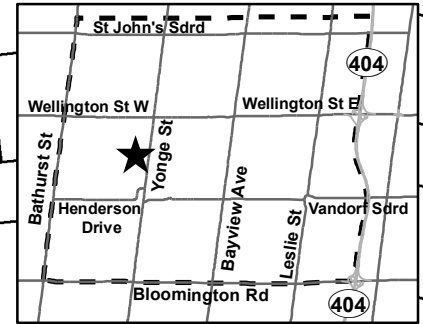
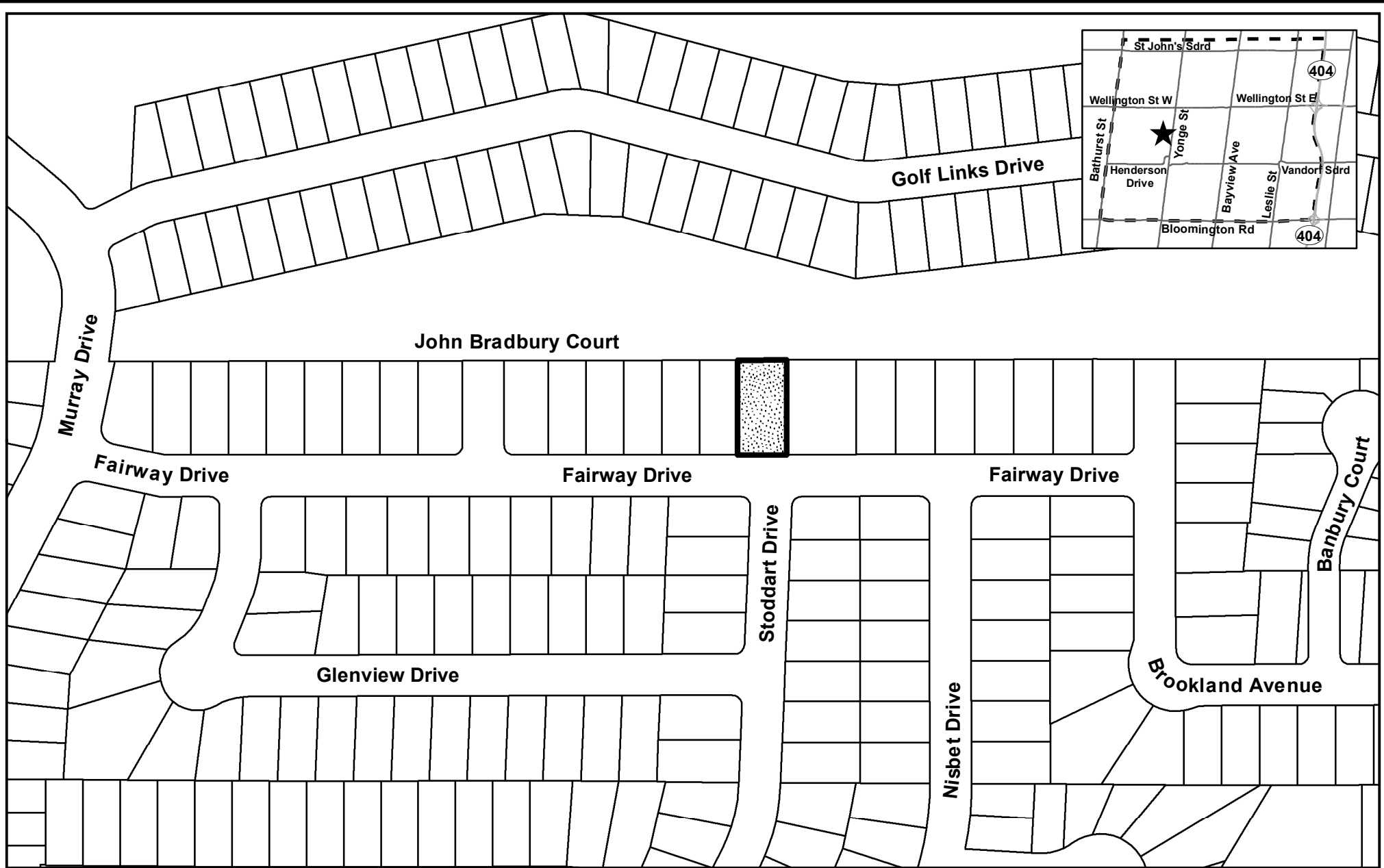
Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

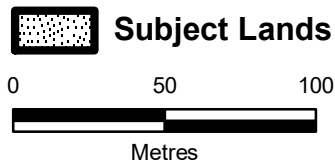
Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



KEY MAP

FILE NO: MV-2020-23
 ADDRESS: 60 FAIRWAY DRIVE
 TOWN OF AURORA
 COMMITTEE OF ADJUSTMENT



ISSUED ZONING REVIEW
OCTOBER, 2020.

DRAWINGS LIST

- A-1 SURVEY PLAN/
SITE PLAN**
- A-2 BASEMENT PLAN**
- A-3 GROUND
FLOOR PLAN**
- A-4 SECOND
FLOOR PLAN**
- A-5 ROOF PLAN**
- A-6 ELEVATION**
- A-7 ELEVATION**
- A-8 ELEVATION**
- A-9 ELEVATION**
- A-10 SECTION**

SITE DATA	SQ. FT.	M2
LOT AREA	11660.15	1083.26
		100%

SET BACKS	PROPOSED	
	M	FT.
FRONT BUILDING	6.94	22.77
FRONT STAIRS	4.50	14.76'
REAR	20.76	68.11'
SIDE	2.00	6.56'
SIDE	6.64	21.78'

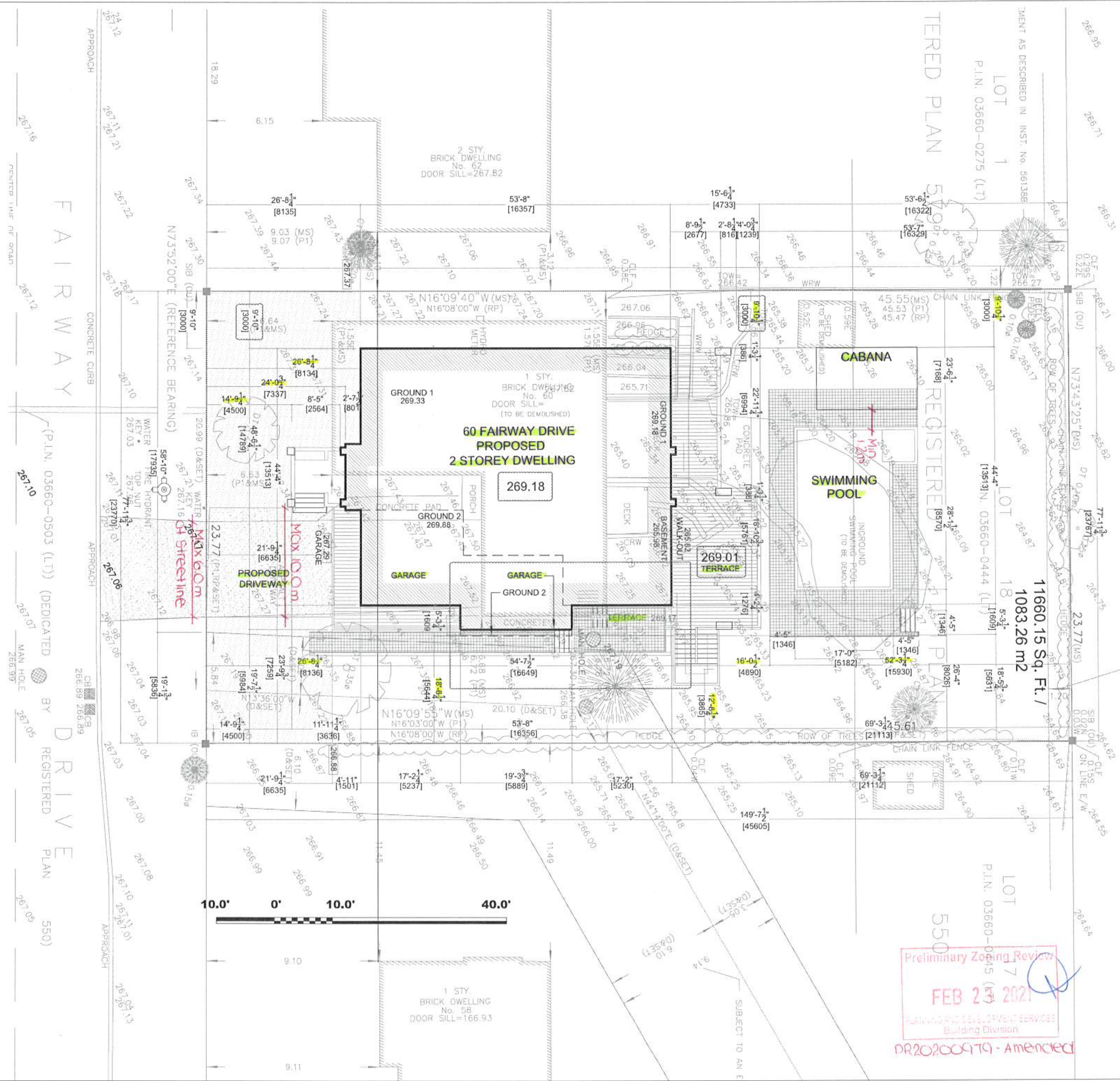
HEIGHT TO PEAK	9.80	32.48'
LOT COVERAGE	22.87%	247.58 / 2664.93

PROPOSED BUILDING INFORMATION		
BASEMENT	175.69	-176.63 - 1922.76
GARAGE	234.37	65.74 - 600.00
GROUND FLOOR AREA - LIVING	58.68	231.62 - 2493.14
SECOND FLOOR AREA		193.97 - 2087.88
TOTAL FLOOR AREA	484.27	481.93 - 5180.99

DRIVEWAY / LANDSCAPE AREA		
FRONT YARD	173.67	1869.37
DRIVEWAY	48.02	516.88
LANDSCAPE AREA	125.65	1352.49
SOFT LANDSCAPE AREA	68.04%	118.16
		1271.86

CALCULATED AREA IS INSIDE PROPERTY LINE

**1 PROPOSED
SITE PLAN**
SCALE: 1'-0" = 1/8"
SCALE: 1 : 100



Preliminary Zoning Review
FEB 23 2021
PLANNING AND DEVELOPMENT SERVICES
Building Division
DR20200479 - Amended

AM
ALEKSANDAR V. MARKOVIC
Architecture - Interior
1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone: (416) 461-5694 Fax: (416) 467-6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION. DO NOT SCALE THE DRAWINGS.

Issued _____
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name: ALEKSANDAR V. MARKOVIC 32107 BCDN #
Signature: Aleksandar V. Markovic 34372 BCDN #
Practice Name: Practice Name

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	DEC.2020.
2	AS PER EXAMINER'S NOTES	JAN.2021.

Client _____

Faryar Esrafil

Project Name and Address _____
PROPOSED 2 STOREY DWELLING

60 Fairway Drive
Aurora, ON

Drawing Title _____

SITE PLAN

Checked by _____
A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A-1
Project No. _____

20-10

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
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REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
 LILIJANA MARKOVIC 33107 BCDN #
 Name: *Lilijana Markovic*
 Signature: *Aleksandar V. Markovic*
 Aleksandar V. Markovic 14372 BCDN #
 Practice Name:



NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	DEC.2020
2		

Client _____

Faryar Esrafil

Project Name and Address _____
 PROPOSED 2 STOREY DWELLING
 60 Fairway Drive
 Aurora, ON
 Drawing Title _____

SOUTH ELEVATION
 Checked by _____
 A.M.
 Scale _____
 AS NOTED
 Drawing/Sheet No. _____
 A-6
 Project No. _____
 20-10

1 PROPOSED FRONT, SOUTH ELEVATION
 SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

Preliminary Zoning Review
FEB 23 2021
 PLANNING AND DEVELOPMENT SERVICES
 Building Division
 PR20200979 - Amendelect

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Issued _____
 ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
REGISTRATION INFORMATION
 Required unless Design is exempt under 2.17.4.1. of the Ontario Building Code
 Name: LILJANA MARKOVIC 33107 BCDN #
 Signature: Aleksandar V. Markovic 34372 BCDN #
 Practice Name: _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	DEC.2020
2	AS PER EXAMINER'S NOTES	JAN.2021

Client _____

Faryar Esrafilii

Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

60 Fairway Drive
 Aurora, ON

Drawing Title _____

WEST ELEVATION

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A-7

Project No. _____

20-10

Preliminary Zoning Review
 FEB 23 2021
 PLANNING AND DEVELOPMENT SERVICES
 Building Division
 PR20200979 - Amended



277.03 T/O ROOF

273.20 SECOND

269.88 GROUND 2

269.18 GROUND 1

267.29 GARAGE

267.13 AVERAGE GRADE
 267.37 / 266.88

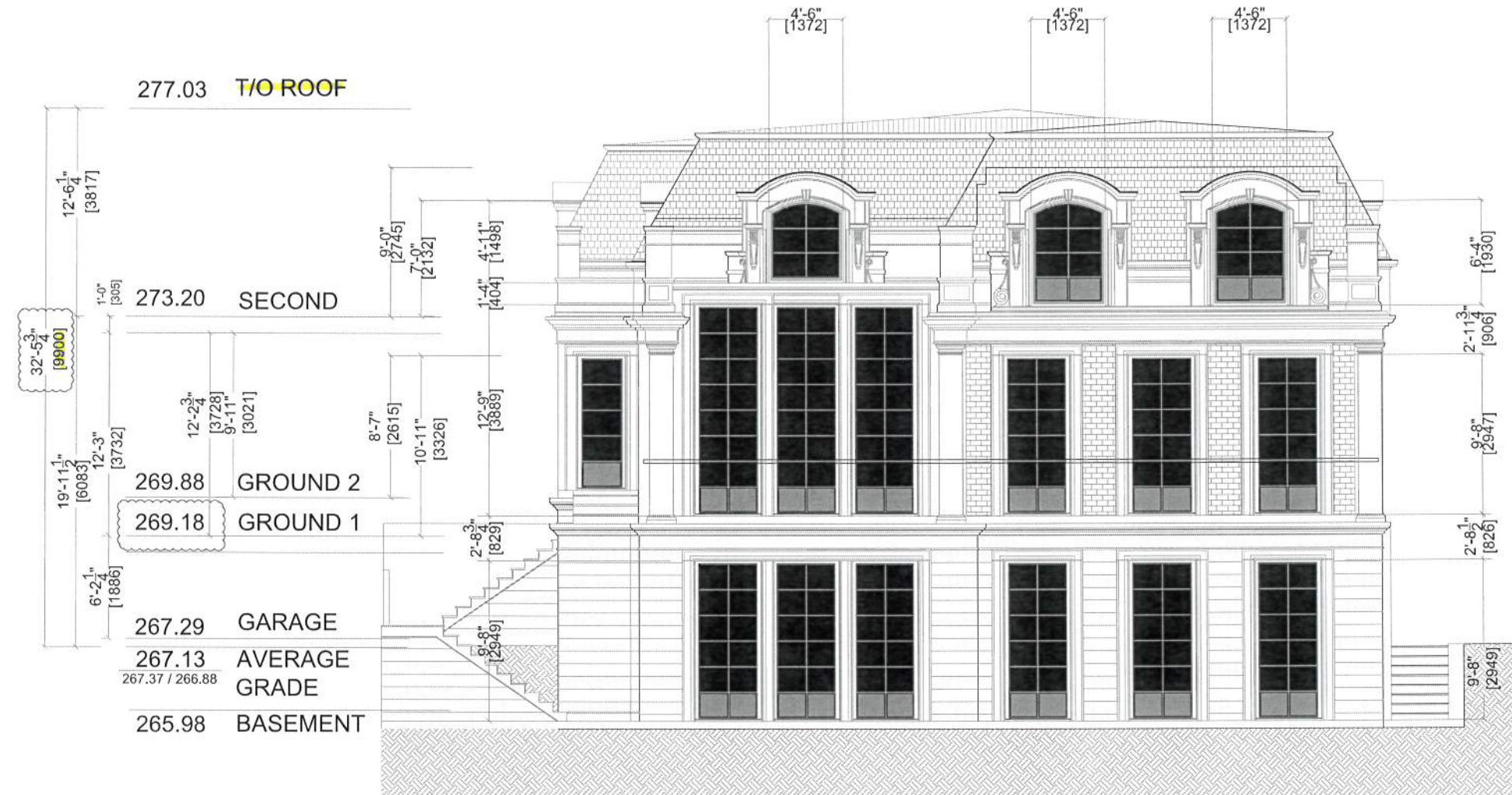
265.98 BASEMENT

1 PROPOSED SIDE, WEST ELEVATION
 SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

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Issued _____
 ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE CONSENT

The undersigned has reviewed & taken responsibility for this design and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a Designer.
REGISTRATION INFORMATION
 Required unless design is exempt under Z17.4.1. of the Ontario Building Code
 LILIJANA MARKOVIC 33107 BCDN #
 Signature: *Aleksandar V. Markovic*
 Practice Name: Aleksandar V. Markovic 33172 BCDN #



Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	DEC.2020.
2		

Client _____

Faryar Esrafil

Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

60 Fairway Drive
 Aurora, ON

Drawing Title _____

**NORTH
 ELEVATION**

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A-8

Project No. _____

20-10

**1 PROPOSED
 REAR, NORTH ELEVATION**
 SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

Preliminary Zoning Review
FEB 23 2021
 PLANNING AND DEVELOPMENT SERVICES
 Building Division
 PR20200979 - AMENDED

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REGISTRATION INFORMATION
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 Name: LJILIANA MARKOVIC BCDN # 33107
 Signature: Aleksandar V. Markovic
 Practice Name: _____ BCDN# _____

Revised _____

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	DEC.2020.
2		

Client _____

Faryar Esrafilii

Project Name and Address _____
 PROPOSED 2 STOREY DWELLING

60 Fairway Drive
 Aurora, ON

Drawing Title _____

EAST ELEVATION

Checked by _____

A.M.

Scale _____

AS NOTED

Drawing/Sheet No. _____

A-9

Project No. _____

20-10



1 PROPOSED SIDE, EAST ELEVATION
 SCALE: 1'-0" = 1/4"
 SCALE: 1 : 50

Preliminary Zoning Review
FEB 23 2021
 PLANNING AND DEVELOPMENT SERVICES
 Building Division
 PR202004791 - Amended



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771