



**NOTICE OF PUBLIC HEARING  
MINOR VARIANCE**

**Pursuant to Section 45(5) of *The Planning Act***

**FILE NUMBER:** MV-2023-40

**APPLICANT:** 2776780 ONTARIO INC.

**PROPERTY:** 28 Wells St, Aurora, ON L4G3V5  
PLAN 68 LOT 1

**RELATED  
APPLICATIONS:** n/a

**ZONING:** R7-SN(497) Detached Special Mixed Density Residential

**PURPOSE:** A Minor Variance Application has been submitted to facilitate the construction of a semi-detached house and semi-detached accessory structure (rear yard) for garage with loft (apartment unit above garage).

**THE FOLLOWING  
VARIANCES ARE  
REQUIRED:**

**Part 1 is to be retained from the severed lot Part 2.**

1. Section 7.2 of the Zoning By-law requires a minimum lot frontage of 20.0 metres.
  - a) The applicant is proposing two-storey semi-detached dwelling with a lot frontage of 16.86 metres.
2. Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard of 1.5 metres.
  - a) The applicant is proposing a carport, which is 0.3 metre to the interior side property line.
3. Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard of 3.0 metres beyond the main rear wall of the adjacent dwelling.

- a) The applicant is proposing a carport, which is 0.3 metre to the interior side property line.
4. Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard of 3.0 metres beyond the main rear wall of the adjacent dwelling.
  - a) The applicant is proposing a two-storey semi-detached dwelling, which is 1.5 metres to the interior side property line.
5. Section 24.497.3.3 of the Zoning By-law permits a maximum height of 9.9 metres to the highest point of the roof.
  - a) The applicant is proposing a two-storey semi-detached dwelling with a height of 11.2 metres to the peak of the roof.
6. Section 24.497.8 of the Zoning By-law permits a maximum gross floor area of 40.0 square metres.
  - a) The applicant is proposing a two-storey detached garage with a gross floor area of 160.0 square metres.
7. Section 24.497.8 of the Zoning By-law permits a maximum height of 3.5 metres to the mid-point of the roof.
  - a) The applicant is proposing a two-storey detached garage with a height of 6.9 metres to the mid-point of the roof.
8. Section 24.497.8 of the Zoning By-law permits a maximum height of 4.5 metres to the peak of the roof.
  - a) The applicant is proposing a two-storey detached garage with a height of 8.6 metres to the mid-point of the roof.
9. Section 5.6.1(a)(i) of the Zoning By-law permits a maximum driveway width of 3.5 metres.
  - a) The applicant is proposing a driveway width of 6.8 metres.

**Part 2 is to be severed from the retained lot Part 1.**

1. Section 7.2 of the Zoning By-law requires a minimum lot frontage of 20.0 metres.
  - a. The applicant is proposing two-storey semi-detached dwelling with a lot frontage of 16.86 metres.
2. Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard of 1.5 metres.
  - a. The applicant is proposing a carport, which is 0.3 metre to the interior side property line.
3. Section 24.497.3.3 of the Zoning By-law permits a maximum height of 9.9 metres to highest point of the roof.

- a. The applicant is proposing a two-storey semi-detached dwelling with a height of 11.2 metres to the peak of the roof.
- 4. Section 24.497.8 of the Zoning By-law permits a maximum gross floor area of 40.0 square metres.
  - a. The applicant is proposing a two-storey detached garage with a gross floor area of 160.0 square metres.
- 5. Section 24.497.8 of the Zoning By-law permits a maximum height of 3.5 metres to the mid-point of the roof.
  - a. The applicant is proposing a two-storey detached garage with a height of 6.9 metres to the mid-point of the roof.
- 6. Section 24.497.8 of the Zoning By-law permits a maximum height of 4.5 metres to the peak of the roof.
  - a. The applicant is proposing a two-storey detached garage with a height of 8.6 metres to the mid-point of the roof.
- 7. Section 5.6.1(a)(i) of the Zoning By-law permits a maximum driveway width of 3.5 metres.
  - a. The applicant is proposing a driveway width of 6.8 metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

<b>DATE:</b>	<b>January 11, 2024</b>
<b>TIME:</b>	<b>7:00 p.m.</b>
<b>LOCATION:</b>	<b>Electronic Meeting (Please visit <a href="https://www.youtube.com/user/Townofaurora2012">https://www.youtube.com/user/Townofaurora2012</a> for live stream of the meeting)</b>

**NOTE:** As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Planning Coordinator, Elizabeth Stewart, at [PFan@aurora.ca](mailto:PFan@aurora.ca) **no**

later than 4:30pm on January 9, 2024. Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Delegation-Request>

- ii) **Provide written comments.** Please email your comments to the Planning Coordinator, Elizabeth Stewart, at [Estewart@aurora.ca](mailto:Estewart@aurora.ca) **no later than 12:00pm (noon) on January 11, 2024.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora*  
100 John West Way, Box 1000  
Aurora, ON L4G 6J1

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed "Request for Decision" form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to [PFan@aurora.ca](mailto:PFan@aurora.ca) **no later than 4:30pm on January 11, 2024.**

**If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.**

Should you have any questions regarding this application, please contact Peter Fan at [PFan@aurora.ca](mailto:PFan@aurora.ca) or at **(905) 726-4711**

**Personal Information Collection Notice**

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended*. Your comments in respect to this Application will become part of the decision-making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the "Act")* public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 22<sup>nd</sup> DAY OF December 2023



Peter Fan  
Secretary-Treasurer/Assistant Planner  
Committee of Adjustment

## **ATTACHMENTS**

Attachment 1 – Location Map  
Attachment 2 – Site Plan  
Attachment 3 – Request for Decision

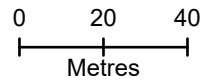
**Agenda packages will be available prior to the Hearing at:**

<https://www.aurora.ca/agendas>



**LOCATION MAP**  
**28 WELLS STREET**  
**FILE: MV-2023-40**  
**TOWN OF AURORA**  
**COMMITTEE OF ADJUSTMENT**

 **SUBJECT LANDS**



TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: *Ashley Vanderwal* AMENDED  
 PRELIMINARY ZONING REVIEW

PROJECT  
 PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 28 WELLS ST.  
 AURORA, ON  
 CLIENT  
 MAPLE LANE  
 LANDS & DEVELOPMENT

CONSULTANTS

ARCHITECT  
**JOSEPH N CAMPITELLI**  
 ARCHITECT INC.  
 10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
 tel: 905-887-8900 fax: 905-887-9400  
 e-mail: info@jnc-architect.com



# PROPOSED CUSTOM HOME SEMI-DETACHED RESIDENCE

28 WELLS ST. AURORA, ON  
 PROJECT NO: 307.23

- DRAWING LIST:
- A.000 COVER PAGE
  - A.100 SITE PLAN & STATISTICS
  - A.301 MAIN RESIDENCE - BASEMENT & GROUND FLOOR PLAN
  - A.302 MAIN RESIDENCE - 2ND FLOOR & ROOF PLAN
  - A.303 ACCESSORY STRUCTURE - GARAGE W/ APARTMENT ABOVE  
GROUND & SECOND FLOOR PLANS
  - A.304 ACCESSORY STRUCTURE - GARAGE W/ APARTMENT ABOVE  
ROOF PLAN & BUILDING SECTION
  - A.401 MAIN RESIDENCE EAST & SOUTH ELEVATIONS
  - A.402 MAIN RESIDENCE WEST & NORTH ELEVATIONS
  - A.403 ACCESSORY STRUCTURE - GARAGE W/ APARTMENT ABOVE  
ELEVATIONS

ISSUED FOR MINOR VARIANCE APPROVAL - NOVEMBER 15, 2023

LEGAL  
 This drawing, as an instrument of service, is provided by, and is the property of, Joseph N. Campitelli, Architect Inc. (the "Architect"). The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Architect, of any variations from the supplied information. The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, engineering information, etc., which is shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by the Architect, in regards to the environmental condition of the site to which this drawing relates. This drawing is not to be used for construction purposes until countersigned by the Architect.  
 This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

COUNTERSIGNED  
 Joseph N. Campitelli, Architect  
 B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE

DESCRIPTION

- DWG. ISSUES
- 1. OCT.05.2023 ISSUED FOR ZONING REVIEW RD
  - 2. NOV.15.2023 ISSUED FOR MV APPROVAL BSH

INFO  
 PROJECT ARCHITECT:  
 J. CAMPITELLI  
 ASSISTANT DESIGNER:

DRAWN BY:  
 B.SH  
 CHECKED BY:  
 R.D

DWG. TITLE  
 COVER PAGE

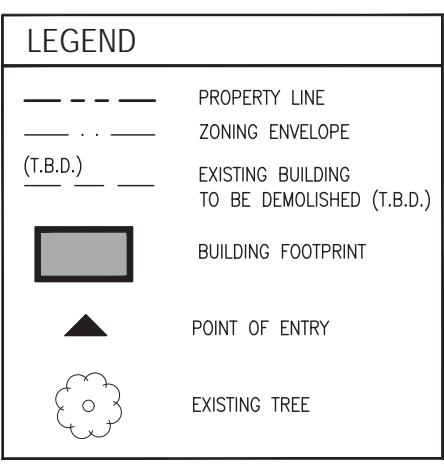
SCALE N.T.S.	DATE PRINTED NOV.15.2023	PROJECT NO. 307.23.D
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SHEET NO.  
**A.000**

TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: Ashley Vanderwal AMENDED  
 PRELIMINARY ZONING REVIEW

SITE STATISTICS				
	BY-LAW 6000-17	EXISTING	PROPOSED - PART 1 / UNIT 1	PROPOSED - PART 2 / UNIT 2
1. ZONING	R7-SN (497) RESIDENTIAL R7 W/ EXCEPTION No: 497	DETACHED SINGLE FAMILY (TO BE DEMOLISHED)	SEMI-DETACHED SINGLE FAMILY RESIDENCE ACCESSORY STRUCTURE (GARAGE W/ 2ND SUITE)	SEMI-DETACHED SINGLE FAMILY RESIDENCE ACCESSORY STRUCTURE (GARAGE W/ 2ND SUITE)
2. LOT FRONTAGE	20m (MIN.)	16.86m (55'-4")	8.43m (27'-8")	8.43m (27'-8")
3. SITE AREA	MIN. 650sm / 6,997sf	1046.6m (11,266sf)	523.3sm (5,633sf)	523.3sm (5,633sf)
4. SETBACKS	FRONT YARD = 6.0m SIDE YARD = 1.5m ALONG ADJACENT BLDG. MAIN WALL SIDE YARD = 3.0m BEYOND ADJACENT BLDG. MAIN WALL REAR YARD = 15.7m 25% OF LOT DEPTH	NOT APPLICABLE (N/A)	FRONT YARD = 6.5m SIDE YARD FROM SEVERANCE LINE = 0.0m SIDE YARD = 0.3m AT 1ST FLOOR COLUMN SIDE YARD = 1.5m AT 2ND FLOOR	FRONT YARD = 6.46m SIDE YARD FROM SEVERANCE LINE = 0.0m SIDE YARD = 0.3m AT 1ST FLOOR COLUMN SIDE YARD = 1.5m AT 2ND FLOOR
5. COVERAGE	MAX. 40% OF LOT AREA OR 215sm WHICHEVER IS LESS (INCLUDES GARAGE + CARPORT AREA) <b>40% x 523.3sm = 209.32sm (2,253sf)</b>  NOTE: COVERED AND OPEN DECKS NOT INCLUDED IN COVERAGE		<b>47.1% - 2,655sf (246.7sm) - MINOR VARIANCE</b> MAIN BLDG.: GROUND FLR. FTPRINT. = 1,099sf SECOND FLR. OVERHANG = 436sf COVERED DRIVEWAY = 259sf MAIN BLDG. FOOTPRINT = 1,794sf (31.8%) ACCESSORY BLDG. = 861sf (15.3%) <b>TOTAL SITE COVERAGE = 2,655sf (47.1%)</b> <b>(EXCLUDED BAY WINDOW = 20sf &amp; COVERED PORCH + DECK)</b>	<b>47.1% - 2,655sf (246.7sm) - MINOR VARIANCE</b> MAIN BLDG.: GROUND FLR. FTPRINT. = 1,099sf SECOND FLR. OVERHANG = 436sf COVERED DRIVEWAY = 259sf MAIN BLDG. FOOTPRINT = 1,794sf (31.8%) ACCESSORY BLDG. = 861sf (15.3%) <b>TOTAL SITE COVERAGE = 2,655sf (47.1%)</b> <b>(EXCLUDED COVERED PORCH + DECK)</b>
6. GFA	MAX. 370sm ( 3,983sf) (INCLUDING GARAGE AND STAIRS)		GROUND FLOOR = 1,099sf SECOND FLOOR = 1,543sf TOTAL GFA = 2,642sf (245.4sm) (EXCL. BASEMENT) ACCESSORY GARAGE = 622sf 2ND FLR. SUITE = 861sf ACCESSORY BLDG. TOTAL = 1,483sf (137.8sm) GRAND TOTAL GFA = 4,125sf (383.2sm)	GROUND FLOOR = 1,099sf SECOND FLOOR = 1,522sf TOTAL GFA = 2,621sf (243.5sm) (EXCL. BASEMENT) ACCESSORY GARAGE = 622sf 2ND FLR. SUITE = 861sf ACCESSORY BLDG. TOTAL = 1,483sf (137.8sm) GRAND TOTAL GFA = 4,104sf (381.3sm)
7. BUILDING HEIGHT	ROOFS W/ SLOPE LESS THAN 20°: MAX. 9m FROM FIN. GRADE TO HIGH POINT  ROOFS W/ SLOPE MORE THAN 20°: FROM FINISHED GRADE TO BE MAX. 9m TO MID ROOF LEVEL, OR MAX. 9.9m TO ROOF RIDGE WHICHEVER IS LESS		11.2m (36'-7") TO GABLE ROOF RIDGE 10.7m (35'-1") TO MAIN ROOF RIDGE	11.2m (36'-7") TO GABLE ROOF RIDGE 10.7m (35'-1") TO MAIN ROOF RIDGE
8. PERMITTED PROJECTIONS	OPEN PORCH = 2.5m AT FRONT YARD BUT NOT LESS THAN 4.5m FROM P. BAY WINDOW = 1m OR 0.3 TO SIDE YARD EAVES PROJECTION = 0.7m		FRONT PORCH ROOF - 1'-11" (0.6m) FROM REQ. SETBACK LINE	FRONT PORCH ROOF - 2'-11" (0.9m) FROM REQ. SETBACK LINE
NEW ACCESSORY STRUCTURE				
1. GFA	MAX. 40sm ( 430sf) (INCLUDING GARAGE AREA)		GARAGE = 622sf SECOND FLOOR = 861sf TOTAL GFA = 1,483sf (137.8sm)	GARAGE = 622sf SECOND FLOOR = 861sf TOTAL GFA = 1,483sf (137.8sm)
3. SETBACKS	SIDE YARD (ONE STOREY) = MIN. 1.2m SIDE YARD (2 STOREY) = MIN. 1.5m  REAR YARD = 1.0m		SIDE YARD = 1.2m FROM SEVERANCE LINE = 0.0m  REAR YARD = 3.3m	SIDE YARD = 1.2m FROM SEVERANCE LINE = 0.0m  REAR YARD = 3.6m
4. BUILDING HEIGHT	MAX. 4.5m TO ROOF PEAK OR 3.5m TO ROOF MID-POINT WHICHEVER IS LESS.		8.55m (28'-1") TO TOP OF RIDGE 6.87m (22'-6.5") TO MID POINT OF ROOF	8.55m (28'-1") TO TOP OF RIDGE 6.87m (22'-6.5") TO MID POINT OF ROOF

**SURVEY INFORMATION**  
 INFORMATION FOR THIS SITE PLAN  
 WAS TAKEN FROM THE FOLLOWING:  
 LOT 1  
 REGISTERED PLAN 68  
 WEST OF WELLS STREET  
 TOWN OF AURORA,  
 REGIONAL MUNICIPALITY OF YORK  
 DATED: JANUARY 09, 2023  
 PREPARED BY:  
 RS SURVEYING LTD.,  
 ONTARIO LAND SURVEYORS  
 117 RINGWOOD DRIVE, UNIT 9,  
 STOUFFVILLE, ON L4A 8C1



PROJECT: PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 CLIENT: 28 WELLS ST.  
 AURORA, ON  
 MAPLE LANE  
 LANDS & DEVELOPMENT

ARCHITECT: **JOSEPH N. CAMPITELLI**  
 ARCHITECT INC.  
 10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
 tel: 905-887-8900 fax: 905-887-9400  
 e-mail: info@jnc-architect.com

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COUNTERSIGNED:  
 Joseph N. Campitelli, Architect  
 B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE: \_\_\_\_\_

DESCRIPTION:

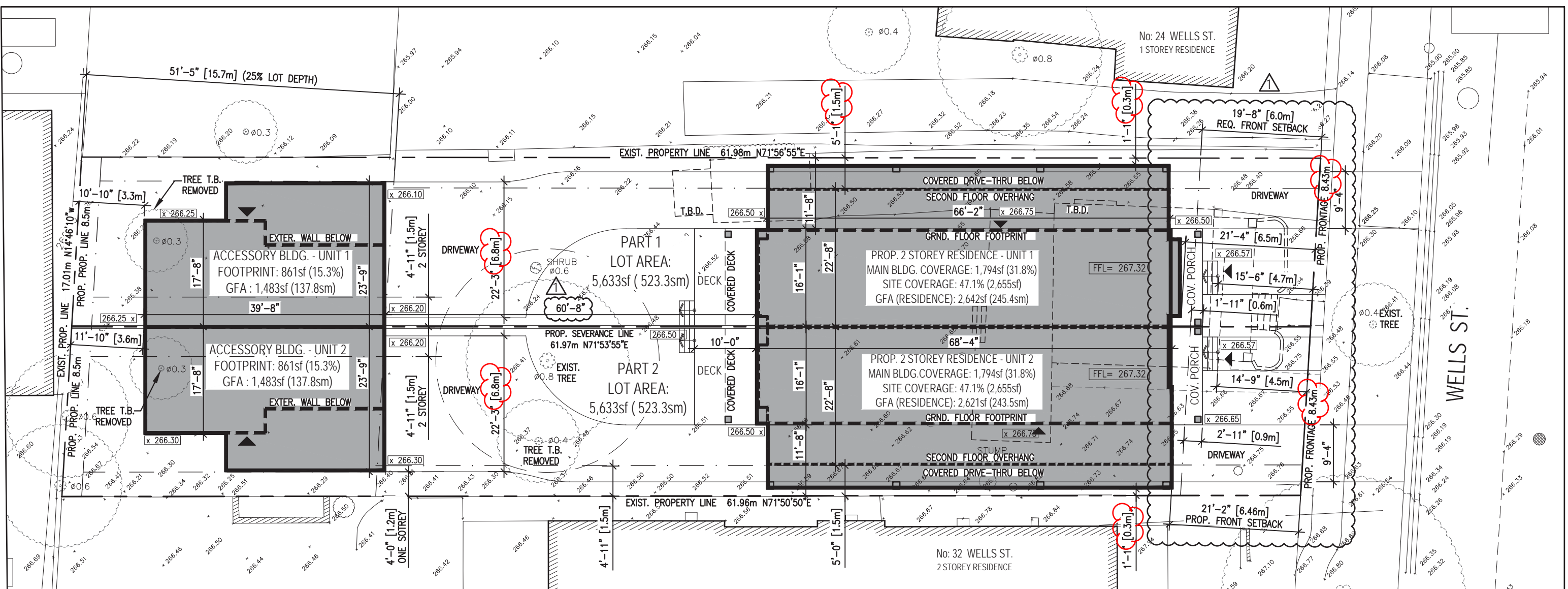
DWG. ISSUES	1. OCT.05.2023	ISSUED FOR ZONING REVIEW	RD
	2. NOV.15.2023	ISSUED FOR MY APPROVAL	BSH

PROJECT ARCHITECT:  
**J. CAMPITELLI**  
 ASSISTANT DESIGNER:  
 DRAWN BY:  
 B.SH  
 CHECKED BY:  
 R.D

SITE PLAN  
 SITE STATISTICS

SCALE: 1/16"=1'-0"  
 DATE PRINTED: NOV. 15, 2023  
 PROJECT NO: 307.23.D

SHEET NO. **A.100**



SITE PLAN



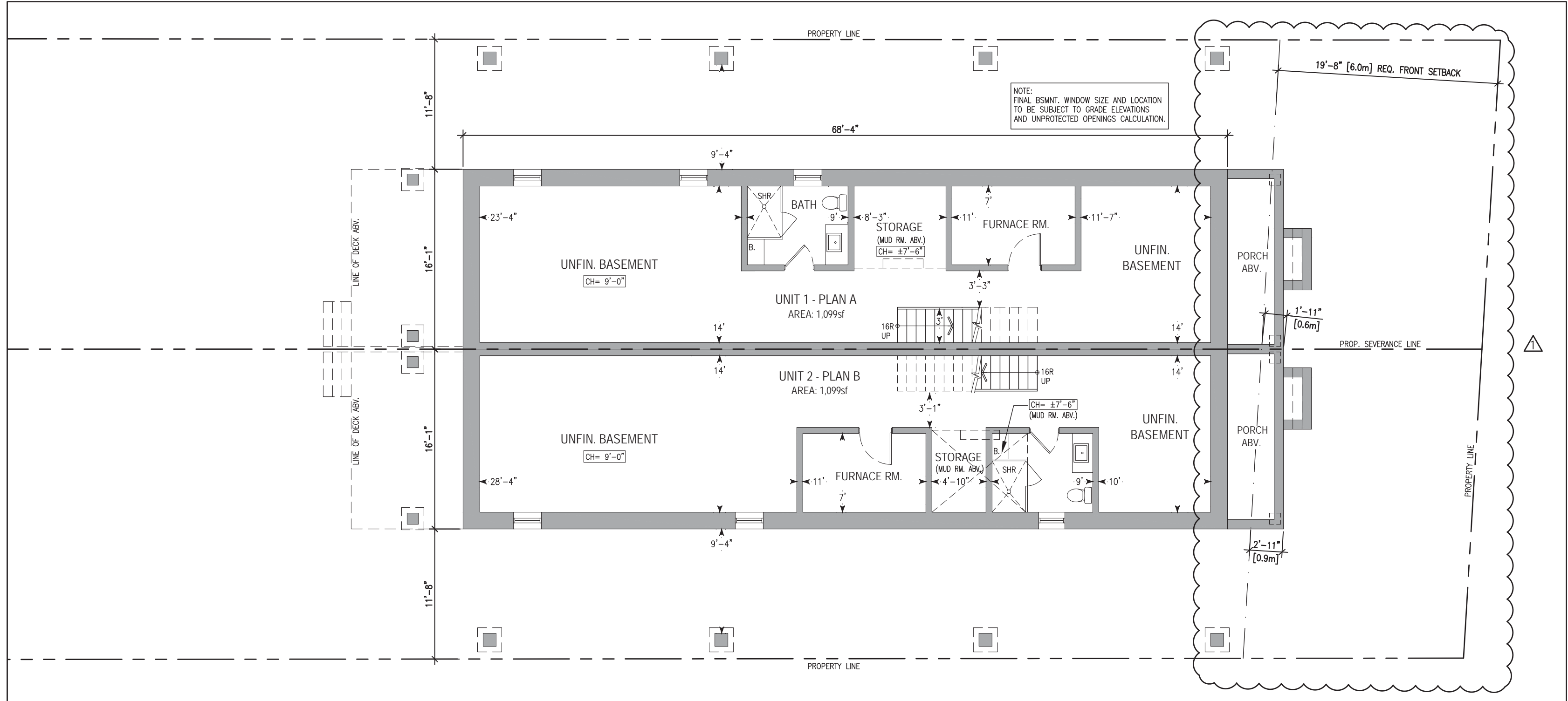
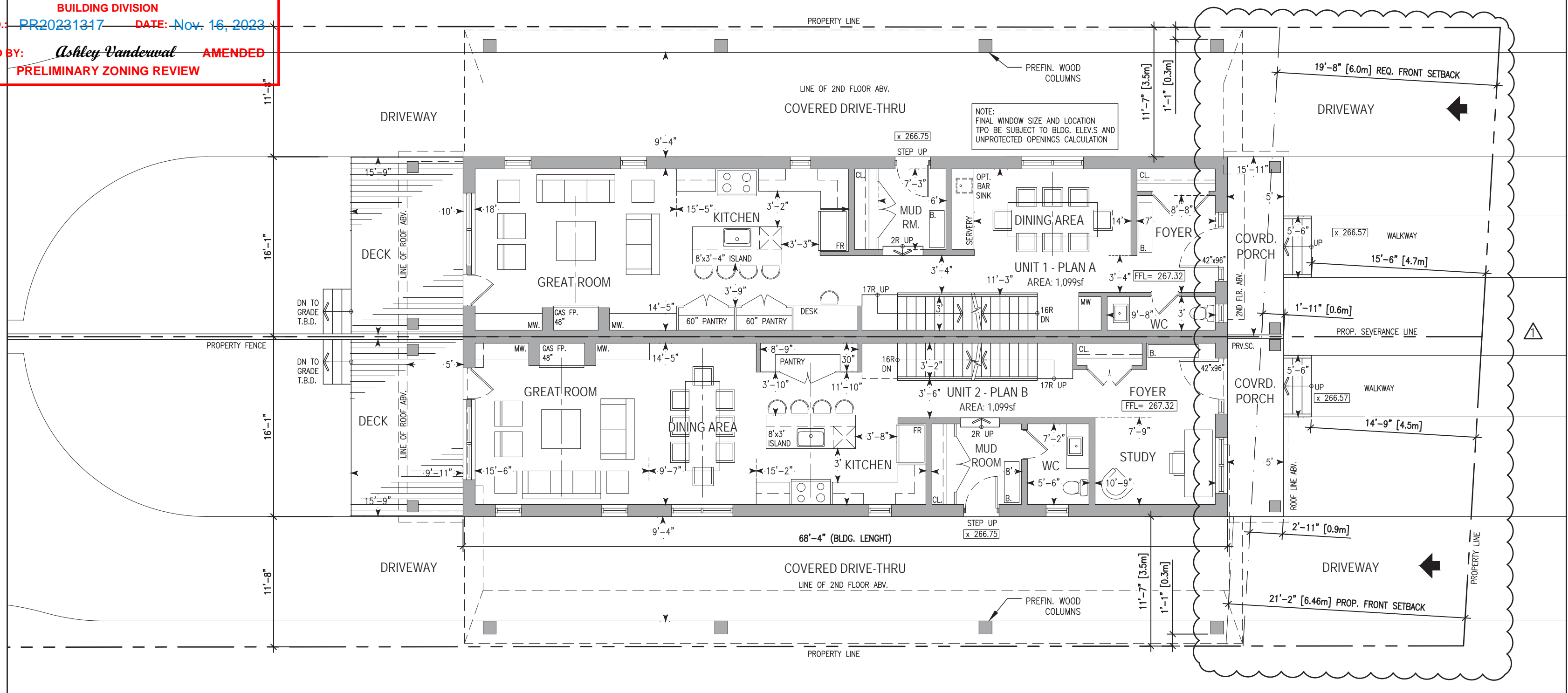
TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: Ashley Vanderwal AMENDED  
 PRELIMINARY ZONING REVIEW

**LEGEND**

PROP. WALLS
B BENCH
BD BARN DOOR
CL CLOSET
FR FRIDGE
FP FIREPLACE
MW MILLWORK
D/W DISHWASHER
W/D WASHER / DRYER

PROJECT: PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 28 WELLS ST.  
 AURORA, ON  
 CLIENT: MAPLE LANE  
 LANDS & DEVELOPMENT

CONSULTANTS: ARCHITECT: JOSEPH N CAMPITELLI  
 ARCHITECT INC.  
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 DATE: \_\_\_\_\_

DESCRIPTION

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	2. NOV.15.2023 ISSUED FOR MV APPROVAL BSH

INFO: PROJECT ARCHITECT: J. CAMPITELLI  
 ASSISTANT DESIGNER:  
 DRAWN BY: B.SH  
 CHECKED BY: R.D

DWG. TITLE: MAIN RESIDENCE  
 BASEMENT & GROUND FLOOR PLANS

SCALE: 1/8"=1'-0" DATE PRINTED: NOV.15.2023 PROJECT NO: 307.23.D

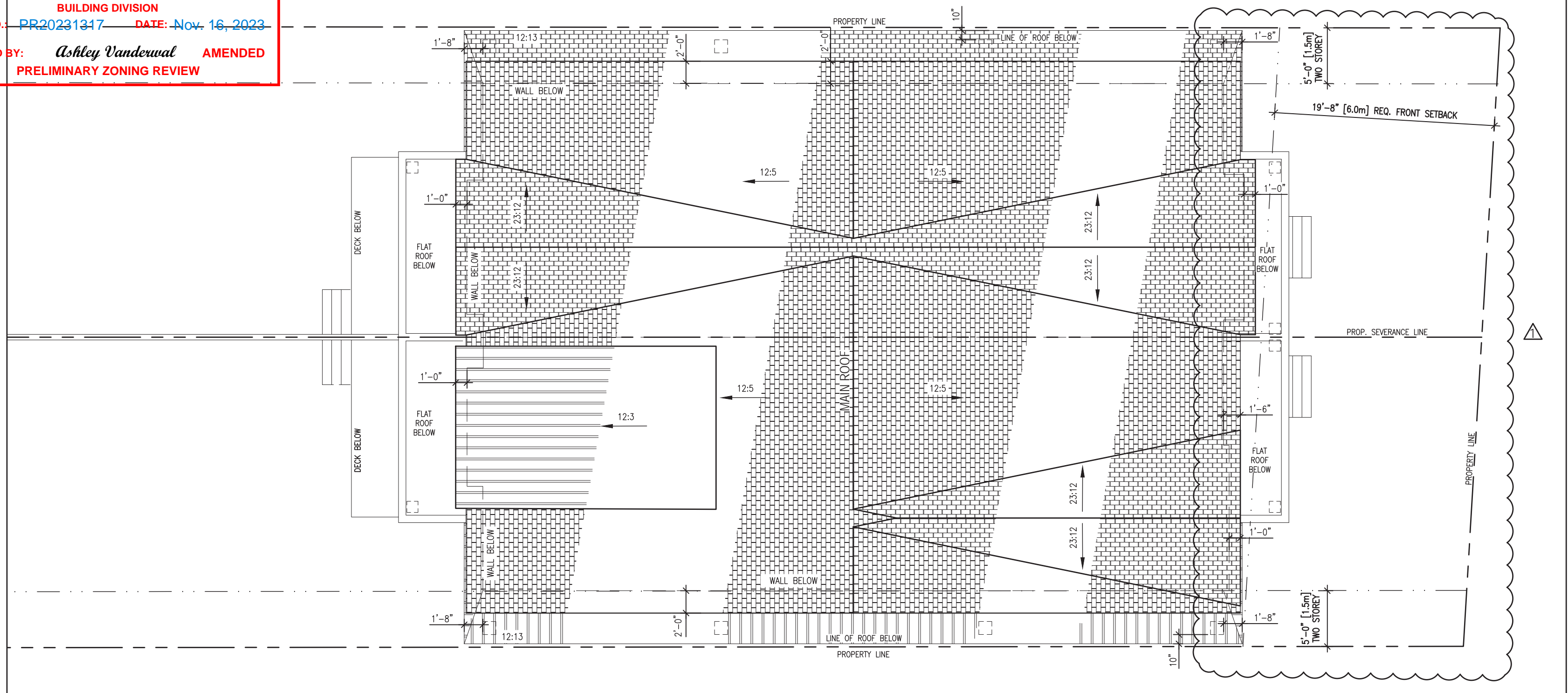
SHEET NO. A.301



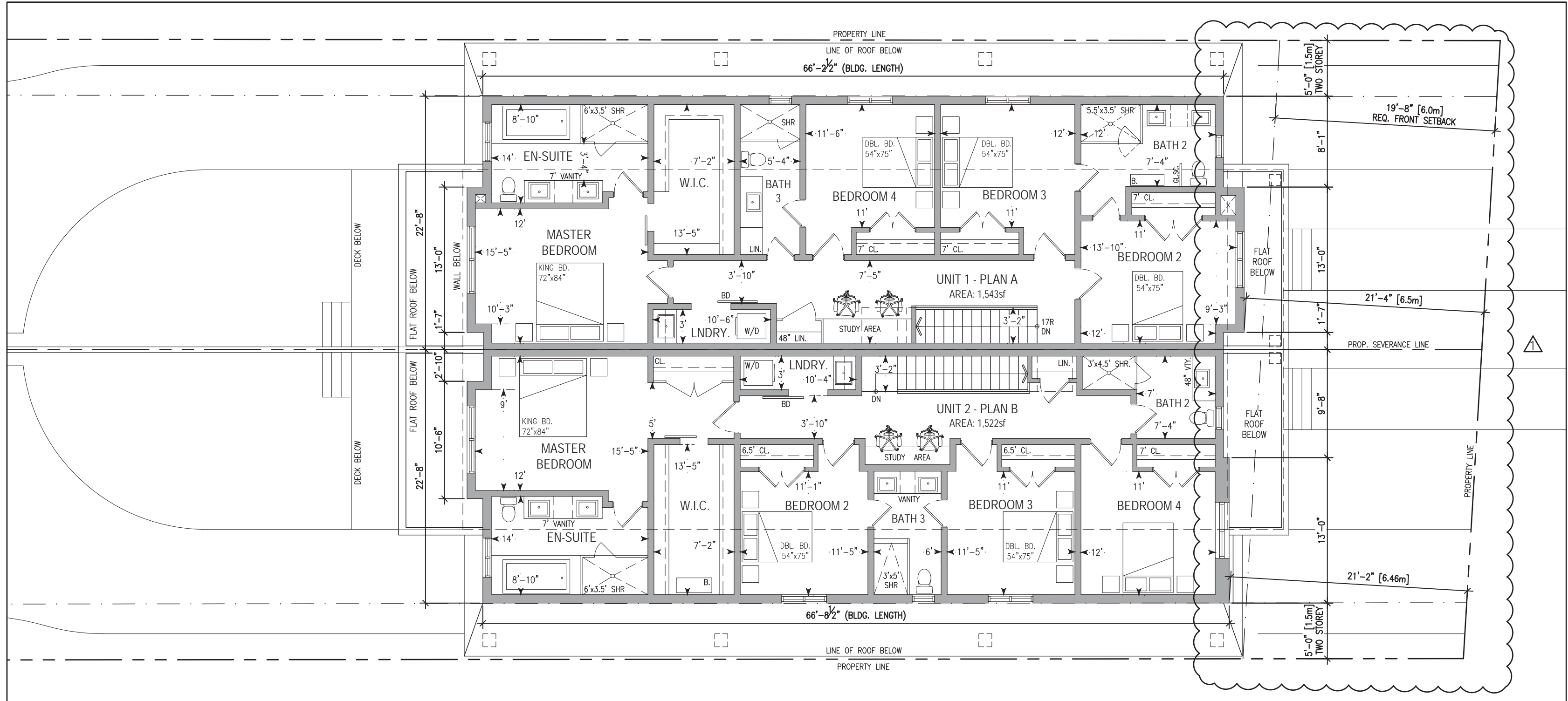
TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: Ashley Vanderwal AMENDED  
 PRELIMINARY ZONING REVIEW

**LEGEND**

PROP. WALLS
B BENCH
BD BARN DOOR
CL CLOSET
FR FRIDGE
FP FIREPLACE
MW MILLWORK
D/W DISHWASHER
W/D WASHER / DRYER



GROUND FLOOR PLAN



SECOND FLOOR PLAN

PROJECT  
 PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 CLIENT  
 28 WELLS ST.  
 AURORA, ON  
 MAPLE LANE  
 LANDS & DEVELOPMENT

CONSULTANTS  
 ARCHITECT  
**JOSEPH N CAMPITELLI**  
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DATE

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 2. NOV.15.2023 ISSUED FOR MV APPROVAL BSH

DWG. ISSUES

INFO  
 PROJECT ARCHITECT:  
 J. CAMPITELLI  
 ASSISTANT DESIGNER:

DRAWN BY:  
 B.SH  
 CHECKED BY:  
 R.D

DWG. TITLE  
 MAIN RESIDENCE  
 SECOND FLOOR & ROOF PLANS

SCALE  
 1/8"=1'-0"

DATE PRINTED  
 NOV. 15, 2023

PROJECT NO.  
 307.23.D

SHEET NO.  
**A.302**



TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: *Ashley Vanderwal* AMENDED  
 PRELIMINARY ZONING REVIEW

LEGEND	
[Hatched Box]	PROP. WALLS
[Symbol]	B BENCH
[Symbol]	BD BARN DOOR
[Symbol]	CL CLOSET
[Symbol]	FR FRIDGE
[Symbol]	FP FIREPLACE
[Symbol]	MW MILLWORK
[Symbol]	D/W DISHWASHER
[Symbol]	W/D WASHER / DRYER

PROJECT  
 PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 CLIENT  
 28 WELLS ST.  
 AURORA, ON  
 MAPLE LANE  
 LANDS & DEVELOPMENT

CONSULTANTS  
 ARCHITECT  
**JOSEPH N CAMPITELLI**  
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 10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
 tel: 905-887-8900 fax: 905-887-9400  
 e-mail: info@jnc-architect.com

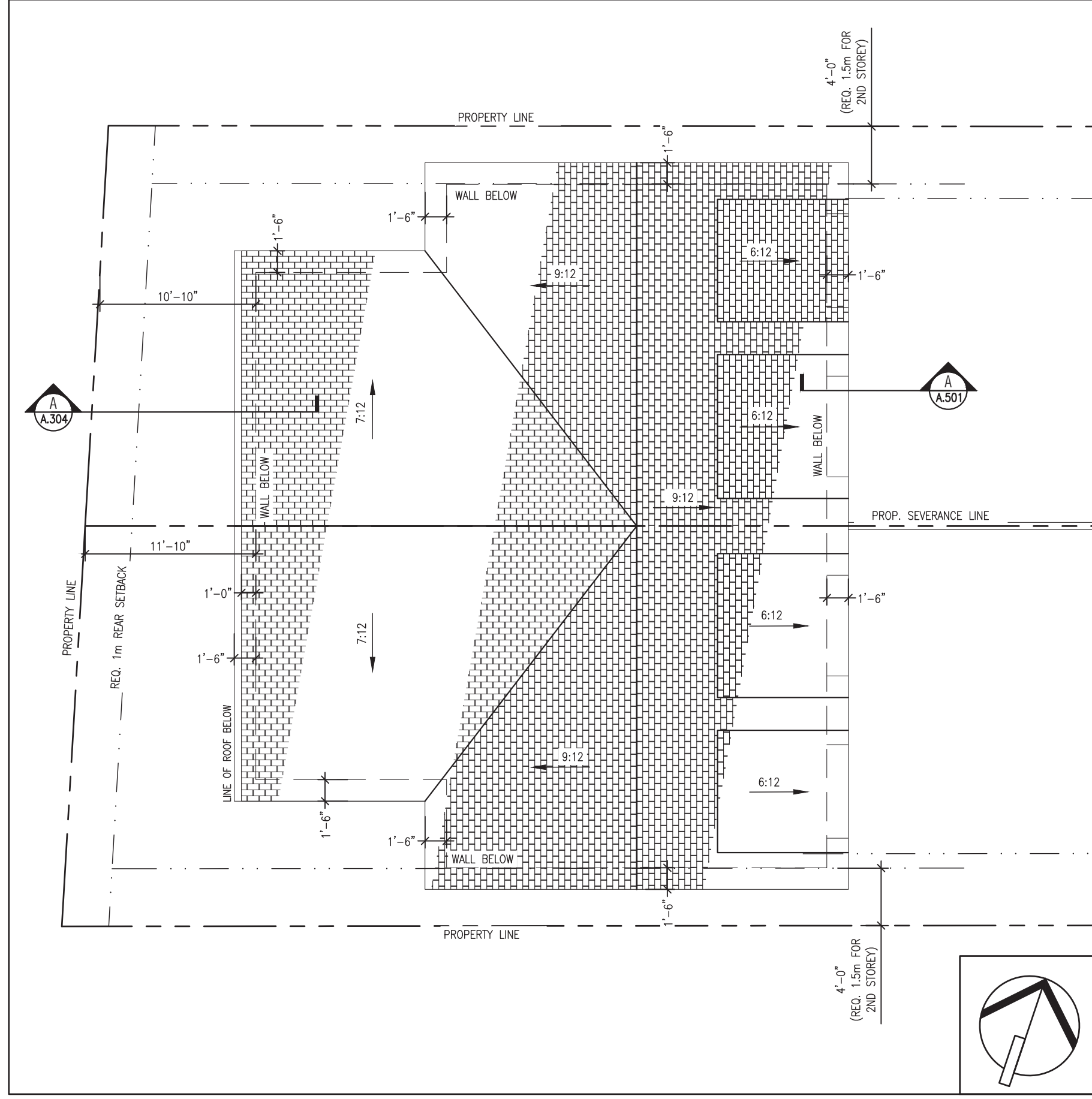
LEGAL  
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COUNTERSIGNED  
 Joseph N. Campitelli, Architect  
 B.A.R.C.H., O.A.A., M.R.A.I.C.  
 DATE  
 \_\_\_\_\_

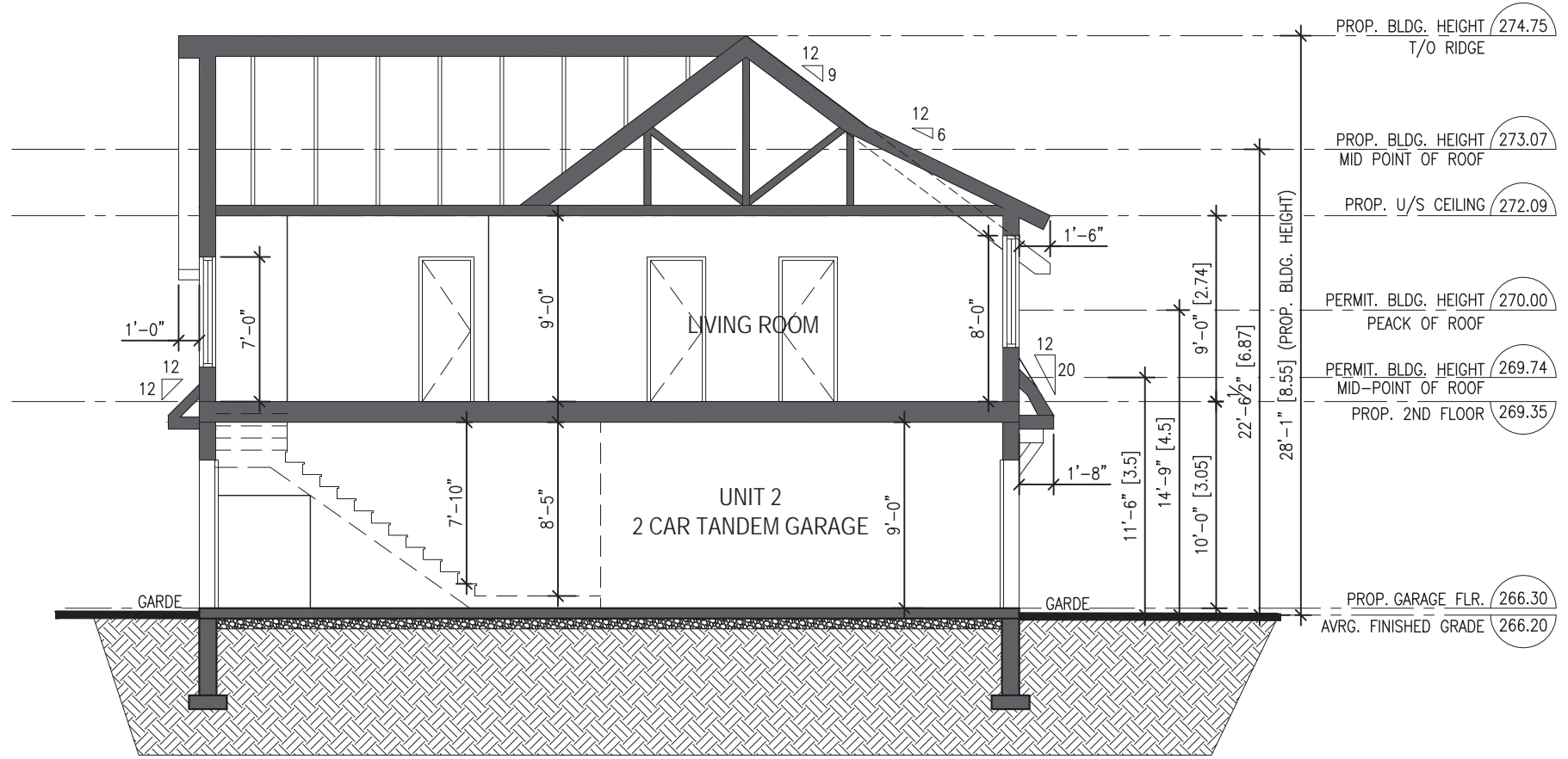
DESCRIPTION  
 DWG. ISSUES  
 1. OCT.05.2023 ISSUED FOR ZONING REVIEW RD  
 2. NOV.15.2023 ISSUED FOR MV APPROVAL BSH

INFO  
 PROJECT ARCHITECT:  
 J. CAMPITELLI  
 ASSISTANT DESIGNER:  
 \_\_\_\_\_  
 DRAWN BY:  
 B.SH  
 CHECKED BY:  
 R.D

DWG. TITLE  
 ACCESSORY STRUCTURE  
 GARAGE W/ APARTMENT ABOVE  
 ROOF PLAN & BLDG. SECTION  
 SCALE 1/8"=1'-0"  
 DATE PRINTED NOV. 15, 2023  
 PROJECT NO. 307.23.D



ROOF PLAN



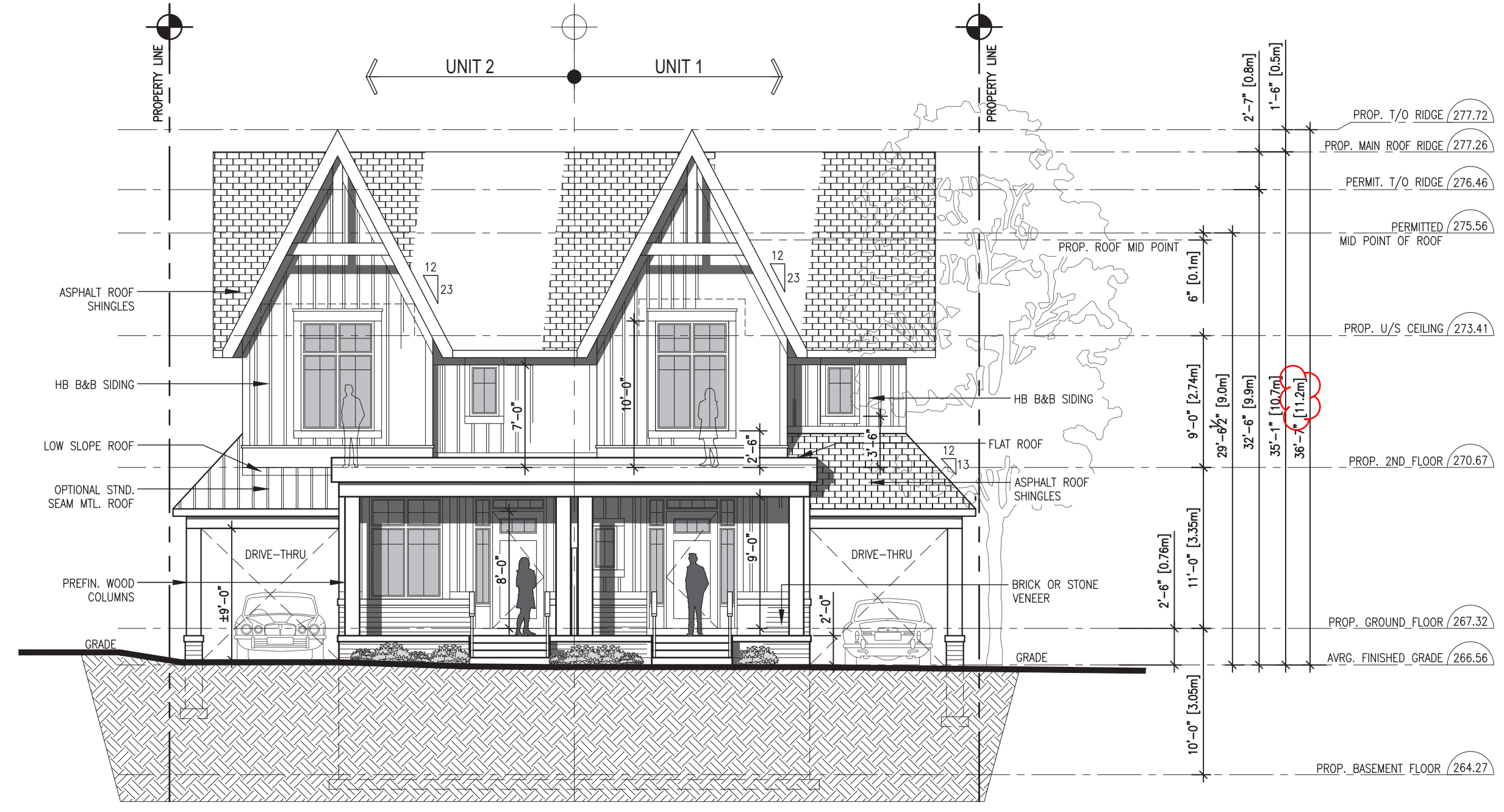
BUILDING SECTION A-A

SHEET NO.  
**A.304**

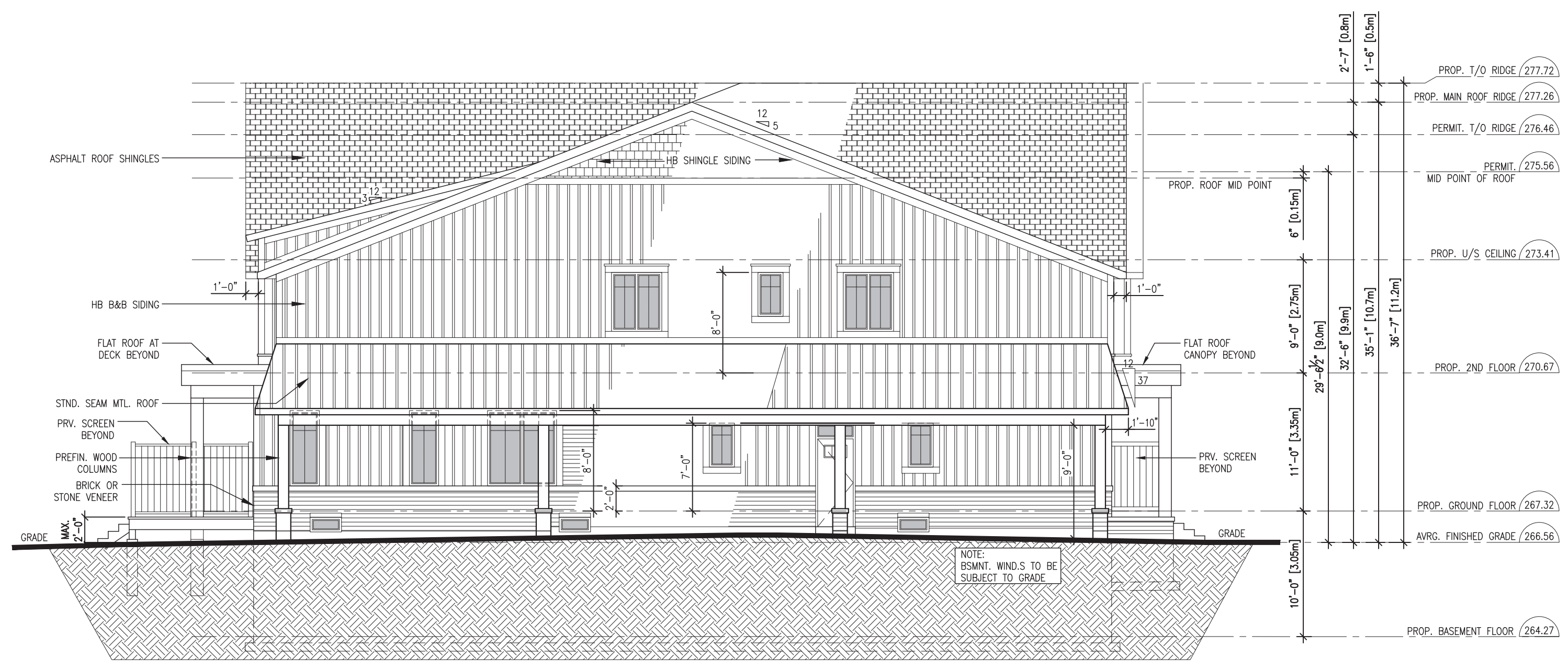
TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: Ashley Vanderwal AMENDED  
 PRELIMINARY ZONING REVIEW

PROJECT  
 PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 CLIENT  
 28 WELLS ST.  
 AURORA, ON  
 MAPLE LANE  
 LANDS & DEVELOPMENT

CONSULTANTS  
 ARCHITECT  
**JOSEPH N CAMPITELLI**  
 ARCHITECT INC.  
 10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
 tel: 905-887-8900 fax: 905-887-9400  
 e-mail: info@jnc-architect.com



EAST ELEVATION



SOUTH ELEVATION

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COUNTERSIGNED  
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 B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE  
 \_\_\_\_\_

DESCRIPTION

DWG. ISSUES  
 1. OCT.05.2023 ISSUED FOR ZONING REVIEW RD  
 2. NOV.15.2023 ISSUED FOR MV APPROVAL BSH

INFO  
 PROJECT ARCHITECT:  
 J. CAMPITELLI  
 ASSISTANT DESIGNER:  
 DRAWN BY:  
 B.SH  
 CHECKED BY:  
 R.D

DWG. TITLE  
 MAIN RESIDENCE  
 EAST & SOUTH ELEVATIONS

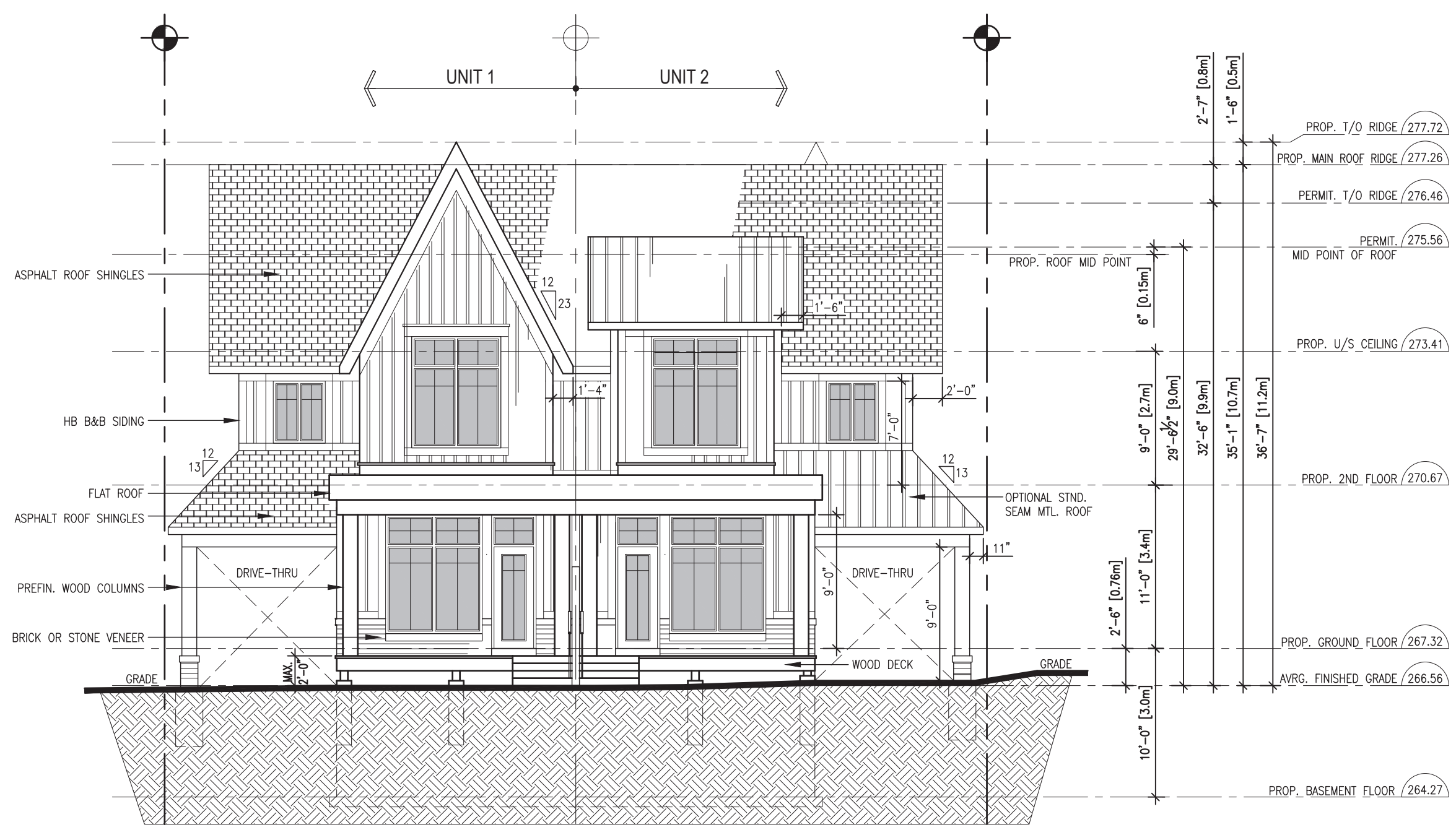
SCALE  
 1/8"=1'-0"  
 DATE PRINTED  
 NOV. 15, 2023  
 PROJECT NO.  
 307.23.D

SHEET NO.  
**A.401**

TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: *Ashley Vanderwal* AMENDED  
 PRELIMINARY ZONING REVIEW

PROJECT  
 PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE  
 CLIENT  
 28 WELLS ST.  
 AURORA, ON  
 MAPLE LANE  
 LANDS & DEVELOPMENT

CONSULTANTS  
 ARCHITECT  
**JOSEPH N. CAMPITELLI**  
 ARCHITECT INC.  
 10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
 tel: 905-887-8900 fax: 905-887-9400  
 e-mail: info@jnc-architect.com



WEST ELEVATION



NORTH ELEVATION

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DESCRIPTION

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INFO  
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 ASSISTANT DESIGNER:  
 DRAWN BY:  
 B.SH  
 CHECKED BY:  
 R.D

DWG. TITLE  
 MAIN RESIDENCE  
 WEST & NORTH ELEVATIONS

SCALE  
 1/8"=1'-0"  
 DATE PRINTED  
 NOV. 15, 2023  
 PROJECT NO.  
 307.23.D

SHEET NO.  
**A.402**

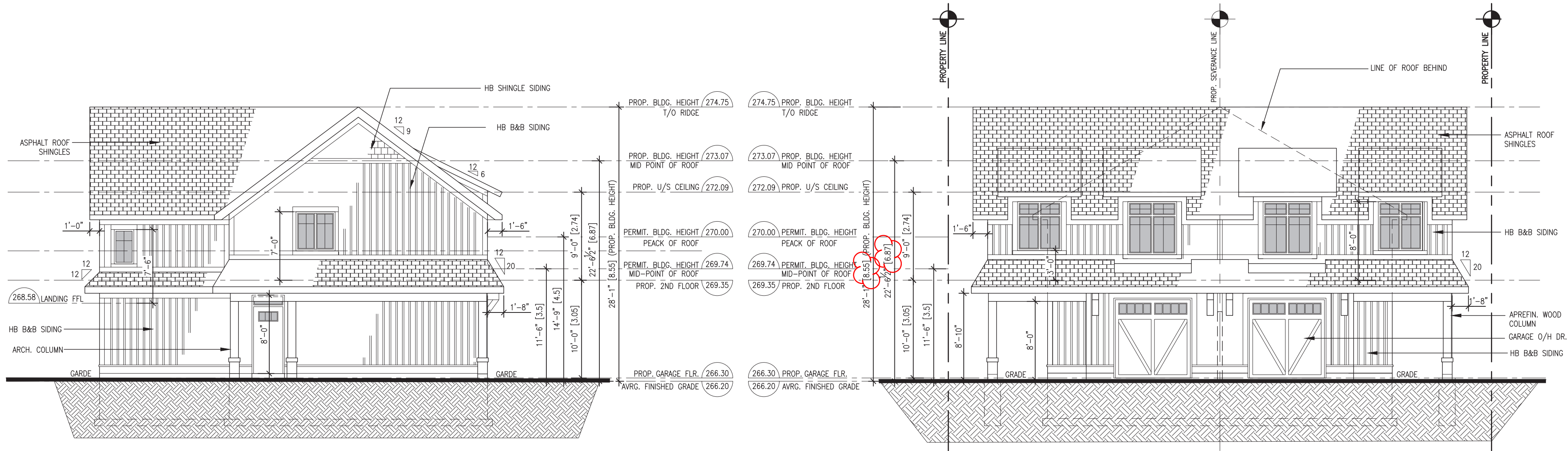
TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20231317 DATE: Nov. 16, 2023  
 APPROVED BY: *Ashley Vanderwal* AMENDED  
 PRELIMINARY ZONING REVIEW

PROPOSED CUSTOM HOME  
 SEMI-DETACHED RESIDENCE

28 WELLS ST.  
 AURORA, ON  
 MAPLE LANE  
 LANDS & DEVELOPMENT

JOSEPH N. CAMPITELLI  
 ARCHITECT INC.

10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
 tel: 905-887-8900 fax: 905-887-9400  
 e-mail: info@jnc-architect.com



SOUTH ELEVATION

EAST ELEVATION

NORTH ELEVATION

WEST ELEVATION

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 This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

COUNTERSIGNED  
 Joseph N. Campitelli, Architect  
 B.A.R.C.H., O.A.A., M.R.A.I.C.

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 R.D

DWG. TITLE  
 ACCESSORY STRUCTURE  
 GARAGE W/ APARTMENT ABOVE  
 ELEVATIONS  
 SCALE: 1/8"=1'-0"  
 DATE PRINTED: NOV. 15, 2023  
 PROJECT NO: 307.23.D

SHEET NO. A.403



# TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: \_\_\_\_\_ Agenda Item Number: \_\_\_\_\_

Application Name: \_\_\_\_\_

File Number(s): \_\_\_\_\_

## IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

**NOTE:** Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at [pfan@aurora.ca](mailto:pfan@aurora.ca).

**Please print clearly and provide information requested below.**

Name: \_\_\_\_\_  
(MR./MRS./MS) (First) (Last)

Address: \_\_\_\_\_  
\_\_\_\_\_

Municipality: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
(Must Be Provided)

Telephone: Residence \_\_\_\_\_ E-Mail: \_\_\_\_\_  
Business \_\_\_\_\_ E-Mail: \_\_\_\_\_

**Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.**

**NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands**

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771