



**NOTICE OF PUBLIC HEARING  
MINOR VARIANCE**

**Pursuant to Section 45(5) of *The Planning Act***

- FILE NUMBER:** MV-2022-10
- APPLICANT:** Hilborn
- PROPERTY:** 139 Temperance Street  
PLAN 246 LOT 62
- ZONING:** R7-SN(497) (*Detached Special Mixed Density Residential Exception Zone*)
- PURPOSE:** A Minor Variance Application has been submitted to facilitate a third storey addition, a rear two-storey addition, and a carport.
- BY-LAW REQUIREMENT:**
- 1) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 1.5 metres.
  - 2) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 3.0 metres beyond the main rear wall of the adjacent dwelling.
  - 3) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 1.5 metres.
  - 4) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 3.0 metres beyond the main rear wall of the adjacent dwelling.
- PROPOSAL:**
- a) The applicant is proposing a carport, which is 0.6 metre to the interior side property line.
  - b) The applicant is proposing a carport, which is 0.6 metre to the interior side property line.
  - c) The applicant is proposing a third-storey addition and rear two-storey addition, which is 1.1 metres to the interior side property line.

- d) The applicant is proposing a third-storey addition and rear two-storey addition, which is 1.2 metres to the interior side property line.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

<b>DATE:</b>	<b>April 14, 2022</b>
<b>TIME:</b>	<b>7:00 p.m.</b>
<b>LOCATION:</b>	<b>Electronic Meeting (Please visit <a href="https://www.youtube.com/user/Townofaurora2012">https://www.youtube.com/user/Townofaurora2012</a> for live stream of the meeting)</b>

**NOTE:** As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) **no later than 4:30pm on April 12, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form--Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) **no later than 12:00pm (noon) on April 14, 2022.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora  
100 John West Way, Box 1000  
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development->

[planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf](#). This form is to be emailed to [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) no later than 4:30pm on April 15, 2022.

**If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.**

Should you have any questions regarding this application, please contact Brashanthe Manoharan at [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) or at 905-727-3123 Ext. 4223.

### **Personal Information Collection Notice**

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990*, Chapter c.P.13, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990*, c. M.56, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 31<sup>st</sup> DAY OF MARCH 2022



Brashanthe Manoharan  
Secretary-Treasurer  
Committee of Adjustment

### **ATTACHMENTS**

- Attachment 1 – Location Map
- Attachment 2 – Site Plan
- Attachment 3 – Request for Decision

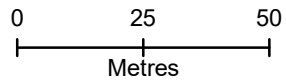
**Agenda packages will be available prior to the Hearing at:**

<https://www.aurora.ca/agendas>



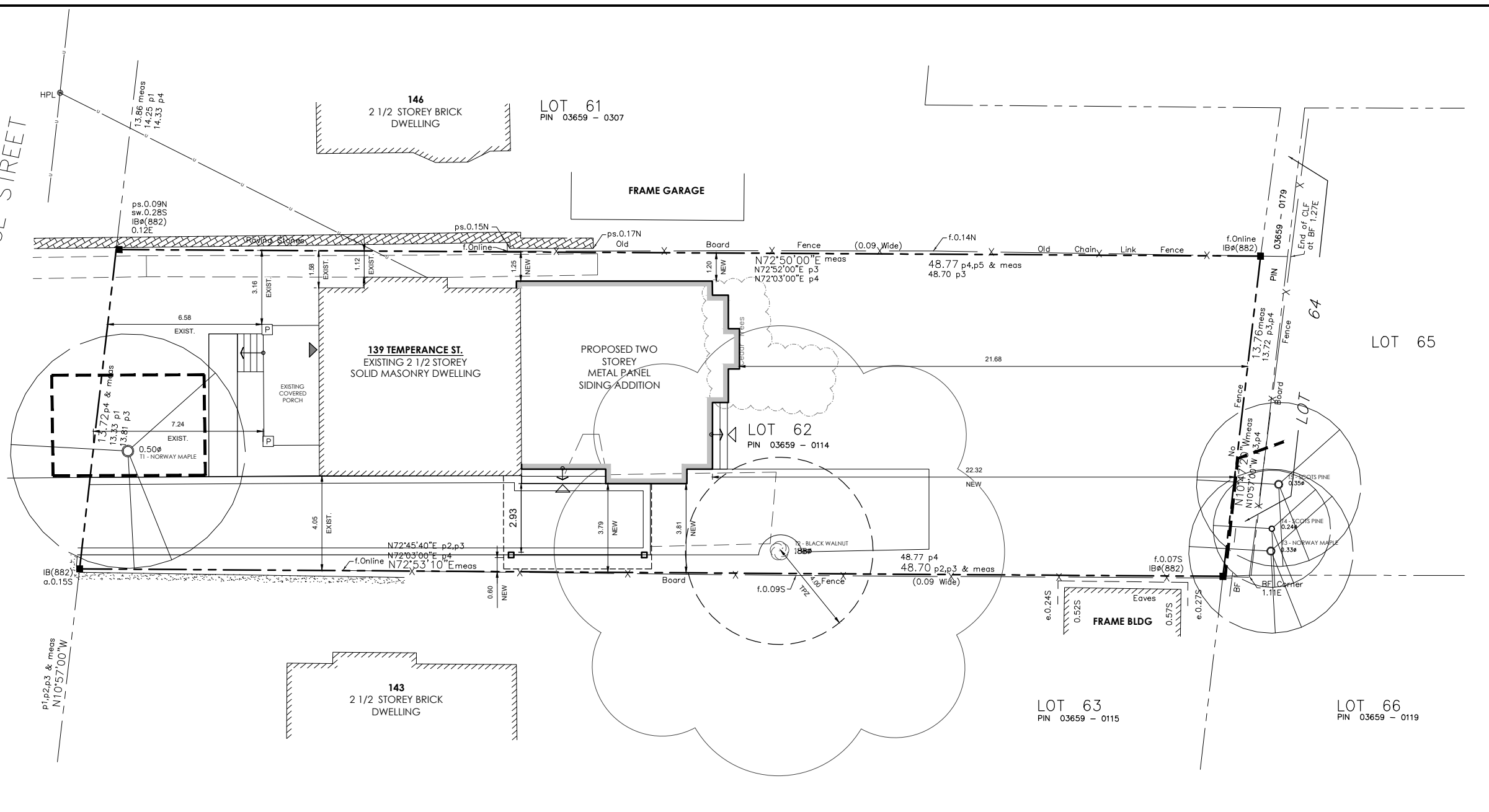
**LOCATION MAP**  
**139 TEMPERANCE STREET**  
**FILE: MV-2022-10**  
**TOWN OF AURORA**  
**COMMITTEE OF ADJUSTMENT**

 **SUBJECT LANDS**

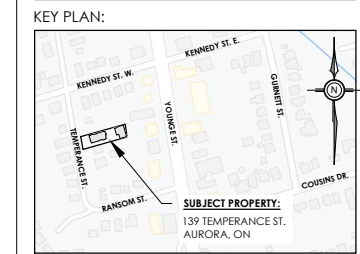
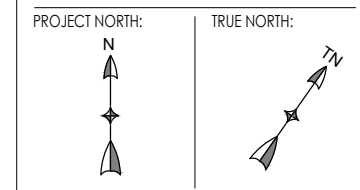


**LOT 79 CONCESSION 1 (GEOGRAPHIC TOWNSHIP OF KING)**  
**temperance street (AS SHOWN ON REGISTERED PLAN 246)**  
**(TRANSFERRED TO THE MUNICIPAL CORPORATION OF THE TOWN OF AURORA**  
**BY INSTRUMENT N° A06572, NOT DEDICATED)**  
**PIN 03659 - 0159**

TEMPERANCE STREET



DRAWINGS MUST NOT BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.  
 STAMP:



REF.	DATE	DESCRIPTION
05	22.03.15	REISSUED FOR PZR/COA
04	22.02.22	REISSUED FOR ZONING REVIEW
03	21.01.10	ISSUED FOR SPA
02	21.12.01	RE-ISSUED FOR COA PRECONSULT
01	21.11.25	ISSUED FOR COA PRECONSULT

**VGA** van Groll & Associates Inc.  
 295 Robinson Street, Suite 300  
 Oakville, ON L6J 1G7  
 (905) 339-2811  
 www.vangrollassociates.com

CLIENT:  
**JANE HILBORN**

PROJECT:  
**HILBORN RESIDENCE  
 NEW ADDITION & INTERIOR  
 ALTERATIONS**

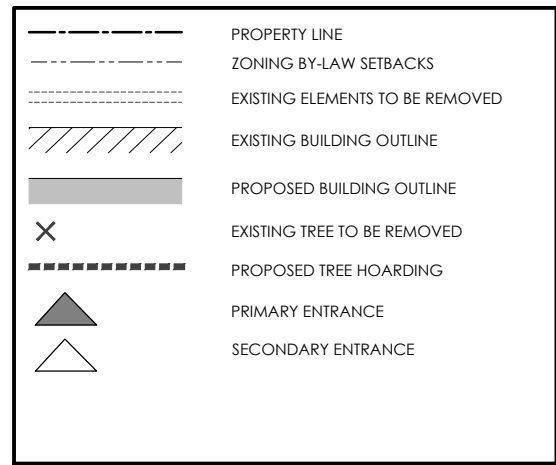
ADDRESS: 139 TEMPERANCE ST.  
 AURORA, ON L4G 2R5

DRAWING TITLE:  
**SITE PLAN**

DATE: 2021.09.01 SCALE: 1:200  
 DRAWN: A.R. SHEET NUMBER:  
 JOB NUMBER: 168-020 **SP-1**

**01 SITE PLAN**  
 SCALE: 1:100

SURVEY INFORMATION TAKEN FROM:  
 PART 1 PLAN OF LOT 62  
 REGISTERED PLAN 246  
 TOWN OF AURORA  
 REGIONAL MUNICIPALITY OF YORK  
  
 LLYOD & PURCELL  
 ONTARIO LAND SURVEYORS  
  
 SEPTEMBER 16, 2021



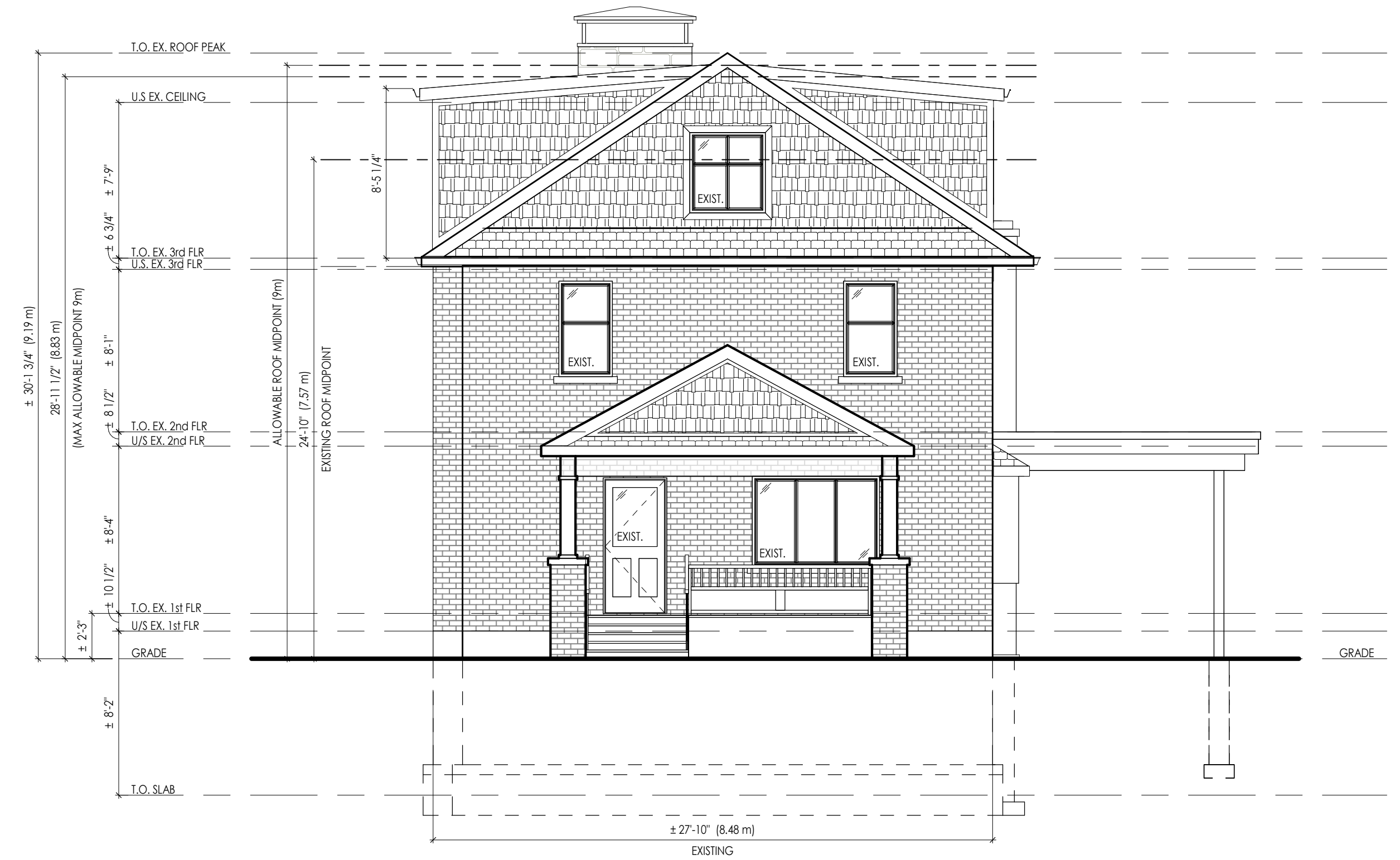
**04 SITE STATISTICS**  
 SCALE: NTS

**02 SURVEY INFO**  
 SCALE: NTS

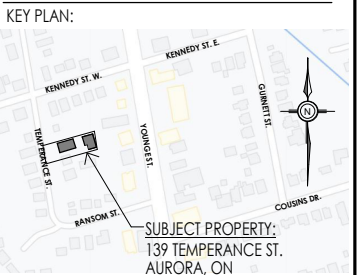
**TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION**  
 PERMIT NO.: PR20220397 DATE: Mar. 18, 2022  
 APPROVED BY: *Ashley Vanderwal*  
**PRELIMINARY ZONING REVIEW**

TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20220397 DATE: Mar. 18, 2022  
 APPROVED BY: *Ashley Vanderwal*  
 PRELIMINARY ZONING REVIEW

DRAWINGS MUST **NOT** BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.  
 STAMP:



PROJECT NORTH: TRUE NORTH:



No.	DESCRIPTION	BY	DATE
5	REISSUED ZONING REVIEW	AR	2022.03.15
4	REISSUED ZONING REVIEW	AR	2022.02.23
3	ISSUED SPA	AR	2021.12.06
2	REISSUED COA PRECONSULT	AR	2021.12.01
1	ISSUED COA PRECONSULT	AR	2021.11.19

**VGA** van Groll & Associates Inc.  
 295 Robinson Street, Suite 300  
 Oakville, ON, L6J 1G7  
 905.339.2811  
 ARCHITECTURE vangrollassociates.com

PROJECT:  
**HILBORN RESIDENCE**

ADDRESS: 139 TEMPERANCE ST.  
 AURORA, ON

DRAWING TITLE:  
**FRONT ELEVATION**

DATE: SEPT.01.2021 SCALE: 3/16" = 1'-0"  
 DRAWN: AR SHEET NUMBER:  
 JOB NUMBER: 168-020  
**A2.1**

1 FRONT ELEVATION  
 3/16" = 1'-0"

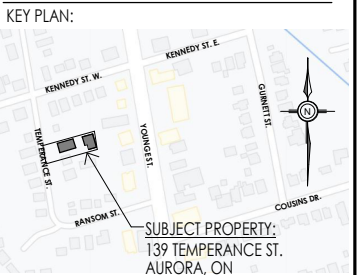
BIM 360/168-020 Tackaberry Residence/168-020\_TACKABERRY RESIDENCE\_DD.M

TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20220397 DATE: Mar. 18, 2022  
 APPROVED BY: Ashley Vandermat  
 PRELIMINARY ZONING REVIEW

DRAWINGS MUST **NOT** BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.  
 STAMP:



PROJECT NORTH: TRUE NORTH:



No.	DESCRIPTION	BY	DATE
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 905.339.2811  
 ARCHITECTURE vangrollassociates.com

PROJECT:  
**HILBORN RESIDENCE**

ADDRESS: 139 TEMPERANCE ST.  
 AURORA, ON

DRAWING TITLE:  
**RIGHT ELEVATION**

DATE: SEPT.01.2021 SCALE:  
 DRAWN: A.R. SHEET NUMBER:  
 JOB NUMBER: 168-020  
**A2.2**

1 RIGHT ELEVATION

BIM 360/1 68-020 Tackberry Residence/1 68-020\_TACKBERRY RESIDENCE\_DD.MT



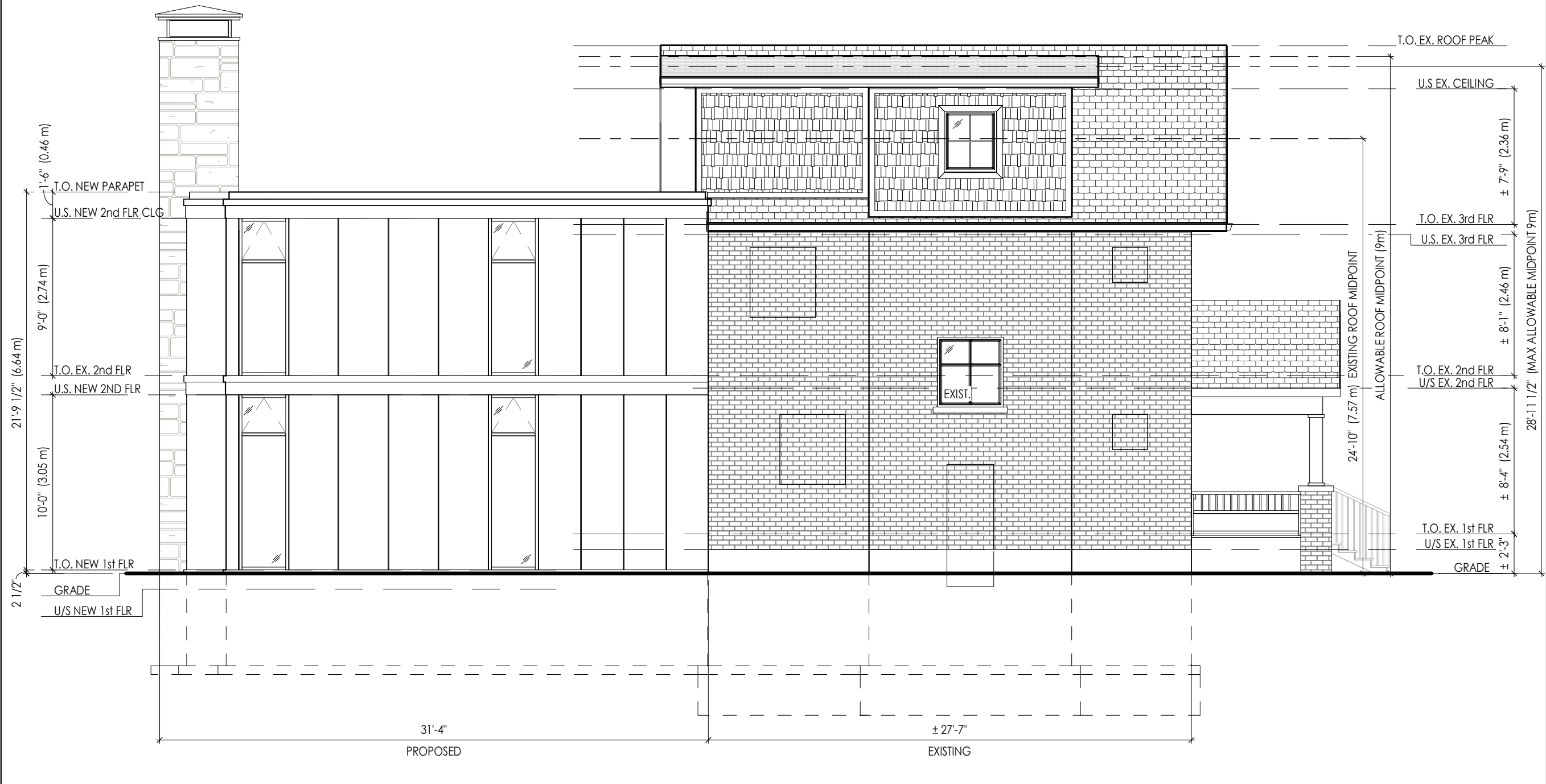
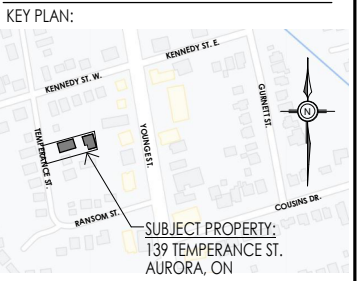




TOWN OF AURORA  
 PLANNING & DEVELOPMENT SERVICES  
 BUILDING DIVISION  
 PERMIT NO.: PR20220397 DATE: Mar. 18, 2022  
 APPROVED BY: *Ashley Vandermat*  
 PRELIMINARY ZONING REVIEW

DRAWINGS MUST **NOT** BE SCALED. CONTRACTOR  
 MUST CHECK AND VERIFY ALL DIMENSIONS,  
 SPECIFICATIONS AND DRAWINGS ON SITE AND  
 REPORT ANY DISCREPANCIES TO THE ARCHITECT  
 PRIOR TO PROCEEDING WITH ANY OF THE WORK.  
 STAMP:

PROJECT NORTH: TRUE NORTH:



No.	DESCRIPTION	BY	DATE
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 905.339.2811  
 ARCHITECTURE [vangrollassociates.com](http://vangrollassociates.com)

PROJECT:  
**HILBORN RESIDENCE**

ADDRESS: 139 TEMPERANCE ST.  
 AURORA, ON

DRAWING TITLE:  
**LEFT ELEVATION**

DATE: SEPT.01.2021 SCALE: 1 : 75  
 DRAWN: AR SHEET NUMBER:  
 JOB NUMBER: 168-020 **A2.4**

1 LEFT ELEVATION

BIM 360/1 68-020 Tackberry Residence/1 68-020\_TACKBERRY RESIDENCE\_DD.MT



# TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: \_\_\_\_\_ Agenda Item Number: \_\_\_\_\_

Application Name: \_\_\_\_\_

File Number(s): \_\_\_\_\_

## IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

**NOTE:** Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at [bmanoharan@aurora.ca](mailto:bmanoharan@aurora.ca).

**Please print clearly and provide information requested below.**

Name: \_\_\_\_\_  
(MR./MRS./MS) (First) (Last)

Address: \_\_\_\_\_  
\_\_\_\_\_

Municipality: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
(Must Be Provided)

Telephone: Residence \_\_\_\_\_ E-Mail: \_\_\_\_\_  
Business \_\_\_\_\_ E-Mail: \_\_\_\_\_

**Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.**

**NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands**

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771