



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2022-24

APPLICANT: SABRINA MONTONI-DINH

PROPERTY: 51 Lensmith Dr, Aurora, ON L4G6S1
PLAN 65M2786 LOT 6

**RELATED
APPLICATIONS:** n/a

ZONING: R3(84) (Detached Third Density Residential Zone)

PURPOSE: A Minor Variance Application has been submitted to facilitate
a proposal of front steps 3.74m from the front lot line

**THE FOLLOWING
VARIANCES ARE
REQUIRED:**

- 1) Section 4.20 of the Zoning By-law states that, steps shall not be closer than 4.5m from front lot line

PROPOSAL:

- a) The applicant is proposing front steps 3.74m from the front lot line

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	September 8th, 2022
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Peter Fan, at PFan@aurora.ca **no later than 4:30pm on September 6th, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Delegation-Request>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Peter Fan, at PFan@aurora.ca **no later than 12:00pm (noon) on September 8th, 2022.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to PFan@aurora.ca **no later than 4:30pm on September 9th, 2022.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Peter Fan at PFan@aurora.ca or at (905) 726-4711

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (the "Act") public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 25th DAY OF August 2022



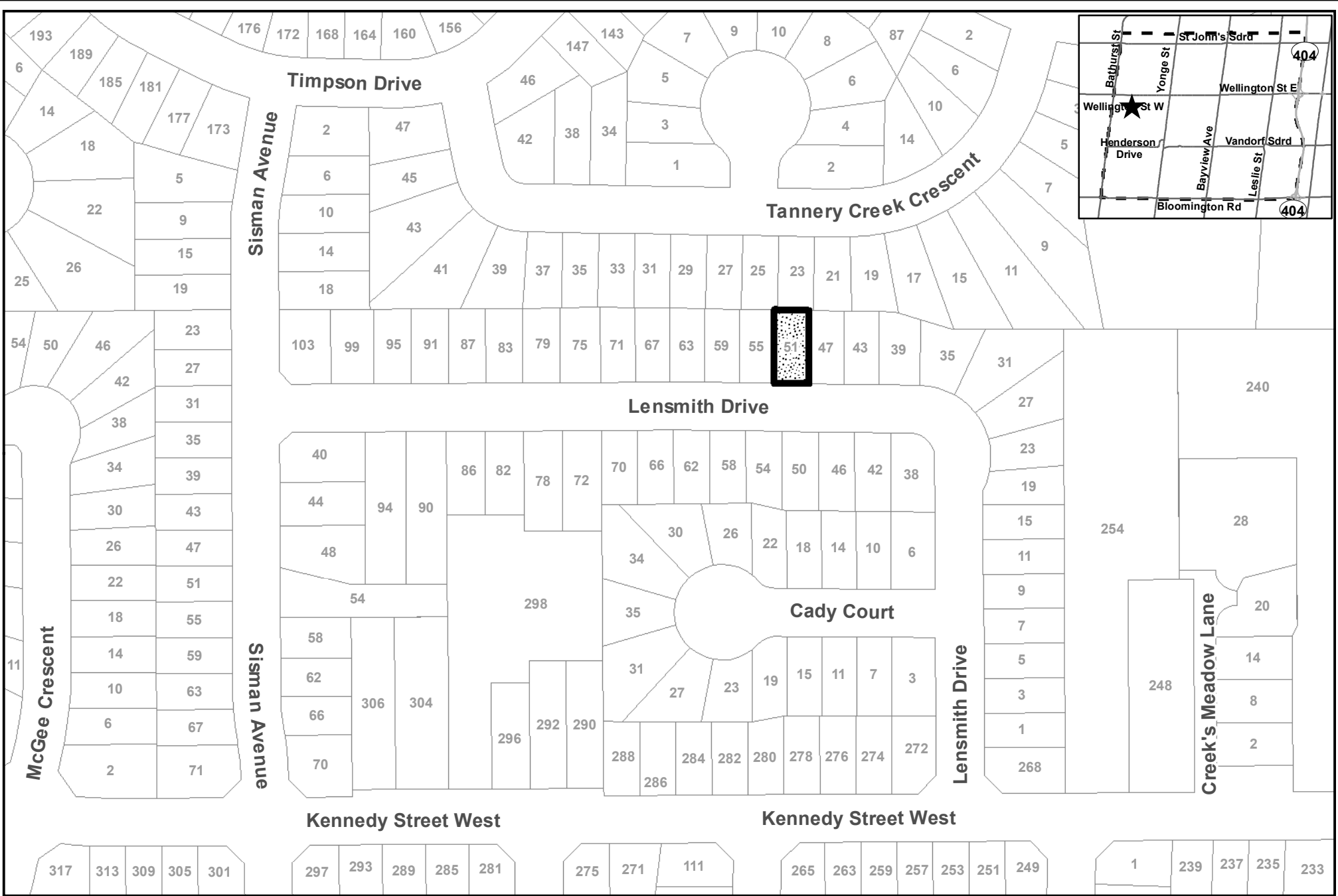
Peter Fan
Secretary-Treasurer/Assistant Planner
Committee of Adjustment

ATTACHMENTS

- Attachment 1 – Location Map
- Attachment 2 – Site Plan
- Attachment 3 – Request for Decision

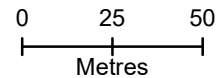
Agenda packages will be available prior to the Hearing at:

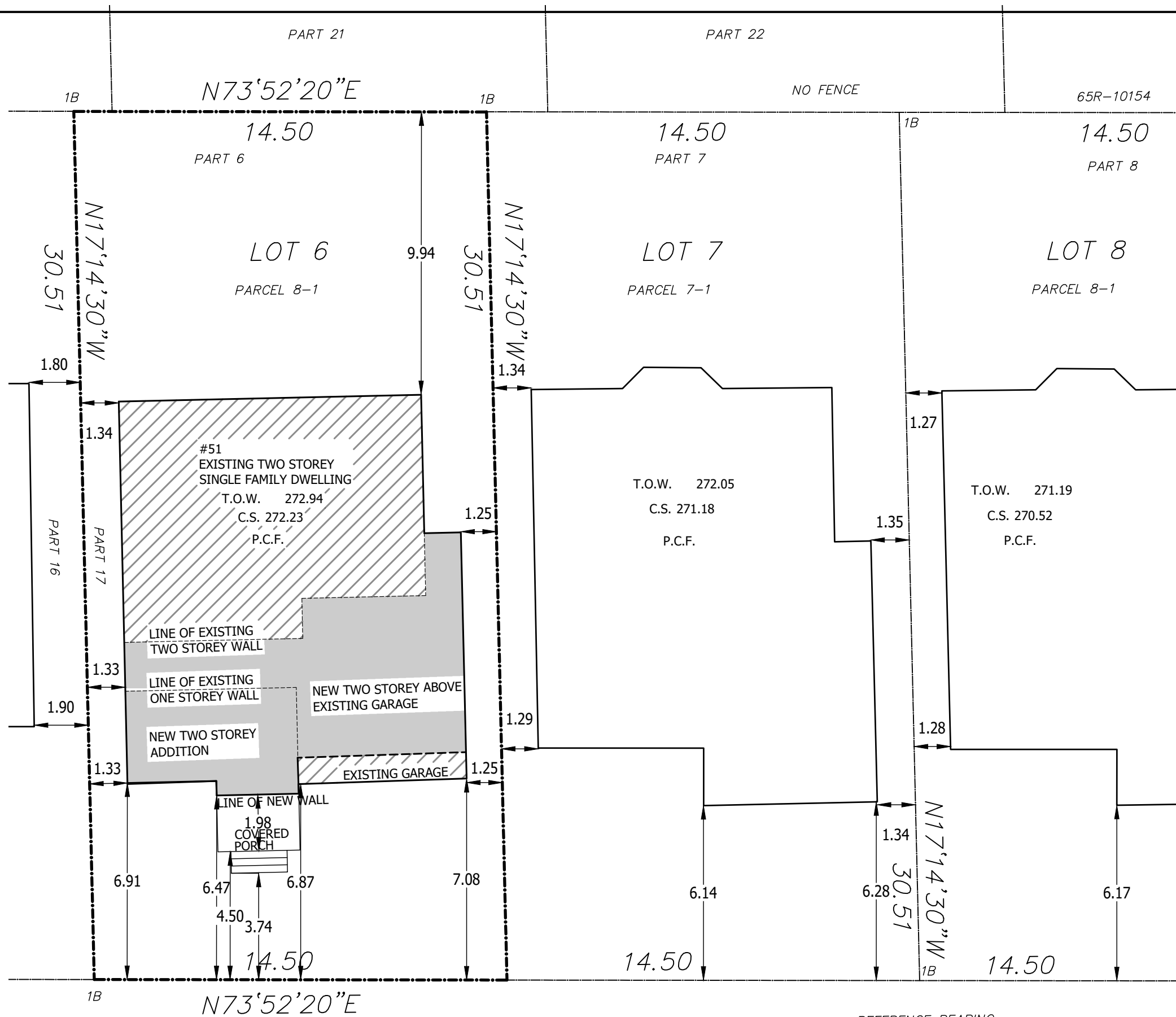
<https://www.aurora.ca/agendas>



LOCATION MAP
51 LENSMITH DRIVE
FILE: MV-2022-24
TOWN OF AURORA
COMMITTEE OF ADJUSTMENT

 **SUBJECT LANDS**



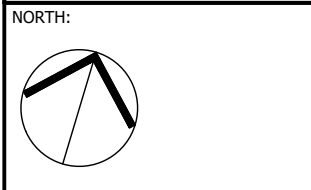


2 SITE STATISTICS

Town of Aurora, Zoning By-law 6000-17		
ZONE - R3 (84)		
LOT AREA:	442.40 m ²	
LOT COVERAGE	PERMITTED	PROPOSED
	35% = 154.84 m ²	NEW AREA - 22.44m ²
	EXISTING AREA - 132.12m ²	EXISTING AREA - 132.12m ²
		TOTAL = 154.56 m ² / 35%
SETBACKS	PERMITTED	PROPOSED
FRONT (EAST) YARD	4.5 m,	6.47 m,
TO GARAGE	6.0m	6.87m, EXISTING TO REMAIN
EAST SIDE YARD	1.20 m	1.33 m
		EXISTING TO REMAIN
WEST SIDE YARD	0.6 m	1.25 m
		EXISTING TO REMAIN
REAR YARD	7.5 m	9.94 m,
		EXISTING TO REMAIN
MAX. HEIGHT	10 m	10 m

5		
3		
2	2022 / 06 / 15	ISSUED FOR REVIEW
1	2022 / 05 / 12	ISSUED FOR COMMITTEE OF ADJUSTMENT

REVISIONS



First Step Design
LIMITED
416-779-9370
www.firststepdesign.ca

PROJECT ADDRESS:
51 LENSMITH DR.,
AURORA ON.

DRAWING TITLE:
SITE PLAN

PROJECT NUMBER: 2044

DRAWN BY: PO-CM

DATE: AUGUST 2020

SCALE: 1:150

DRAWING NUMBER:

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20220343 DATE: Jun. 30, 2022
APPROVED BY: *Hana Hosain*
PRELIMINARY ZONING REVIEW

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: July 11, 2022
RECEIVED

1 SITE PLAN
Scale: 1:150
This Site Plan is based on a SRPR prepared by
JOHN F.G. YOUNG B.S., Ontario Land Surveyors
dated JUNE 17, 1991

ALL CONSULTANTS AND CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO FIRST STEP DESIGN.
THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF FIRST STEP DESIGN. USE AND REPRODUCTION OF THIS DRAWING IS ALLOWED ONLY WITH THE WRITTEN CONSENT OF FIRST STEP DESIGN.
THE DRAWING IS NOT ISSUED FOR BUILDING PERMIT UNLESS IT IS STAMPED AND SIGNED AND THE DATED REVISION FIELD STATES: ISSUED FOR BUILDING PERMIT.
DO NOT SCALE DRAWING.

A-1.0

ALL CONSULTANTS AND CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO FIRST STEP DESIGN. THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF FIRST STEP DESIGN. USE AND REPRODUCTION OF THIS DRAWING IS ALLOWED ONLY WITH THE WRITTEN CONSENT OF FIRST STEP DESIGN.

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NOTE:
 - DIMENSIONS TO FINISH GYPSUM
 - ALL INTERIOR DOORS DIMENSIONED TO INTERIOR FRAME SIZE

DO NOT SCALE DRAWING.

LEGEND
 [Grey Box] EXISTING WALLS
 [Black Line] NEW WALLS

NO.	DATE	DESCRIPTION
4		
3		
2		
1	2021 / 05 / 12	ISSUED FOR COMMITTEE OF ADJUSTMENT

REVISIONS

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PROJECT ADDRESS:
51 LENSMEITH DR.,
AURORA, ON.

DRAWING TITLE: STREET SOUTH ELEVATION

PROJECT NUMBER: 2044

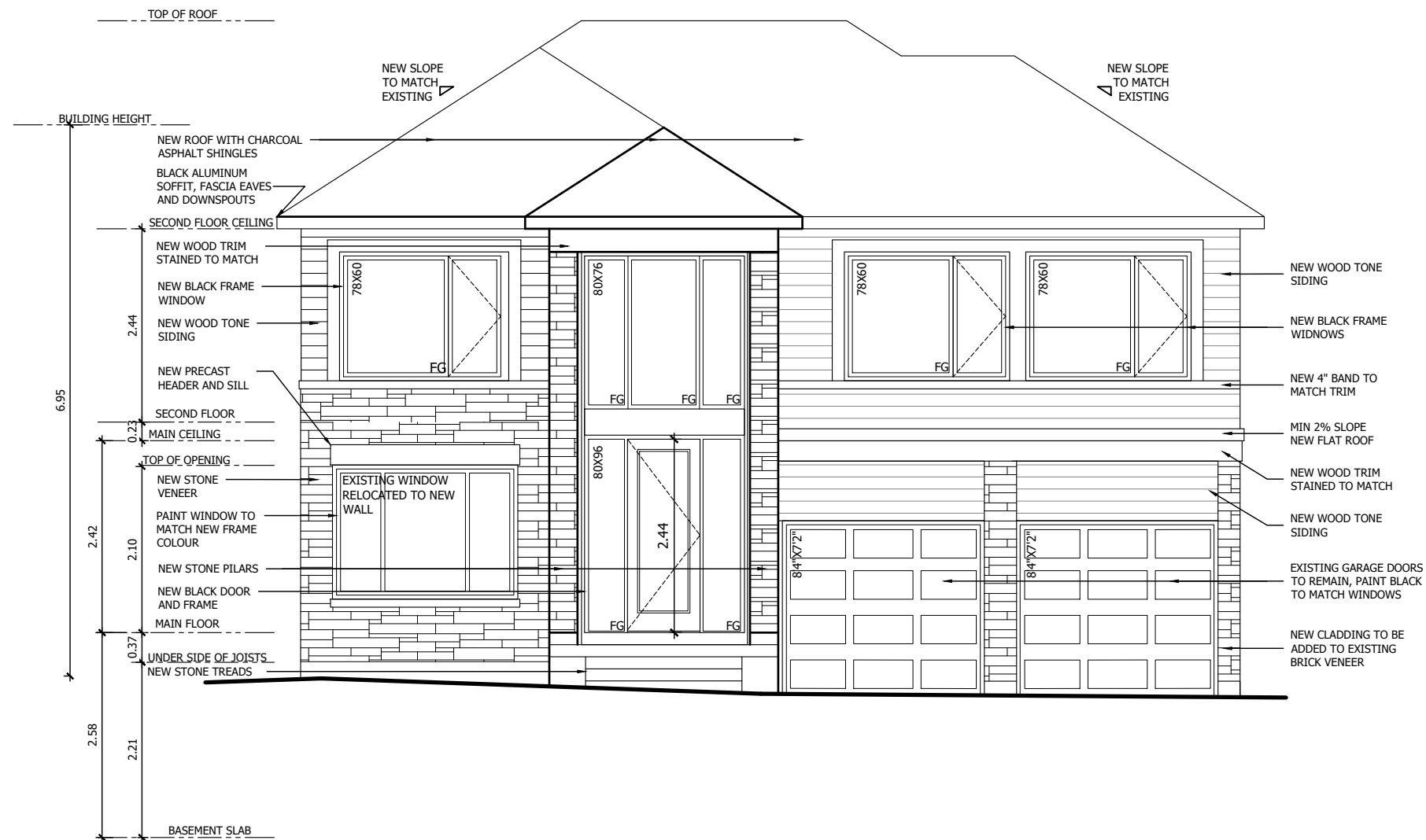
DRAWN BY: PO - CM

DATE: OCTOBER 2020

SCALE: 1:75

DRAWING NUMBER:

A-3.1



TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
 PERMIT NO.: PR20220343 DATE: Jun. 30, 2022
 APPROVED BY: *Hana Hosain*
 PRELIMINARY ZONING REVIEW

TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: July 11, 2022
RECEIVED

1 STREET SOUTH ELEVATION
 Scale: 1:75

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LEGEND

- EXISTING WALLS
- NEW WALLS

NO.	DATE	DESCRIPTION
1	2021 / 05 / 12	ISSUED FOR COMMITTEE OF ADJUSTMENT

REVISIONS

NO.	DATE	DESCRIPTION



PROJECT ADDRESS:
51 LENSMITH DR.,
AURORA, ON.

DRAWING TITLE:
WEST ELEVATION

PROJECT NUMBER: 2044

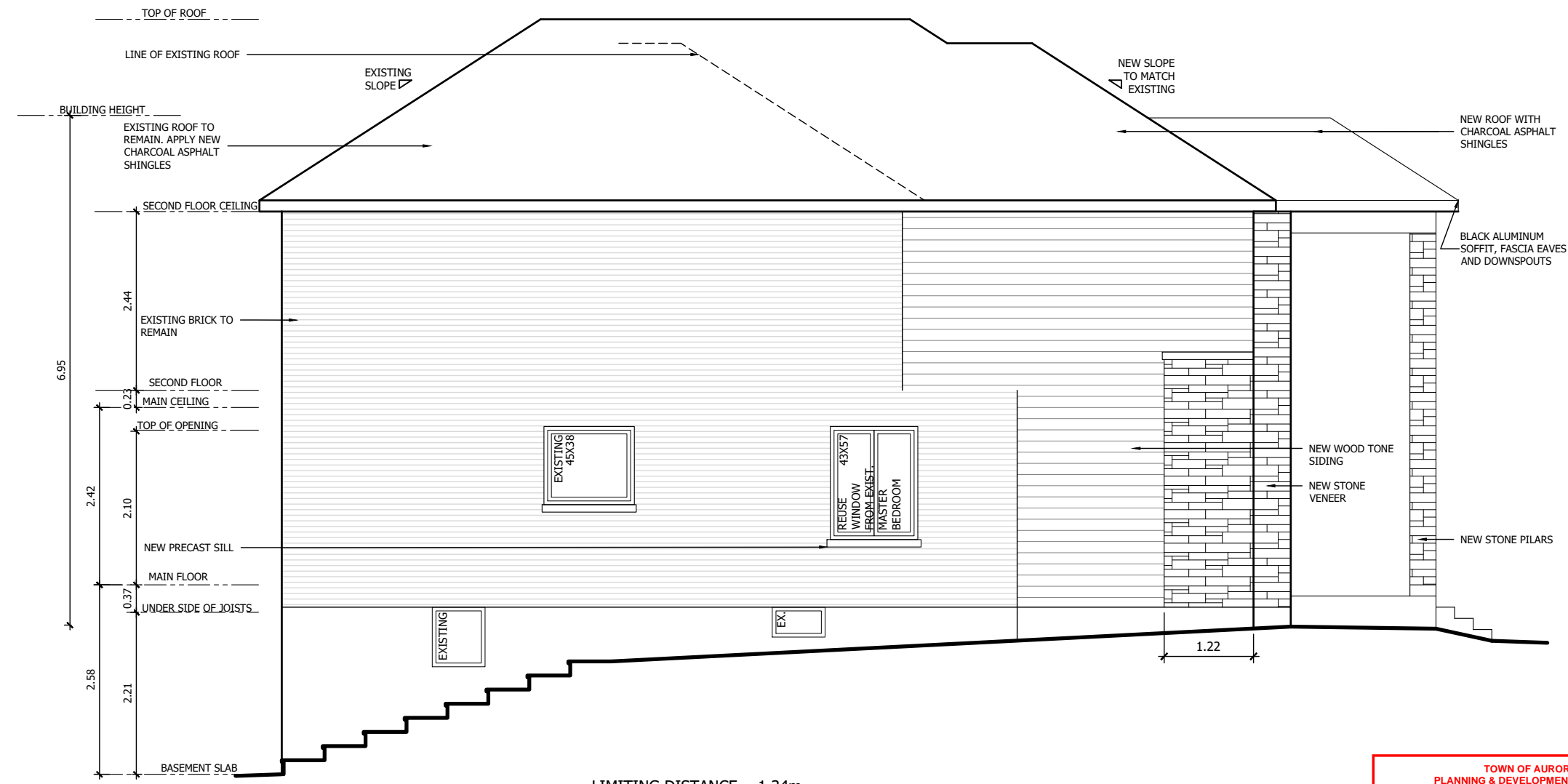
DRAWN BY: PO - CM

DATE: OCTOBER 2020

SCALE: 1:75

DRAWING NUMBER:

A-3.2



LIMITING DISTANCE - 1.34m
 TOTAL WALL AREA OF EXPOSING BUILDING FACE = 82.42 m²
 AGGREGATE AREA OF UNPROTECTED OPENINGS = 3.30 m²
 PERCENTAGE OF EXPOSING BUILDING FACE AREA = 4.0%

TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
 PERMIT NO.: PR20220343 DATE: Jun. 30, 2022
 APPROVED BY: *Hana Hossain*
 PRELIMINARY ZONING REVIEW

TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: July 11, 2022
RECEIVED

1 WEST ELEVATION
 Scale: 1:75

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NOTE:
 - DIMENSIONS TO FINISH GYPSUM
 - ALL INTERIOR DOORS DIMENSIONED TO INTERIOR FRAME SIZE

DO NOT SCALE DRAWING.

LEGEND
 [Grey Box] EXISTING WALLS
 [Black Line] NEW WALLS

NO.	DATE	DESCRIPTION
4		
3		
2		
1	2021 / 05 / 12	ISSUED FOR COMMITTEE OF ADJUSTMENT

REVISIONS

NO.	DATE	DESCRIPTION



PROJECT ADDRESS:
 51 LENSMEITH DR.,
 AURORA, ON.

DRAWING TITLE:
 NORTH ELEVATION

PROJECT NUMBER: 2044

DRAWN BY: PO - CM

DATE: OCTOBER 2020

SCALE: 1:75

DRAWING NUMBER:

A-3.3



1 NORTH ELEVATION
 Scale: 1:75

TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: July 11, 2022
RECEIVED

TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
 PERMIT NO.: PR20220343 DATE: Jun. 30, 2022
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NOTE:
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DO NOT SCALE DRAWING.

LEGEND
 [Pattern] EXISTING WALLS
 [Line] NEW WALLS

NO.	DATE	DESCRIPTION
4		
3		
2		
1	2021 / 05 / 12	ISSUED FOR COMMITTEE OF ADJUSTMENT

REVISIONS

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PROJECT ADDRESS:
 51 LENS MITH DR.,
 AURORA, ON.

DRAWING TITLE:
 EAST ELEVATION

PROJECT NUMBER: 2044

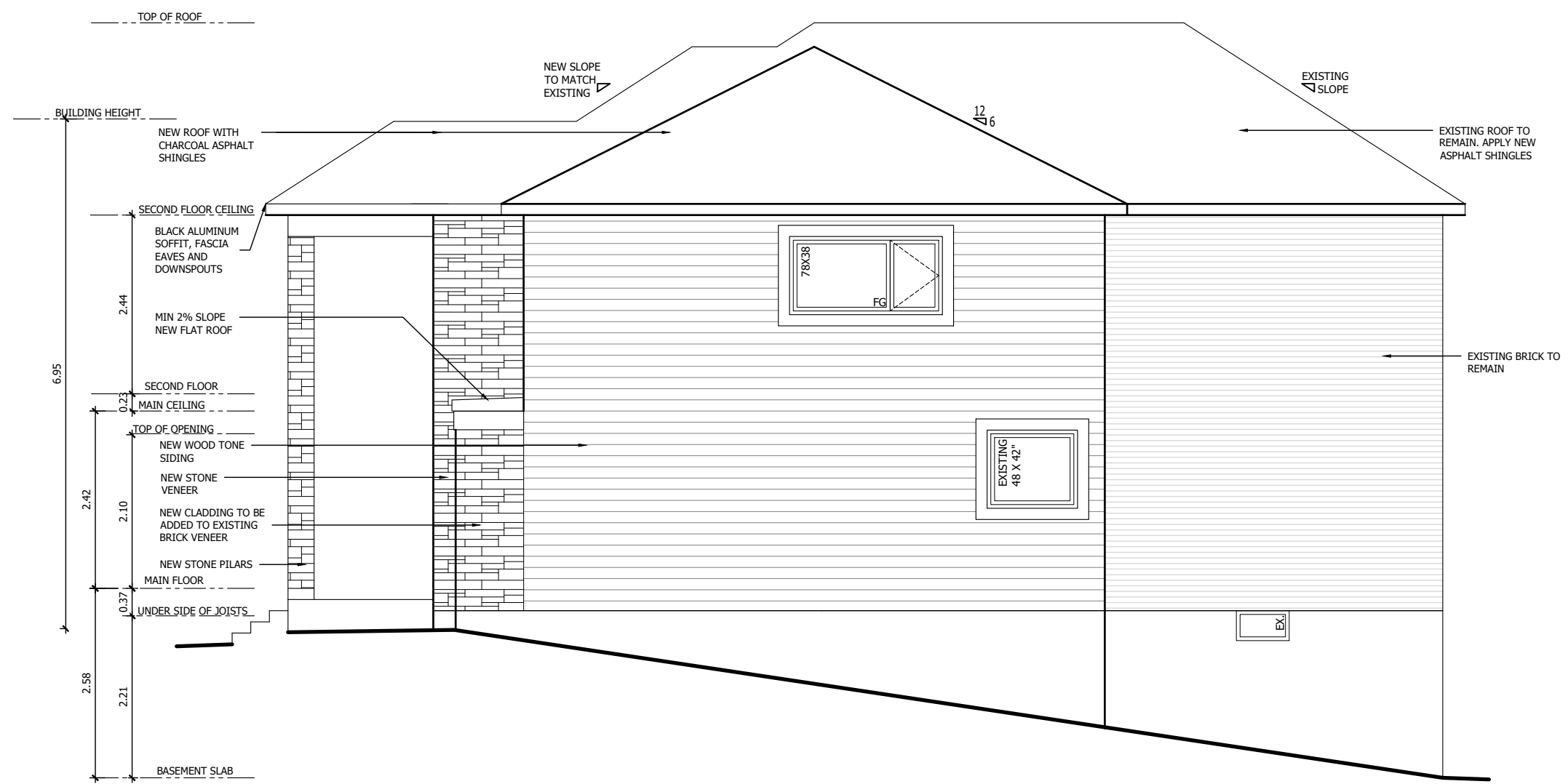
DRAWN BY: PO - CM

DATE: OCTOBER 2020

SCALE: 1:75

DRAWING NUMBER:

A-3.4



← LIMITING DISTANCE - 1.25m
 TOTAL WALL AREA OF EXPOSING BUILDING FACE = 53.93 m²
 AGGREGATE AREA OF UNPROTECTED OPENINGS = 3.01 m²
 PERCENTAGE OF EXPOSING BUILDING FACE AREA = 5.58% →

TOWN OF AURORA
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TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division
 DATE: July 11, 2022
RECEIVED

1 EAST ELEVATION
 Scale: 1:75



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at pfan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771